

## Members

Chris Granfield, *Chair*  
Katie Chase, *Vice-Chair*  
Duke York  
Jonah Jensen  
Lysa Schloesser  
James Steel  
Jeff Williams  
Eugene Thorne  
Laureen Skrivan  
Lauren Flemister

# Agenda

## Landmarks Preservation Commission Planning and Development Services Department



Ross Buffington, Wedge Neighborhood Ex-Officio  
Marshall McClintock, North Slope Ex-Officio

## Staff

Reuben McKnight, Historic Preservation Officer  
Lauren Hoogkamer, Historic Preservation Coordinator  
John Griffith, Office Assistant

Date: April 8, 2015  
Location: 747 Market, Tacoma Municipal Bldg, Council Chambers  
Time: 5:30 p.m.

Please note  
change of  
location

### 1. ROLL CALL

### 2. CONSENT AGENDA

- A. Excusal of Absences
- B. Approval of Minutes: 3/25/2015
- C. Administrative Review
  - i. 3/20/15: McCarver Elementary School 2111 S J Street (parapet coping)
  - ii. 3/24/15: 822 N I Street (stairwell)

### 3. PUBLIC HEARING

- A. Proposed Narrowmoor Addition Conservation District      Staff

### 4. DESIGN REVIEW

- A. 727 Commerce Street (Old City Hall Historic District)      Patricia Lecy-Davis, Embellish Multispace Salon  
*Business sign*
- B. 701 N J Street      Ron Hjelm & Tara Waits, Phase II, Inc.  
*Exterior work*

### 5. PRESERVATION PLANNING/BOARD BUSINESS

- A. Events and Activities Updates

### 6. CHAIR COMMENTS

*Next Regular Meeting: April 22, 2015, 747 Market Street, Tacoma Municipal Bldg., Rm. 248 5:30 p.m.*

*This agenda is for public notice purposes only. Complete applications are included in the Landmarks Preservation Commission records available to the public BY APPOINTMENT at 747 Market Street, Floor 3, or online at <http://tacomaculture.org/historic/resources.asp>. All meetings of the Landmarks Preservation Commission are open to the public. Oral and/or written comments are welcome.*



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Marshall McClintock, *North Slope Ex-Officio*

## Staff

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Lauren Hoogkamer, *Historic Preservation Coordinator*  
John Griffith, *Office Assistant*

# DRAFT

# MINUTES

## Landmarks Preservation Commission Planning and Development Services Department



Date: March 25, 2015

Location: 747 Market Street, Tacoma Municipal Building, Room 248

### Commission Members in Attendance:

Chris Granfield, *Chair*  
Katie Chase, *Vice-Chair*  
Duke York  
Eugene Thorne  
Laureen Skrivan  
Jeff Williams  
James Steel  
Lysa Schloesser  
Lauren Flemister  
Ross Buffington  
Marshall McClintock

### Staff Present:

Reuben McKnight  
Lauren Hoogkamer  
John Griffith

### Others Present:

Caroline Swope  
Jordan Kiel  
Milton Tremblay  
David Nason  
Gary Abrahams  
Ken Shipman  
Tim Kairez  
John De Loma

### Commission Members Absent:

Jonah Jensen

Chair Chris Granfield called the meeting to order at 5:32 p.m.

## 1. ROLL CALL

## 2. CONSENT AGENDA

### A. Excusal of Absences

Commissioner Jensen was excused.

### B. Introduction of Commissioner Lauren Flemister

Chair Granfield introduced Ms. Lauren Flemister as the new Commissioner for the At Large Position #1.

### C. Approval of Minutes: 3/11/2015

The minutes of 3/11/2015 were approved as submitted.

## 3. TACOMA REGISTER OF HISTORIC PLACES – PRELIMINARY REVIEW

### A. 224 N Yakima

Ms. Lauren Hoogkamer read the staff report.

### BACKGROUND

Located at 224 North Yakima Avenue, this two-story Queen Anne house, was built in 1889 by Leopold Born and designed by architect Rollin J. Roath. It is nominated under Criterion B for its association with Leopold Born, Eugene Ricksecker and Emil Lindstrom, who were influential in shaping Tacoma and the surrounding region; Criterion C as an example of a Rollin Roath Queen Anne Victorian residence that was altered at the start of the 20<sup>th</sup> century; and Criterion E for its location within the Stadium-Seminary National Register Historic District.

Architect Rollin J. Roath designed more than a dozen Tacoma buildings, one of which is on the Tacoma Register of Historic Places (the 1890 Parker-Reith Building, also known as Fraternity Hall). Most of his other buildings have been remodeled beyond recognition. 224 North Yakima is unique due to the quality and sensitivity of the work done. The interior has been remodeled in the Craftsman style. Other than the 1950s crown molding and the reconfigured entry, the interior hasn't been touched for approximately 100 years.

The Born family lived in the home from 1890 until 1900. Leopold Born was a builder and contractor, as well as a "Master Mason" in the Free and Accepted Masons. Eugene and Mary Ricksecker occupied the house from 1903 until 1904. Eugene was an engineer who worked with the Army Engineering Corp to construct the road to Paradise Valley on Mount Rainier. Mount Rainer Ricksecker Point is named after him. The proposed period of significance is 1905 to 1907, during which Emil and Henrietta Lindstrom lived in the home. Emil was the co-founder and president of the Lindstrom-Handforth Lumber Company, which built more than 10 miles of railroad to connect the Rainier sawmill with the Northern Pacific Railroad's Prairie Line. The Lindstroms lived in the home until 1950.

The buildings are nominated under the following criteria:

- B. *Is associated with the lives of persons significant in our past;*
- C. *Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction;*
- E. *Is part of, adjacent to, or related to an existing or proposed historic district, square, park, or other distinctive area which should be redeveloped or preserved according to a plan based on historic, cultural, or architectural motif:*

#### **REQUESTED ACTION**

Determination of whether the property nominated to the Tacoma Register of Historic Places appears to meet the threshold criteria for nomination, and if so, scheduling the nominations for public hearing. The commission may forward all or part of the nomination for future consideration.

#### **EFFECTS OF NOMINATION**

- Future changes to the exterior will require approval of the Landmarks Preservation Commission prior to those changes being made, to ensure historical and architectural appropriateness.
- Unnecessary demolition of properties listed on the Tacoma Register of Historic Places is strongly discouraged by the municipal code, and requires approval of the Landmarks Preservation Commission.
- Future renovations of listed on the Tacoma Register of Historic Places may qualify for the Special Tax Valuation property tax incentive.

#### **STANDARDS**

The threshold criteria for Tacoma Register listing are listed at 13.07.040B(1), and include:

1. Property is at least 50 years old at the time of nomination; and,
2. The property retains integrity of location, design, setting, materials, workmanship, feeling, and association such that it is able to convey its historical, cultural, or architectural significance.

#### **ANALYSIS**

1. At 126-years-old the structure meets the age threshold criterion.
2. Other than the 1950s crown molding and the reconfigured entry, the interior hasn't been touched for approximately 100 years. Records indicate that the second floor and Craftsman interior were added between 1905 and 1912, during the proposed period of significance. The exterior has maintained its Queen Anne character, although the mansard roof is not original.

Ms. Caroline Swope discussed the history of property which was built in 1889, comparing how the house looked from 1905-1912 to how it looked following a Craftsman era update in 1912. Victorian character defining details were

highlighted including the basement door and clipped corners with scroll work. Craftsmen character details were also noted like the front door and leaded glass windows. The interior, which was still in the process of being restored, was discussed. Ms. Swope noted the details of the rooms including the entry foyer, living room, dining room, office, pantry, kitchen with the original stove, master bedroom, and bathroom.

Ms. Swope discussed how the property fulfilled criteria B, noting the association of the property with significant people. Leopold Born, a master builder and master mason, resided at the property from 1890 to 1900. , Eugene Ricksecker also resided there and worked on construction of the ship canal at Lake Washington, was in charge of dredging Tacoma's harbor, and worked with the Army Corps of Engineers to open up Mount Rainier. Emil Lindstrom purchased the home in 1905 and in 1910 created the Lindstrom Hanford Lumber Company that built more than ten miles of railroad that connected the Rainier sawmill to the Prairie Line of the Northern Pacific. Irene Hincklemann moved to Tacoma to attend St. Joseph's nursing school and lived in the home until her death in 2014.

In discussion of criteria C, Queen Anne Victorian homes designed by Roath were shown in their present state, most of them having been heavily remodeled. Ms. Swope also noted the location of the home in within the Stadium-Seminary Historic District, meeting criteria E.

Vice-Chair Katie Chase expressed support for the nomination.

Mr. Marshall McClintock noted that even though the house is outside of the North Slope Historic District, he had received calls expressing interest in preserving in the home.

There was a motion

*"I move that the Landmarks Preservation Commission adopt the analysis as findings and schedule the Born-Lindstrom House nomination for a public hearing and future consideration at the meeting of May 13, 2015. "*

Motion: Chase  
Second: York

The motion was approved.

#### **4. DESIGN REVIEW**

- A. Old Business
  - i. 1932 Pacific (Union Depot/Warehouse District)

Ms. Lauren Hoogkamer read the staff report.

##### **BACKGROUND**

The McDonald-Smith Building was built between 1890 and 1896; it is a contributing structure in the Union Depot-Warehouse Historic District and it is part of the UWT campus. The Landmarks Preservation Commission was briefed on this project on October 22, 2014, approved the exterior renovation on December 10, 2014, and approved the repair of the sandstone sills on February, 25 2015. The previous approval included replacement of the existing failing windows with aluminum clad windows to match the adjacent Cherry-Parkes building. Since then, the design team has not been able to identify competitive bids for the appropriate window size. The applicant is now requesting approval for aluminum windows, which will be visually similar to the approved design and the original double-hung windows. The exterior finish and the reuse of the existing wood details would not change.

##### **ACTION REQUESTED**

Approval of the above scope of work.

## STANDARDS

### Union Depot/Warehouse Design Guidelines

3. Materials. The predominant building material within the districts is masonry, including brick, granite, and terra cotta. Rehabilitation of existing buildings and construction of infill buildings shall utilize masonry as the predominant building material.
4. Minimum Maintenance. All contributing historic buildings in the districts shall be maintained against decay and deterioration caused by neglect or defective or inadequate weather protection.

## ANALYSIS

1. The building is located in the Union Depot/Warehouse Historic District, and as such, is subject to review by the Landmarks Preservation Commission pursuant to TMC 13.05.047 for exterior modifications to the structure.
2. Work would closely match the existing windows and the new windows of the adjacent buildings. Existing wood details would be reused.
3. New windows would replace the failing existing windows.

## RECOMMENDATION

Staff recommends approval of the application.

Mr. Jordan Kiel, reviewing the previous discussion, noted that the detailing between the windows had been considered important by the Commission and would be salvaged. A close up of one of the windows was shown, and he noted that maintaining the horizontal break between the two sashes had been considered important as well. Window dimensions for the existing and proposed aluminum windows were discussed, the proposal being a profile that is similar though just two inches shy from the top of the curve to the reveal, with a similar half inch reveal. He noted the offset between the panes of glass that simulated double hung windows. The sightline at the base would be different, but not clearly visible from the ground. He felt from a maintenance standpoint it was a good solution for the university.

Mr. McKnight commented that the action requested was for an amendment to a previous approval.

There was a motion.

*"I motion to approve the amended changes"*

Motion: Williams

Second: Schloesser

Vice-Chair Chase expressed concern about the concept of moving away from a wood clad option. Mr. Duke York agreed that it could be precedent setting. Mr. Jeff Williams responded that it was a different situation compared to existing windows that could be restored. Mr. James Steel commented on the window profiles, noting there was a more prominent sash in the existing windows compared to the replacement windows which could be simulated in an aluminum clad wood window but was not included in completely aluminum windows. Discussion ensued. Mr. Ross Buffington asked to clarify if the applicants were seeking to set precedent. The response was that they were, by providing an opportunity for other bidders and creating competition. Mr. Milton Tremblay provided additional comments on how they were seeking to make the restoration of the buildings more cost effective.

Ms. Lysa Schloesser clarified that they did not have any elevation drawing and commented that without elevation drawings they would not be able to have a feel for what the proposed windows would it look like.

Mr. Steel commented that he had difficulty following the rationalization for using aluminum windows and noted that there were many different manufacturers for aluminum clad wood windows.

Mr. Kiel discussed the Secretary of Interior Standards (SOIS) in relation to the building and the relative significance of

using aluminum windows. He also noted that as per the SOIS for exterior alterations, new work should be differentiated from the old while being compatible. It was added that it had been out to bid and horizontal elevations had been included in the bid documents.

Mr. Milton Tremblay suggested returning in two weeks to continue the discussion. Discussion ensued with Commissioners requesting renders comparing the appearance, horizontal elevations, and section samples.

Mr. Williams withdrew the earlier motion.

There was a new motion

*"I move to defer."*

Motion: Williams

Second: Schloesser

The motion was approved

- ii. 19<sup>th</sup> and Jefferson (Union Depot/Warehouse District)

Ms. Lauren Hoogkamer read the staff report.

### **BACKGROUND**

The intersection of South 19<sup>th</sup> and Jefferson Street is in the Union Depot/Warehouse Historic District. On February 11, 2015, the University proposed and was approved to install a row of crash rated bollards along the east side of Jefferson, at the bottom of South 19<sup>th</sup> Street. The proposal also included a concept for landscaping with low shrubs and trees and a plinth with a "W" university identifier. The applicant is now seeking approval for the design of the "W," which would be constructed out of rolled plate steel that will be galvanized and painted a dark color. The "W" would be 12-inches deep, eight-feet tall and just under 12-feet wide. It would sit on a steel-wrapped, concrete plinth. The steel will match the "W" and have "TACOMA" in cutouts that reveal the concrete.

### **ACTION REQUESTED**

Approval of the above scope of work.

### **STANDARDS**

#### **Design Guidelines for the Union Depot/Warehouse District**

3. Materials. The predominant building material within the districts is masonry, including brick, granite, and terra cotta. Rehabilitation of existing buildings and construction of infill buildings shall utilize masonry as the predominant building material.

**Streetscape Guidelines.** Streetscaping is essential in the development of the districts in order to create value and enhance private development efforts. Proper design of streetscapes and public open spaces provides a unifying theme and unique identity for the districts, complements and extends the presence of Union Station, encourages pedestrian circulation, and creates a gateway to downtown and the waterway. The pattern of traffic routes and open space is based upon the historic function of the district and has a direct relation to such physical features as views from the upper floors of the building, sunlight, façade visibility, and streetscape appearance. Any significant loss or reconfiguration of existing open space and street corridors is discouraged. The following improvements are to be encouraged:

1. Sidewalk paving. Paving should be of brick or brick and brushed concrete. Existing granite curbs should be maintained or reconstructed, where possible.
2. Street paving. Where feasible, historic street paving and gutters, either brick or cobblestone, should be preserved and restored. Where feasible, existing railroad or streetcar rails should be preserved in place.

3. Streetlights. Historic streetlights should be used throughout the district as unifying elements.

#### **ANALYSIS**

4. The property is located in the Union Depot/Warehouse Historic District, and as such, is subject to review by the Landmarks Preservation Commission pursuant to TMC 13.05.047 for exterior modifications.
5. The proposal utilizes concrete and metal which is consist with other elements of the district and campus.
6. The design enhances the streetscape and provides added protection for pedestrians on campus.

#### **RECOMMENDATION**

Staff recommends approval of the application.

Mr. David Nason reported that the row of bollards and the planter had been submitted for permitting. The previous discussion of the project was reviewed, noting that a request had been made to return when a design for the large "W" was ready.

The project's landscape architect noted the existing conditions and discussed the site plan noting the locations of the bollards, plantings and the large "W". A rendering of the design for the concrete plinth and the "W" was shown. The color for the steel "W" had not yet been determined, but it would be similar to the dark color shown in the slide. It would not be illuminated at night, being unnecessary due to the amount of lighting already present in the area . A photo of a scaled mockup was shown to demonstrate the various site lines. The plantings were discussed with a soil section shown and it was noted that since it was in the ROW no plants would be over 3 feet in height. Discussion ensued with Commissioners seeking clarification on some of the design details.

There was a motion

*"I move the Landmarks Preservation Commission approve this application."*

Motion: York

Second: Steel

The motion was approved.

#### **B. New Business**

- i. 813 Pacific Avenue (Old City Hall Hist. District)

Ms. Lauren Hoogkamer read the staff report.

#### **BACKGROUND**

813 Pacific Avenue, built in 1908, is a contributing structure in the Old City Hall Historic District. The applicant is requesting approval to remove the existing 4' x 8' sign and replace it with a new 3.5' x 8.5' aluminum skin sign that has a similar 16" x 11" raised "Office Bar & Grill" logo. The new sign will be bolted onto the existing sign frame.

The existing sign was approved by the Landmarks Preservation Commission on August 25, 2010.

#### **ACTION REQUESTED**

Approval of the above scope of work.

#### **STANDARDS**

##### **Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings**

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### **ANALYSIS**

1. The building is a contributing structure in the Old City Hall Historic District, as such, it is subject to review by the Landmarks Preservation Commission pursuant to TMC 13.05.047 for exterior.
2. Sign does not destroy historic materials and it is differentiated from the historic material. It's massing, size, and scale are compatible with the building's architectural features.
3. Sign can be removed without harming the essential form and integrity of the historic property.

#### **RECOMMENDATION**

Staff recommends approval of the application.

The graphic designer who designed the new logo and builder of the previous sign were present. They commented that the existing 2x6s that were lagged into the building for the previous sign were going to be used for attaching the new sign. Samples of the material were shared and the design was reviewed. It was noted that the sign would not be illuminated.

There was a motion.

*"I move that this sign be approved."*

Motion: York

Second: Williams

The motion was approved.

- ii. 1944 Pacific Avenue

Ms. Lauren Hoogkamer read the staff report.

#### **BACKGROUND**

1944 Pacific Avenue, built in 1909, is a contributing structure in the Union Depot/Warehouse Historic District. Sprint is proposing removing the Clearwire equipment (antennas and microwave dishes) currently attached to the penthouse and replacing it with a new facility of antennas. Two antennas would be located at the northwest corner and four would be at the southwest corner, facility would also include one additional GPS antenna. Antennas would reach 12 feet above the parapet and be screened to look like faux chimneys that would be painted to match the brick. Antennas would only be visible, from a distance, from the rear elevations.

Sprint has provided design options with and without the enclosures.

#### **ACTION REQUESTED**

Approval of the above scope of work.

#### **STANDARDS**

##### **The Union Depot/Warehouse Design Guidelines:**

1. **Height.** The centerpiece and height benchmark for the districts is the Union Station, with its dome cap height of approximately 96 feet above Pacific Avenue. Wing parapet walls are 30 feet in height above Pacific Avenue. No new buildings constructed in the districts shall exceed 85 feet in height.

In the rehabilitation of existing buildings, their existing height should be maintained and the parapets and cornices should be kept intact. Any rooftop additions, penthouses, building systems equipment, or roof-mounted structures should be set back from existing parapet walls sufficiently to conceal them from view from street level.

2. **Scale.** Scale refers to a building's comparative relationship to neighboring buildings and its fit within the districts. The typical four-story building in the districts is 50 feet wide and 100 feet deep. Two such "basic blocks" side by side are proportionally similar to the main section of Union Station and illustrate the scale and size of structural components in the districts.  
Scale is also determined by the proportions of the architectural elements within the composition of the individual building facades. Exterior building facades shall be of a scale compatible with surrounding buildings and shall maintain a zero setback from the sidewalk. Window and door proportions, including the size and design of the wood sash and frame floor height, floor shapes, street elevations, and other elements of the building facades, shall relate to the scale of the surrounding buildings.
3. **Materials.** The predominant building material within the districts is masonry, including brick, granite, and terra cotta. Rehabilitation of existing buildings and construction of infill buildings shall utilize masonry as the predominant building material.
4. **Color.** Building colors should contribute to the distinct character of the historic building. Original building colors should be researched and considered in any new color scheme. Whether contrasting or complementary, the colors should reflect the design of the building. Building colors should utilize a limited palette. Colors should be selected to emphasize building form and highlight major features of the building. Color schemes using several colors should be avoided and surfaces which are not historically painted should not be painted.

#### **ANALYSIS**

1. The building is located in the Union Depot/Warehouse Historic District, and as such, is subject to review by the Landmarks Preservation Commission pursuant to TMC 13.05.047 for exterior modifications to the structure.
2. At 12-feet high the antennas would only be visible, from a distance, from the rear of the building.
3. 1944 Pacific Avenue is already the largest building on the block. The enclosure would add to its massing.
4. The proposed enclosure would be painted to match the brick building.

#### **RECOMMENDATION**

Staff recommends approval of the design option without the enclosure.

Gary Abrahams, a representative for Sprint, mentioned that there was an antenna facility currently located on a UWT building, but due to work being done on the building they were being required to relocate. Sprint proposed construction of a new facility on top of the structure at 1944 Pacific Avenue, at which point the existing antenna facility would be removed. Faux brick stealthing was proposed as an option to be used for minimizing the appearance of the towers. Mr. Abrahams noted that the tower would be around 12 feet in height. There was discussion of the two options shown with and without the faux brick screening. It was noted that in a similar proposal the Commission had approved the option without screening. Vice-Chair Chase expressed support for the option without the screening. Mr. Abrahams requested feedback from the Commission on any preferences for the color of paint on the tower. Commissioners recommended a dark gray color.

There was a motion.

*"I move that the application be approved by the Landmarks Preservation for the additions without screening."*

Motion: York  
Second: Steel

The motion was approved.

iii. 914 N M Street

Ms. Lauren Hoogkamer read the staff report.

### **BACKGROUND**

914 N M Street, built in 1924, is a contributing structure in the North Slope Historic District. The applicant is proposing a 2.5 car garage, located towards the rear of the lot, with alley access. The garage would have Nichiha Premium Shake siding that would be painted to match the house. Garage windows would be wood-wrapped to match the house. Windows and doors face the yard and are not visible from the right-of-way. The garage would be 26' x 34', with a 15' roof ridge. Roof slope will be 5/12 with architectural fiberglass shingles and two skylights. The ridge of the existing house is approximately 19' at the rear and 27' in the front.

### **ACTION REQUESTED**

Approval of the above scope of work.

### **STANDARDS**

#### **Design Guidelines for the North Slope Special Review District: Garages & Parking and New Construction**

1. **Alley accessed parking is the typical and predominant residential parking configuration in the district.** Residential driveways and garages facing the street are typically only appropriate when there is no alley access, or other site constraints prevent alley accessed parking (such as a corner lot).
2. **Minimize views of parking and garages from the public right-of-way.** Parking areas and garages should be set toward the rear of the lot to minimize visibility from primary rights of way. Parking lots and banks of garage doors along the front facade of a building do not conform to the character of the neighborhood. Where it is not possible to locate a parking structure to conceal it from view, it should be set well back from the front plane of the primary structure on the property. Off-street parking lots have no historic precedent in the residential areas of the neighborhoods and should be located behind the building and away from the street.
3. **Attached garages and carports are inappropriate.**
4. **Goal:** Balance the overall height of new construction with that of nearby structures. **Guideline:** New buildings should be comparable in height to adjacent structures. Buildings that are substantially taller or shorter than the adjacent historic buildings should be avoided.
5. **Goal:** Relate the size and proportions of new buildings and their architectural elements to those of the neighborhood. **Guideline:** Building facades should be of a scale compatible with surrounding buildings and maintain a comparable setback from the property line to adjacent buildings, as permitted by applicable zoning regulations.
6. **Goal:** Break up the facades of buildings into smaller varied masses comparable to those contributing buildings in the residential historic districts. **Guideline:** Variety of forms is a distinguishing characteristic of the North Slope and Wedge residential communities. Smaller massing—the arrangement of facade details, such as projections and recesses—and porches all help to articulate the exterior of the structure and help the structure fit into the neighborhood. Avoid large, blank planar surfaces.
7. **Goal:** Emphasize entrances to structures. **Guideline:** Entrances should be located on the front facade of the building and highlighted with architectural details, such as raised platforms, porches, or porticos to draw attention to the entry. Entrances not located on the front facade should be easily recognizable from the street.
8. **Goal:** Utilize traditional roof shapes, pitches, and compatible finish materials on all new structures, porches, additions, and detached outbuildings wherever such elements are visible from the street. Maintain the present roof pitches of existing contributing buildings where such elements are visible from the street.

#### **Guideline:**

1. **Shape and Pitch:** Typically, the existing historic buildings in the districts either have gable roofs with the slopes of the roofs between 5:12 to 12:12 or more and with the pitch oriented either parallel to or perpendicular to the public right-of-way or have hipped roofs with roof slopes somewhat lower.

2. **Architectural Elements:** Most roofs also have architectural details, such as cross gables, dormers, and/or “widow’s walks” to break up the large sloped planes of the roof. Wide roof overhangs, decorative eaves or brackets, and cornices can be creatively used to enhance the appearance of the roof.

3. **Materials:** Roofs that are shingle or appear to be shingle, or composition roofs, are the typical historic material compatible with the district. Seam metal may be an acceptable material for simple roof structures. Slate, faux slate and terra cotta tiles are not appropriate for the districts.

9. **Goals:** Use compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope and Wedge Neighborhoods were sided with shingles or with lapped, horizontal wood siding of various widths. Subsequently, a few compatible brick or stucco-covered structures were constructed, although many later uses of these two materials do not fit the character of the neighborhood.

**Guideline:**

1. New structures should utilize exterior materials similar in type, pattern, configuration and appearance to those typically found in the neighborhood.
  2. Stucco, especially commercial EIFS systems like Dryvit, is not acceptable for the historic district.
  3. Faux materials, such as vinyl or metal siding, are not acceptable for the historic district.
  4. Certain siding patterns, including board and batten and panel, are not historically common in the district and should not be used.
  5. Cementitious products, such as Hardiplank, may be acceptable in the district if installed in a historically correct pattern (for example, horizontal lapped siding or shingle). In such cases, the product used shall be smooth in texture (faux wood grain finish is NOT acceptable).
  6. Engineered products for trim and molding, if demonstrated to be similar in appearance to painted wood, may be an environmentally responsible substitute for wood on new structures. In such cases, the applicant should demonstrate to the Commission, via product literature and material samples, that the product is compatible.
11. **Goals:** Respect the patterns and orientations of door and window openings, as represented in the neighboring buildings. Window and door proportions (including the design of sash and frames), floor heights, floor shapes, roof shapes and pitches, and other elements of the building exterior should relate to the scale of the neighborhood.

**Guidelines:**

1. **Placement.** Typically, older buildings have doors and transoms that matched the head height of the adjacent windows. New structures should utilize this pattern.
2. **Doors.** Doors should be or appear to be paneled and/or contain glazed openings.
3. **Windows.** New structures should utilize existing historic window patterns in their design. Windows should be vertically oriented. Large horizontal expanses of glass may be created by ganging two or more windows into a series. Historically, the typical window in the district was a double hung sash window. Casement windows were commonly used for closets, nooks, and less commonly, as a principal window type in a structure. Many double hung sash windows had the upper sash articulated into smaller panels, either with muntin bars, leaded glazing, or arches. Commonly, windows were also surrounded with substantial trim pieces or window head trim.

## ANALYSIS

1. 914 N M Street is a contributing structure in the North Slope Historic District, as such, it is subject to review by the Landmarks Preservation Commission pursuant to TMC 13.05.047 for exterior modifications and accessory structures.
2. Driveway is accessed via the alley, meeting the guidelines for location of parking structures.
3. Garage is set to the rear of the lot, and will only be visible from the alley.
4. Roof height is lower than the main house, but meets the 5/12 slope prescribed in the guidelines.
5. Overall scale is compatible with that of the existing building.
6. Façade, massing and design are comparable to neighboring garages; it is also compatible with the existing structure.
7. Garage materials and color visually match that of the existing building.
8. Windows and doors open to the yard and are only visible from right-of-way.

## RECOMMENDATION

Staff recommends approval of the application.

Mr. Ken Shipman, the owner, noted that there had been a change to the proposal and that they would now be using real cedar shingles similar to the existing house.

Mr. McClintock commented that the property was the childhood home of Marjie Millar, who was one of the North Slope's two movie stars. He recommended approval of the application.

Mr. Steel noted that on the gable end, the 2x10 trim was not necessary for how small the structure was. He also commented on the trim extending to the eaves, where historically there would have been a bird walk rather than a soffit. Mr. Steel recommended Alaskan yellow cedar for the shingles, but added that any type of cedar shingle would be acceptable.

There was a motion.

*"I make a motion to approve."*

Motion: Williams

Second: York

The motion was approved.

### iv. 601 N Cushman

Ms. Lauren Hoogkamer read the staff report.

## BACKGROUND

Built in 1903, 601 N Cushman is a contributing structure in the North Slope Historic District. The applicant is planning a full interior remodel which includes adding a second bedroom to the top floor. In order to meet the requirements for egress, the applicant is proposing enlarging the existing dormer to add a new double-hung vinyl window that will match the size and shape of the original windows. The new dormer will reach the existing roof ridge. The application also includes repairing the front porch, with no design changes; repairing the broken window panes, in the original windows, and siding with in-kind materials and color; and replacing the inoperable windows with vinyl windows.

Applicant would also like to add a rear-facing vinyl window in the kitchen and move one of the existing rear-facing windows to the 6th street elevation. Window changes would match the existing configuration.

Applicant will be providing additional documentation for the window changes and dormer at the meeting.

### **ACTION REQUESTED**

Approval of the above scope of work.

### **STANDARDS**

#### **Design Guidelines for the North Slope Special Review District: Windows, Exterior Siding & Materials, Porches, and Roofs**

1. **Preserve Existing Historic Windows.** Existing historic windows in good working order should be maintained on historic homes in the district. The existing wood windows exhibit craftsmanship and carpentry methods in use at the time that the neighborhood was developed. New manufactured windows, even those made of wood, generally do not exhibit these characteristics.
2. **Repair Original Windows Where Possible.** Original wood windows that are in disrepair should be repaired if feasible. The feasibility of different approaches depends on the conditions, estimated cost, and total project scope. Examples of substandard conditions that do not necessarily warrant replacement include: failed glazing compound, broken glass panes, windows painted shut, deteriorated paint surface (interior or exterior) and loose joinery. These conditions alone do not justify window replacement.

Repair of loose or cracked glazing, loose joinery or stuck sashes may be suitable for a carpenter or handyperson. Significant rot, deterioration, or reconstruction of failed joints may require the services of a window restoration company.

3. **Replace windows with a close visual and material match.** When repairing original windows is not feasible, replacement may be considered.
  - Where replacement is desired, the new windows should match the old windows in design and other details, and, where possible, materials.
  - Certain window products, such as composite clad windows, closely replicate original appearance and therefore may be appropriate. This should be demonstrated to the Commission with material samples and product specification sheets.
  - Changing the configuration, style or pattern of original windows is not encouraged, generally (for example, adding a highly styled divided light window where none existed before, or adding an architecturally incompatible pattern, such as a Prairie style gridded window to a English Cottage house).
  - Vinyl windows are not an acceptable replacement for existing historic windows. Depending on specific project needs, replacement windows may include:
    - Sash replacement kits. These utilize the existing window frame (opening) and trim, but replace the existing sashes and substitute a vinyl or plastic track for the rope and pulley system. Sash replacement kits require that the existing window opening be plumb and square to work properly, but unlike insert windows, do not reduce the size of the glazed area of the window or require shimming and additional trim.
    - An insert window is a fully contained window system (frame and sashes) that is “inserted” into an existing opening. Because insert windows must accommodate a new window frame within the existing opening, the sashes and glazed area of an insert window will be slightly smaller than the original window sashes. Additional trim must be added to cover the seams between the insert frame and the original window. However, for window openings that are no longer plumb, the insert frame allows the new sashes to operate smoothly.
4. **Non-historic existing windows do not require “upgrading.”** Sometimes the original windows were replaced prior to the formation of the historic district, and now must be replaced again. Although it is highly

encouraged, there is no requirement to “upgrade” a non-historic window to a historically appropriate wood window. For example, a vinyl replacement window may be an acceptable replacement for a non-historic aluminum horizontal slider window, especially if the historic configuration (vertically operated sash) is restored.

**5. New Window Openings/Changing Window Openings**

- Enlargement or changes to the configurations of existing window openings is to be avoided on the primary elevation(s) of a historic building within the district. In specific cases, such as an egress requirement, this may not be avoidable, but steps should be taken to minimize the visual impact.
- Changes to window configurations on secondary (side and rear) elevations in order to accommodate interior remodeling are not discouraged, provided that character defining elements, such as a projecting bay window in the dining room, are not affected. A typical example of this type of change might be to reconfigure a kitchen window on the side of a home to accommodate base cabinets
- In general, openings on buildings in the historic district are vertically oriented and are aligned along the same height as the headers and transoms of other windows and doors, and may engage the fascia or belly band that runs above the window course. This pattern should be maintained for new windows.
- Window size and orientation is a function of architectural style and construction technique. Scale, placement, symmetry or asymmetry, contribute to and reflect the historic and architectural character of a building.

**6. Sustainability and thermal retrofitting.**

- a) Window replacement is often the least cost effective way to improve thermal efficiency. Insulation of walls, sealing of gaps and insulation of switch plates, lights, and windows, as well as upgrades to the heating system all have a higher return on investment and are consistent with preservation of the character of a historic home.
- b) Properly maintained and weather stripped historic windows generally will improve comfort by reducing drafts.
- c) The energy invested in the manufacture of a new window and the cost of its purchase and installation may not be offset by the gains in thermal efficiency for 40 to 80 years, whereas unnecessary removal and disposal of a 100 year old window wastes old growth fir and contributes to the waste stream.
- d) If thermal retrofitting is proposed as a rationale for window replacement, the owner should also furnish information that shows:
  - The above systematic steps have been taken to improve the performance of the whole house.
  - That the original windows, properly weather stripped and with a storm window added, is not a feasible solution to improve thermal efficiency.
  - Minimal retrofit, such as replacing only the sash or glass with thermal paned glass, is not possible.
  - Steps to be taken to salvage the historic windows either on site or to an appropriate architectural salvage company.

**7. Avoid removal of large amounts of original siding.**

**8. Repair small areas of failure before replacing all siding.** It is rarely advisable to replace all of the existing siding on a home, both for conservation reasons and for cost reasons. Where there are areas of siding failure, it is most appropriate to spot repair as needed with small amounts of matching material. Where extensive damage, including rot or other failure, has occurred, siding should be replaced with as close a material and visual match as is feasible, including matching reveals, widths, configuration, patterns and detailing.

**9. Other materials/configurations.** It is not historically appropriate to replace deteriorated siding with substitute materials, unless it can be demonstrated that:

- The replacement material is a close visual match to the historic material and can be installed in a manner in which the historically character defining details may be reproduced (mitered corners, dentil molding, etc); and
- Replacement of the existing historic material is necessary, or the original material is no longer present; and
- There is no feasible alternative to using a substitute material due to cost or availability.

10. **Avoid changing the appearance, pattern or configuration of original siding.** The siding type, configuration, reveal, and shingle pattern all are important elements of a home's historic character.

11. **Retain existing porches and porch details.** The original design elements of existing historic porches, when present, should be maintained. Major changes to configuration or ornamentation should be avoided. Missing or deteriorated details, such as columns and railings, should be repaired or replaced in kind.

12. **Avoid adding architecturally inappropriate details.** Items such as porch columns reflect the architecture of the home. Tapered columns atop piers are emblematic of Craftsman homes, but are not appropriate on Victorian era houses. Likewise, scrollwork, turned posts, or gingerbread are not appropriate on a Craftsman home. Replacement elements that have no historic design relationship with the architecture diminish the historic character of the building.

13. **Replace missing porches with designs and details that reflect the original design, if known.** Avoid adding conjectural elements. Photographic or other documentary evidence should guide the design of replacement porches. Where this is unavailable, a new design should be based on existing original porches from houses of similar type and age.

14. **In certain cases, building code may trump preservation guidelines.** For example, historic railing height may be considered a life safety issue, and new railings are generally required to meet building code. In these cases, innovative approaches may be needed to retain the appropriate scale and appearance.

15. **Preserve and retain existing roof form and appearance.** Major changes to the overall roof plan/type are discouraged. For example, changing a hipped roof to a gabled roof is generally inappropriate.

16. **Rooftop Additions should be sensitively located.** Additions that affect roof appearance may include the addition of elements such as dormers, skylights and chimneys. Additions are not discouraged, but should seek to minimize the visual impact to the overall roof form, as follows:

17. **Changes to the roof form should be located to the rear and less visible sides of a home.**

- In certain cases, it may not be possible to conceal new elements such as additional dormers from view. In such cases, using examples of historic additions (location, scale, design, materials) to guide new design is appropriate.

18. **Existing roof heights should be maintained.** Changes to the primary ridgeline height of a house are generally discouraged, such as "bump ups," with the exception that: in certain cases it may be demonstrated that an overall ridgeline height increase will dramatically increase useful attic space in a house WITHOUT significantly changing the appearance of the home from the street (rare).

19. **Materials and colors.** Composition roofs are an acceptable substitute for shingles, and have been in use on homes since the early 20th century. Composite and engineered materials that mimic the visual qualities of shingles vary widely in quality and appearance. If an engineered material is proposed that is not common in the district, material samples and product specification sheets should be furnished to the Commission. Metal roofs are not acceptable for historic homes. Clay tile roofs are appropriate only on the few examples of Mission or Spanish influenced architecture seen in the districts.

## ANALYSIS

1. The property is located in the North Slope Historic District and, as such, is subject to review by the Landmarks Preservation Commission pursuant to TMC 13.05.047 for exterior modifications to the structure.
2. Applicant is proposing preserving and repairing some historic windows and replacing some failing windows with vinyl windows.
3. Applicant has been asked to provide evidence that select windows must be replaced.
4. Applicant has been asked to provide alternative window materials that are not vinyl.
5. Applicant is replicating original window size and configuration in the new windows.
6. New windows are on either on the rear elevation, which is not highly visible from the right-of-way or the secondary elevation.
7. Window changes are to accommodate interior remodeling and are on the side elevations. Window changes will not have a large visual impact.
8. Original siding is being maintained.
9. Small areas of failing siding are being replaced in-kind.
10. Porch is being repaired in-kind. There will be no design changes.
11. Enlarged dormer will be located on a secondary elevation that is less visible from the front right-of-way. Dormer enlargement is to accommodate egress requirements.
12. Dormer will not increase the height of the roof ridge.
13. Materials and colors will match that of the existing building.

#### **RECOMMENDATION**

Staff recommends approval of the application, with the stipulation that the applicant explore repairing, instead of replacing, the existing wood windows and using wood, or a close match, for the new windows.

Mr. Tim Kairez, from Infinity Construction, and the owner were present. Mr. Kairez noted that they had additional information on the dormer, including photos simulating the appearance of the dormer, which was being increased to add a window. He reported that they were proposing vinyl windows due to several homes in the area using vinyl.

Mr. Marshall McClintock asked if the new window would be able to maintain the 1/3<sup>rd</sup> 2/3<sup>rd</sup> split. Mr. Kairez responded that it would not be able to due to space limitations.

Mr. Kairez commented on some of the repair work that they would need to do to the exterior including the front porch structure, adding that he would be using matching cedar siding, and repurposing an existing window.

Mr. Jeff Williams suggested that they could replicate the window on the front of the house. Mr. Kairez responded that he was not sure that there would be enough room. He added that the new window in the dormer would be a sash window.

Mr. James Steel commented that he would need to see photos documenting the deterioration of the windows and an elevation drawing to consider replacement of the windows. He added that he would also need to see architectural drawings of the proposed dormer.

Mr. Marshall McClintock commented that the home was one few examples of a small form Queen Anne style homes in the area and that the home was notable for having been the residence of the actress Mildred Davis one year.

Ms. Lysa Schloesser reviewed that the Commission would like to see an inventory of the windows being replaced with documentation, examples of what styles of windows they would be replacing with, and architectural drawings of the proposed gable with the scale and proposed window configuration. Mr. Steel added that the Landmarks Preservation Commission would not likely approve the vinyl windows.

Mr. Kairez requested clarification on whether he could proceed with repair work in the interim before returning to the Commission for approval on the proposed dormer and window replacement. Mr. McKnight responded that in-kind replacement and interior renovation could be approved at the staff level, but approval of the Commission would be needed for the dormer design and the window replacement.

There was a motion.

*"I move to defer the application for 601 N Cushman until further information is provided by the owner and the owner's agent."*

Motion: Steel  
Second: York

The motion was approved.

## 5. BOARD BRIEFING

### A. 1101 N I Street

Ms. Lauren Hoogkamer read the staff report.

#### **BACKGROUND**

1101 North I Street is a contributing structure in the North Slope Historic District and it also located within a View-Sensitive Overlay District (VSD). The applicant is undertaking a full remodel of the property and would like to increase the bedroom space on the second floor by adding a dormer. In order to do so, the applicant may need to apply for a VSD-Height variance—a separate land use application—and/or consider lowering the roofline of the dormer. The existing home does not comply with the required five-foot yard setback. The applicant will have to meet with Land Use, to determine if there are other requirements for this project. The applicant has provided three design alternatives for the Commission's consideration.

#### **ACTION REQUESTED**

Guidance and feedback.

John De Loma discussed an image of the existing elevations. The proposed dormer on the rear elevation would be on the northeast side of the property. The dormer was being proposed to allow better height clearance on the upper floor to finish the non-compliant bedrooms. They would try to match the existing window design, but would be requesting vinyl windows as there already were vinyl windows on the house. Three options for the dormer design were proposed: a large dormer, a single small dormer, and two small separate dormers. The shed dormer all the way across would be the preference, as per the owner. A survey would be completed to determine what variances would be needed. There would be no changes made to the "I" Street elevation.

Mr. McKnight asked if they had already determined if a height variance was needed. Mr. De Loma responded that they were looking for feedback on which dormer design was preferred before they looked into a variance.

Mr. McClintock suggested a jerkinhead dormer design. Mr. De Loma responded that it would limit the height and that there would be structural concerns as well.

Commissioners expressed preference for the design option with the single wide dormer.

The windows being replaced was discussed. Mr. De Loma noted that they would be matching the existing styles, with

the types of windows being used to be discussed at a future briefing. There were no original windows left in the building aside from some leaded glass on the "I" street side.

## 6. PRESERVATION PLANNING/BOARD BUSINESS

### A. Narrowmoor Addition Neighborhood Conservation District

This is time set aside for staff to present and walk through the proposed design guidelines ahead of the public hearing scheduled for April 8. Staff will address questions from Commissioners and begin identifying issues.

#### **ACTION REQUESTED**

This is only a briefing. No action is requested at this time.

Mr. Reuben McKnight reviewed the materials being discussed, noting that the slide presentation would be entirely a discussion of the language in the design guidelines in advance of the public hearing on April 8<sup>th</sup>.

Site Design was discussed. There was a question on where the lot size number was coming from. Mr. McKnight responded that he would forward the question to Dr. Diana Painter. He noted that the lots were much larger than the existing R1 zoning which set a minimum of 7500 square feet. Subdivisions of the lots would need to preserve the historic development pattern. What would be considered an outbuilding was discussed, Mr. McKnight commenting that it would be a structure no larger than 200 square feet. Mr. James Steel made a general request to keep the language consistent with the municipal code. Mr. McKnight responded that the guidelines would provide a glossary. He continued, noting some of the changes to the language in the design guidelines. New language included requiring a new residence to occupy the same general location as the historical residence. Language about protecting views had been removed, as it could not be guaranteed by the Commission. Language on minimizing the visibility of accessory structures had been left in.

Building height and scale were discussed. Mr. Jeff Williams requested more clarity on how they would measure the building height. Mr. Steel noted that an adjacent building owner could deny a request from a surveyor to measure the height which could limit the ability to measure the height of adjacent properties. Chair Granfield asked what standard they would be using to determine the height, noting that some of the lots slope significantly. It was reported that in view sensitive areas height was based on where the natural slope intersects with the foundation. Regarding the language on daylight basements, Mr. Williams noted that not all existing homes have completely exposed daylight basements. Mr. McKnight responded that the intent was to establish a maximum living space and he would clarify that having the basement be exposed was not a requirement. Mr. McKnight also noted that he would clarify within the language that demolishing the building while leaving a wall would not be considered a remodel.

Building form and massing were discussed. Mr. McKnight noted subjective terminology that had been revised to more specifically note which features would be considered "commercial looking", which would include architectural descriptions. Mr. Williams commented on houses that have room for extensions only behind, which would be keeping with the neighborhood character. Mr. McKnight responded that he had received feedback from a resident expressing similar concern. Mr. Steel commented on the complex massing statement and how it could be interpreted to preclude garage attachments with carports between, which would not be interpreted as simple though it already exists in the proposed district. Mr. McKnight noted that illustrations would be included in the future to provide clarity on the guidelines.

Exterior Cladding and Materials were discussed. There had not been language concerning cladding and materials in the original proposal. It was noted that the standards would apply to additions as well. Vice-Chair Chase noted that it was important, but since it was not a historic district, it would be difficult to administer in a scenario where there was an addition on an existing house that was already using prohibiting materials. Mr. Steel expressed concern at any requirements for new structures that would go beyond the requirements being applied to existing structures. Mr. McKnight noted that determining how to treat new and existing structures is one of issues they could revisit after the hearing and was a component of finding the line between a historic district and a conservation district. Discussion ensued on the different scenarios that could be considered and the different approaches that could be used.

Fenestration patterns were discussed. Mr. Williams noted that sliding windows would be necessary to maintain an

egress pattern. Mr. McKnight noted that the main guideline was that vinyl windows would not be considered appropriate for new buildings. Discussion ensued on the use of vinyl windows in a postwar district.

Doors and entries were discussed. Mr. McKnight noted that the guidelines were generally a description of the historical pattern in the proposed district.

Architectural details were discussed. Mr. McKnight noted significant changes from the original proposal, due to many of the items being outside of the scope of the Commission.

Accessory Structures were discussed. Detached accessory buildings would be limited to 600 square feet.

Mr. McKnight reviewed that they would be in Council Chambers for the public hearing on April 8<sup>th</sup>. The Commission discussed issues related the public hearing including whether Commissioners who recused themselves should participate in the hearing.

#### B. Events and Activities Updates

Ms. Hoogkamer noted that an update on events and activities was included in the meeting packet.

### 7. CHAIR COMMENTS

Chair Granfield thanked staff for their work and Commissioners for their contribution. He noted that updated rosters and calendars were available.

The meeting was adjourned at 8:14 p.m.

Submitted as True and Correct:

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Reuben McKnight  
Historic Preservation Officer





**STAFF REPORT**

April 8, 2015

**PUBLIC HEARING—PROPOSED CONSERVATION DISTRICT**

The Landmarks Preservation Commission will hear public comments today regarding a proposal to establish a new conservation district.

The creation of a conservation district is a zoning change, and follows procedures defined in 13.07.060 and 13.02.053. New districts require review and approval by the Landmarks Preservation Commission, the Tacoma Planning Commission, and City Council.

The Tacoma Municipal Code lists the criteria for designation of a conservation district in Chapter 13.07.040.

*The purpose of this hearing is to receive public comment regarding the proposed conservation district, and to determine if it meets the criteria in the City Ordinance. After the close of the comment period, the Commission will review comments and testimony at the April 22, 2015, regular meeting. The findings and conclusion will then be forwarded to the Planning Commission after the May 13, 2015, regular meeting.*

**AGENDA ITEM 3A: Proposed Narrowmoor Addition Conservation District**

*Reuben McKnight, Historic Preservation Officer*

**BACKGROUND**

In December 2013, the West Slope Neighborhood Coalition submitted a request to the City for an “area-wide rezone” to begin the process of establishing a Conservation District Overlay in the West Slope Neighborhood, for the purposes of protecting neighborhood architectural character. The proposed conservation district includes four plats, the first of which was filed in 1941, encompassing approximately 300 homes, constructed predominantly during the 1940s through the 1960s. Most of the original houses are simple one story homes with two habitable levels (the lower floor being a daylight basement) oriented to maximize views of the Tacoma Narrows.

In order to preserve the neighborhood’s character, and to ensure quality and compatibility of future construction activities, the original developer established covenants placing restrictions on design, construction, and land use within the plats.

The conservation district proposal arises from the neighborhood’s difficulties in ensuring new development is consistent with the perceived character and design intent of the neighborhood.

**PROPOSAL HISTORY**

In 2007, at the request of the West Slope Neighborhood Coalition, former Mayor Bill Baarsma and the City Council provided funding to the Historic Preservation Program to conduct a study of the feasibility of creating a new midcentury historic district in the West Slope Neighborhood. In 2009, the consultant, retained by the City, released a report that recommended against designating a historic district in the neighborhood due to a lack of historic integrity. However, the report also recommended the City explore revising the “conservation district overlay” tool to allow for standalone conservation districts, which might then be more appropriate for this area.

In 2011, with the support of the neighborhood, the City modified both the Comprehensive Plan and regulatory code to allow the conservation district overlay to be used as a standalone district (previously it was only used as a buffer zone around historic districts).

On September 24, 2014 the Commission voted to accept a review schedule for this district.

On March 11, 2015, the Commission voted to release the nomination with proposed boundaries (below) and design guidelines for public comment and to schedule a public hearing for April 8, 2015.

## Review Schedule:

Date	Items	Description
December 1, 2008	Study commissioned to review West Slope Neighborhood as a historic district	
April 16, 2009	Neighborhood Information Meeting, Tacoma Nature Center	<ul style="list-style-type: none"> <li>Overview of neighborhood history, discussion of survey methodology</li> </ul>
January 2010	West Slope Historic District Study ("Painter Report" released	
April 29, 2010	Neighborhood Information Meeting, Geiger Elementary	<ul style="list-style-type: none"> <li>Presentation of report; community question and answer session</li> </ul>
June, 2011	Comprehensive plan and code amendments adopted for standalone "conservation districts."	
November 2013	Application for Conservation District submitted to the City of Tacoma	<ul style="list-style-type: none"> <li>Staff review and discussion with applicants</li> </ul>
May 28, 2014	Briefing to the Landmarks Preservation Commission	<ul style="list-style-type: none"> <li>Feedback and guidance</li> </ul>
June 2, 2014	Briefing to the Neighborhoods and Housing Committee	<ul style="list-style-type: none"> <li>Feedback and guidance</li> </ul>
September 24, 2014	Presentation to the Landmarks Preservation Commission	<ul style="list-style-type: none"> <li>Guidance, direction</li> </ul>
November 5, 2014	Briefing to the Planning Commission	<ul style="list-style-type: none"> <li>Informational</li> </ul>
November 18, 2014	Neighborhood Information Meeting, Titlow Lodge	<ul style="list-style-type: none"> <li>Community meeting; introduction of scope and content of design guidelines for a conservation district</li> </ul>
February 5, 2015	Design Guidelines meeting, Titlow Lodge	
March 11, 2015	Presentation to the Landmarks Preservation Commission	<ul style="list-style-type: none"> <li>Presentation of draft ordinance and design guidelines; authorize public hearing notice</li> </ul>
April 8, 2015	Public Hearing, Landmarks Preservation Commission	<ul style="list-style-type: none"> <li>Public testimony</li> </ul>
April 10, 2015	Public Comment period closes	<ul style="list-style-type: none"> <li>Public testimony</li> </ul>
April 22, 2015	Presentation to the Landmarks Preservation Commission	<ul style="list-style-type: none"> <li>Review public testimony; provide feedback</li> </ul>
May 13, 2015	Presentation to the Landmarks Preservation Commission	<ul style="list-style-type: none"> <li>Findings and conclusion/recommendation to Planning Commission</li> </ul>

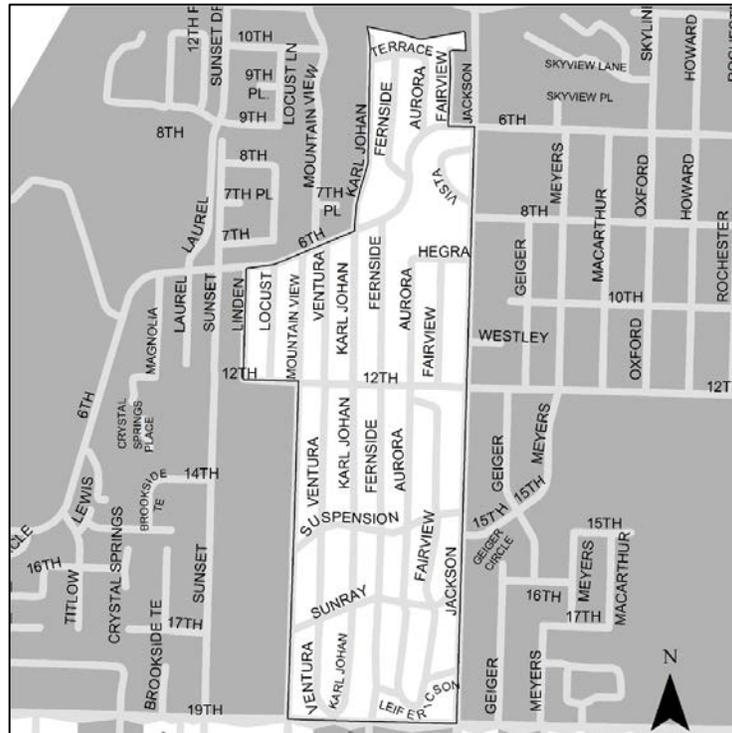
A postcard mailer was sent on March 15, 2015 with a notification of the Public Hearing as well as a Business-reply postcard questionnaire regarding the proposed district. Recipients included: 1) taxpayers of record within the proposed district as well as within 400' of the district boundaries, 2) occupants within the same area as the taxpayers list, 3) neighborhood council chairs, 4) Landmarks Preservation Commission distribution list, and 5) interested City staff and individuals. Notice was also published in the Tacoma News Tribune on Saturday, March 21.

In addition, an informational webpage was established at <http://www.tacomaculture.org/westslope.asp>.

The packet for this hearing includes:

- The district map, which outline the proposed boundaries.
- The draft code language, which establishes the district and its boundaries and enables the adoption of design guidelines.
- The draft design guidelines, which address height, scale, massing, window patterning, etc., as required by TMC 13.05.047 and TMC 13.07.070. This is an administrative document that will guide the Commission in reviewing proposals for new construction, demolition, and additions to existing structures in the district. If the district proposal moves forward, the design guidelines will be fully illustrated to assist property owners designing a project.

## PROPOSED DISTRICT BOUNDARIES



## EFFECTS OF DESIGNATION

If the conservation district is designated, the Landmarks Preservation Commission will adopt design guidelines for new construction, demolition, and additions. In coordination with other existing zoning and development standards, new construction and significant modifications to existing development within the Conservation District will be regulated through the Landmarks Preservation Commission process under these new design guidelines, pursuant to TMC 13.05.047 and TMC 13.07.070.

## ACTION REQUESTED

There is no action required.

## RECOMMENDATION

Staff recommends that the commission keep the comment period open until April 10, 2015.

**DESIGN REVIEW****AGENDA ITEM 4A: 727 Commerce (Old City Hall Historic District)***Patricia Lecy-Davis, Embellish Multispace Salon***BACKGROUND**

Built in 1887, this building is a contributing structure in the Old City Hall Historic District. The applicant is proposing a 21.25"x32" (4.75sf) blade sign that will project 40" from the wall, from a decorative steel bracket. The bracket and sign will be black with gold lettering. The sign material will be aluminum composite with vinyl. The top line will be 2.5" tall and the bottom line will be ¾" tall. The sign will be 12' from the ground and be bolted to the existing stucco and plywood wall.

**ACTION REQUESTED**

Approval of the above scope of work.

**STANDARDS****Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings**

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**ANALYSIS**

1. The building is a contributing structure in the Old City Hall Historic District, as such, is subject to review by the Landmarks Preservation Commission pursuant to TMC 13.05.047 for exterior changes.
2. Sign does not destroy historic material and it is differentiated from the existing historic material. It's massing, size, and scale are compatible with the building's architectural features.
3. Sign can be removed without harming the essential form and integrity of the historic property.

**RECOMMENDATION**

Staff recommends approval of the application

**AGENDA ITEM 4B: 701 N J Street (North Slope Historic Special Review District)***Ron Hjelm & Tara Waits, Phase II, Inc.***BACKGROUND**

Built in 1901, 701 North J Street is a contributing structure in the North Slope Historic District. The applicant is proposing exterior work that includes replicating the original metal roof cresting; replicating the original built-in gutters and cornice; and replacing the existing back porch.

Originally, the house had ribbed metal roof crests, which were lost when the house was reroofed in 1990. This project entails replicating the original crests based on photographs. The crests will be created out of the zinc product, Rheinzink "Pre-weathered Pro Graphite-Gray." The main crest will be 22" high with 1.5" ribs every 14," while the addition roof crest will be 16" high. Both crests will have a ball finial of spun zinc at the ends. The applicant has provided images of the mock-ups.

In 1999 the original gutters were replaced with wood gutters that have three, unsealed, sections. These gutters are now failing and the applicant would like to replace them with Plymouth Bay Fiberglass replicas created from the original drawings and historic photographs. The original gutters were built into the cornice. This work would include repairing the original fascia and soffit. The applicant has provided images and research supporting the use of fiberglass on historic structures.

During the 1999 remodel, the back porch was enclosed to create a breakfast nook and mudroom and a new porch was added. Currently there are problems with the side sewer and the basement; the applicant would like to remove the existing porch to fix the issues and then rebuild it. The new version would have a concrete pad underneath and more closely resemble the existing original front porch. The stairs would be moved from the east side to the north side and a box rail would be added to the east side, which would match the west side rail. Wrought iron handrails would also be added, currently there are no handrails. The decking would be 4" tongue and groove with steps that have 11.5" treads and 7.5" risers with rounded nosing. The porch would have Doric columns to match the front porch. Materials would be fir with cedar shingles. During the process, a two-paned basement window would be revealed and renovated, with security bars on the interior.

### **ACTION REQUESTED**

Approval of the above scope of work.

### **STANDARDS**

#### **Design Guidelines for the North Slope Special Review District: Guidelines for Porches**

1. Retain existing porches and porch details. The original design elements of existing historic porches, when present, should be maintained. Major changes to configuration or ornamentation should be avoided. Missing or deteriorated details, such as columns and railings, should be repaired or replaced in kind.
2. Avoid adding architecturally inappropriate details. Items such as porch columns reflect the architecture of the home. Tapered columns atop piers are emblematic of Craftsman homes, but are not appropriate on Victorian era houses. Likewise, scrollwork, turned posts, or gingerbread are not appropriate on a Craftsman home. Replacement elements that have no historic design relationship with the architecture diminish the historic character of the building.
3. Replace missing porches with designs and details that reflect the original design, if known. Avoid adding conjectural elements. Photographic or other documentary evidence should guide the design of replacement porches. Where this is unavailable, a new design should be based on existing original porches from houses of similar type and age.
4. In certain cases, building code may trump preservation guidelines. For example, historic railing height may be considered a life safety issue, and new railings are generally required to meet building code. In these cases, innovative approaches may be needed to retain the appropriate scale and appearance.

#### **Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings**

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **ANALYSIS**

1. This building is a contributing structure in the North Slope Historic Special Review District and, as such, is subject to review by the Landmarks Preservation Commission pursuant to TMC 13.05.047 for exterior modifications.
2. The porch is not original, but will be replaced with a design and materials that are based on the other existing porch. Currently, there are no handrails.
3. Columns will be similar to the existing front columns.

4. The historic character of the roof crests and gutters is being restored according to original drawings and historic photographs.
5. The proposed material will match the original gutter and cornice system.
6. No historic material is being destroyed. The new work is compatible with the massing, size, scales, and architectural features of the existing historic material.
7. Both the gutters and porch could be removed without harming the essential form and integrity of the historic property.

## RECOMMENDATION

Staff recommends approval of the application

## PRESERVATION PLANNING/BOARD BUSINESS

### AGENDA ITEM 5A: Events & Activities Update

*Staff*

Staff will discuss the following events and activities:

#### Events

1. CLG Training Recap
2. April APA mobile workshop
3. **May 2015 Preservation Month**
  - a) Kickoff Event (7-9pm @ The Arts and Crafts Press, May 1<sup>st</sup>)
  - b) Historic Homes Tour (Tacoma Historical Society, May 2<sup>nd</sup> & 3<sup>rd</sup>)
  - c) Photo Scavenger Hunt (1-4pm @ Earthwise, May 2<sup>nd</sup>)
  - d) Preservation Month Proclamation(City Council, May 5<sup>th</sup>)
  - e) Amazing Preservation Race, (11am @ Tollefson Plaza, May 9<sup>th</sup>)
  - f) City of Destiny Poetry Slam: Hilltop Edition (6-9pm @ Sure House Church, May 15<sup>th</sup>)
  - g) Tweed Ride (10:30am @ Point Defiance Pagoda, May 30<sup>th</sup>)
  - h) Closing Ceremony/Awards (2pm @ Foss Waterway Seaport Museum, May 31<sup>st</sup>)
4. Holiday Heritage Dance (6-9pm @ Titlow Lodge, November 13<sup>th</sup>)

Proposed Boundaries of the "Narrowmoor Conservation District"



**Narrowmoor Addition Conservation District Design Guidelines**

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**A NOTE ABOUT THIS DRAFT**

This draft design guidelines narrative is provided as background information for the proposed Narrowmoor Addition Conservation District. If the district is established by City Council, illustrated design guidelines will be formally adopted by the Landmarks Preservation Commission pursuant to Tacoma Municipal Code 13.07.120.

## Narrowmoor Addition Conservation District Design Guidelines

### I. About Design Guidelines

***How will these guidelines be used?*** These guidelines are intended to provide information for homeowners and the Landmarks Preservation Commission about the intent and purpose of the Narrowmoor Addition Conservation District, as well as guidance for the review and evaluation of proposed additions to buildings within the district, the development of new buildings, and the demolition of existing buildings. The character of the neighborhood is embodied in its development patterns and streetscape, and in the buildings and landscapes. These guidelines speak to what are considered the most important and enduring characteristics of the neighborhood.

***What is design review?*** Design review is an approval process that certain proposed projects in the Conservation District must complete before permits are issued and work is started. The Landmarks Preservation Commission reviews proposed, applicable projects for consistency with these guidelines at its regular public meetings. The Landmarks Preservation Commission may:

- Approve, approve with recommendations, or deny an addition to an existing building;
- Approve, approve with recommendations, or deny the construction of a new building; or
- Approve, approve with conditions, or deny a proposed demolition.

A Certificate of Approval is issued with Landmarks Preservation Commission approval of the project.

***Which projects require design review?*** If your house is located within the boundaries of the Narrowmoor Addition Conservation District, your project will require Tacoma Landmarks Preservation Commission review if it involves:

- An addition to the footprint of an existing house;
- Construction of a new house; or
- The demolition of an existing house.

Proposed projects must meet the requirements outlined in these Design Guidelines to obtain a Certificate of Approval from the Landmarks Preservation Commission. This is in contrast to project review in a historic district, which requires design review approval by the Historic Preservation Officer and/or the Landmarks Preservation Commission for most exterior work that results in visual or material changes to a building, if building permits are required. Design guidelines for a historic district are based on federal preservation standards and guidelines, neighborhood goals, and city codes.

***Which projects are exempt from design review?*** Projects in a Conservation District are exempt from Landmarks Preservation Commission review if they only involve changes to the exterior of an existing structure, provided they do not involve enlarging or demolishing an existing structure. The following projects are exempt from review in a Conservation District:

- Remodeling an existing building, provided that it that does not involve changes to footprint (e.g. changes to windows, siding, color changes, etc.);
- Changes to the interior of a building;
- Improvements to plumbing, sewer, electrical, and the like; and
- Changes to landscaping.

***How is the design review process conducted?*** Proposed changes to properties within the Conservation District as outlined above must be transmitted to the Landmarks Preservation

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Commission. Applications should include a scaled site plan with sufficient context to illustrate the relationship of the building to neighboring buildings; scaled plans illustrating existing conditions and proposed changes to the building; details as appropriate; specifications; photographs; and a narrative description, as necessary. A materials board may also be requested. The Landmarks Preservation Commission reviews applications during their regular meetings, every second and fourth Wednesday of the month. Applications for Design Review may be found at [www.tacomaculture.org/historic/home.asp](http://www.tacomaculture.org/historic/home.asp) in the Design Review section.

***Who approves the proposed project?*** The Landmarks Preservation Commission, a City-Council appointed volunteer citizen commission, reviews and approves or denies design or demolition applications. These design guidelines for the Narrowmoor Addition Conservation District provide the basis for this review. Decisions by the Landmarks Preservation Commission may be appealed by any interested party of record. Appeals are heard by the Hearings Examiner.

***What other regulations apply?*** In addition to these Design Guidelines, the following policies and regulations may apply to proposed projects in the Narrowmoor Addition Conservation District:

- Controls governing the View-Sensitive Overlay District (TMC 13.06.555)
- Regulations outlined in “Landmarks and Historic Special Review Districts” (TMC 13.07.120)
- Regulations outlined in “Compatibility of Historic Standards with Zoning Development Standards” (TMC 13.05.046)
- Underlying zoning code regulations for R1-Single-Family Dwelling District (TMC 13.06.100B1)
- Platting and Subdivision regulations (TMC 13.04), and
- Building code regulations.

In the event of a conflict between Tacoma Municipal Code requirements for an area and these design guidelines, the more restrictive requirements generally apply. If development standards as outlined in the Residential Zoning Code conflict with these design guidelines, the Landmarks Preservation Commission’s recommendations may prevail (TMC 13.05.046).

Contact the Historic Preservation Officer within the City of Tacoma’s Planning Services Division when planning a project within the Narrowmoor Conservation District to confirm which regulations apply to your project.

## **Narrowmoor Addition Conservation District Design Guidelines**

### **II. The Narrormoor Addition's Neighborhood Character**

#### **Location and Setting**

The Narrowmoor neighborhood includes the Narrowmoor Additions #1 through #4, comprising approximately 300 properties. The neighborhood is generally bounded by N. Terrace Drive (including houses on both sides of the street) and 6<sup>th</sup> Avenue on the north; Jackson Avenue on the east; S. 19<sup>th</sup> Street on the south; and N. Karl Johan Way, S. Linden Lane, and S. Mountain View Avenue on the west.

The neighborhood is located directly west of downtown Tacoma. It slopes down toward the west, overlooking the Tacoma Narrows portion of Puget Sound and the Tacoma Narrows Bridge. The Narrowmoor Addition was graded and platted in such a way that the houses are sited on a series of terraces that parallel the water. Lots in the Narrowmoor Addition are through lots. In other words, they are bounded on both sides by the north-south running streets. A wooded ravine is located north of Hegra Road, extending for just one block, from Sixth Avenue to S. Jackson Street. A second wooded ravine is located north of Narrowmoor Addition #4. Beyond this, to the north, is Highway 16, which continues west across the Tacoma Narrows Bridge.

S. Jackson Street, which bounds the east side of the neighborhood, is a major north-south arterial. S. Sixth Avenue, which passes between Narrowmoor Additions #1 and #4 on the east side of the Narrowmoor neighborhood and continues west, bounding the north edge of Narrowmoor #3, is also a major street, extending into a major east-west arterial on the plateau east of the neighborhood. S. 19th Street is also a major east-west arterial, connecting the Narrowmoor neighborhood with downtown Tacoma and Highway 16 on the east side of the neighborhood. Most streets within the subdivision are two lanes, with and without curbs and no sidewalks. Because of the lot arrangements, the blocks are long and there are few cross streets. As a result, most of the streets run north-south, with just four internal east-west streets.

Most of the area surrounding the Narrowmoor neighborhood is in single family development, both developed tracts and individually developed lots. Commercial development, multi-family development, and community facilities such as schools and churches tend to be located east of Jackson Street.

The Narrowmoor Addition neighborhood is made up exclusively of single family homes developed on an individual basis, either by individual home owners or small-scale builders. Houses are designed by architects, custom-designed by builders, or reflect stock plans. They display a combination of integral and detached garages, and some have both. Additional accessory structures include garden sheds and other small-scale structures, some temporary in nature.

#### **Design of the Narrowmoor Addition Subdivision**

The location of the Narrowmoor Addition is unique and was clearly chosen for its excellent views and proximity to the water. The topography was conducive to taking advantage of the views and was further graded to enhance this. The future development was located in an area that was largely undeveloped when Eivind Anderson bought the vacant, 259-acre property in 1943. The

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location was also desirable due to its accessibility to both the city and waterfront and recent improvements to the approaches to the new (1940) Narrows Bridge.

The subdivision design or layout for the Narrowmoor Addition is unique. The lots are large, averaging about 0.40 acres, and they are through lots. That is, they are bordered on both frontages by north-south streets and have no alleys. The lot frontages average about 100' in width. The large size of the lots, the relatively narrow streets, and the design of the streets ensure that the subdivision retains a 'suburban' rather than urban feel.

The lots themselves are terraced so that the upper, east side of the lot is high, in order to take advantage of views to the west, and they slope down toward the westerly streets with expansive rear yards. Some parcels are additionally terraced within the rear yard for more usable yard area. This lower yard is accessed, in most houses, by daylight basements. Most of the houses have full-width decks at the main level on the west side that overlook the rear yards, and offer broad views of the water, the Tacoma Narrows Bridge, and the mountains beyond.

The design of the Narrowmoor Addition was singularly suited to its site and the goals of the developer, Eivind Anderson, to create spacious, view lots, aimed at a specific clientele.

### **Site Design**

Lots in the Narrowmoor Addition are particularly generous in size; in fact, the West Slope is one of the least densely developed areas in Tacoma. While this is a different standard than we hold today, it is a particularly important character-defining feature of the Narrowmoor Addition. Many of the site design characteristics that were typical for mid-twentieth-century residential development do not hold true for the Narrowmoor Addition, due to its large, terraced lots, wide frontages, and open views.

At mid-century residences were typically sited toward the front of the lot, to allow for more space to the rear for recreation and relaxation. In the Narrowmoor Addition houses are sited toward the front, high portion of the site in order access views, in addition to allowing for generous space in the back yard. The rear yard provides space for recreation, which is augmented by the rear deck, which also provides space for relaxing and entertaining. Creating indoor-outdoor space in the form of courtyards and patios was an important value at mid-century in the Pacific Northwest. In the Narrowmoor Addition, large rear deck assumes this purpose. Additionally, the rear façade of the house is often glazed, looking out at the deck, the yard, and the view. The deck assumes the role of the major indoor-outdoor space, which has direct access from the main level of the house. At the lower level, daylight basements typically open up to the rear yard, also allowing for ready access.

Front yard setbacks in the Narrowmoor Addition were established at 30' in the original covenants. A study of aerial photographs for the area, both historic and current, reveals that the homes were very carefully sited with respect to the topography and took into consideration views to the west and northwest. The overall ambience of the Narrowmoor Addition is one of openness even today, when many home owners have added substantial fences around their properties and the landscaping has matured. Houses and garages were historically sited at the top or front of the lots. Buildings sited at the bottom of lots, particularly if they occur within the viewshed, can be visually obtrusive and change the character of the street as well.

Side yards were typically minimized in mid-century development. The residences themselves screened views to the rear yard, in part to ensure privacy. Even though the lots are very large in

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the Narrowmoor Addition, with frontages averaging 100' in width, minimum side yard setbacks were originally established at a relatively narrow seven feet (7'). As a result, the footprint of the house could be placed in a way that maximized views and minimized peripheral view blockage on neighboring lots. Privacy was not the primary concern.

Secondary structures, with the exception of garages, were prohibited in the original covenants for the Narrowmoor Addition. One of the overriding characteristics of the Narrowmoor Addition is that the lots are large. Originally the minimum lot size was established at 9,000 square feet or about a quarter of an acre, and the minimum street frontage was established at 60 feet in width. Actual lot sizes, however, are typically about 0.40 acres and lot frontages average about 100'. Increasing the density of the subdivision by subdividing the lots, adding additional units or large accessory units, or even enlarging the building footprint to the degree that a different relationship is created between the residence and its neighbors alters this relationship and the character of the neighborhood.

Historically the only secondary structures allowed in the Narrowmoor Addition were garages. By the mid-twentieth century it was common for a house to have an integral garage or carport. In the 1940s and early 1950s integral garages were often one-car garages. Later two-car garages became more common. By the 1960s garages began to compete with the house in visual dominance. The popularity of L- and U-shaped Ranch houses, and the fact that post-war subdivision design meant that alleys had become extinct, changed the visual relationship of the house to the street. This phenomenon has become further exacerbated by the relatively common phenomenon of the three and even four-car garages today. The size of the lots, dual street frontages, and slopes in the Narrowmoor Addition allow additional garages to sometimes be sited and designed in a relatively unobtrusive manner. The size, height, and placement of the accessory unit is important, however. If the unit is too large, too high, or its placement is insensitive to the design of the subdivision, it can become a visual distraction that affects the character of the streetscape and the neighborhood.

### **Architectural Design**

The Narrowmoor Addition displays the full range of mid-century residential styles. Mid-century styles (e.g. Ranch house, Minimal Traditional house, Modern or Contemporary house) and house types (e.g. L-shaped Ranch house, U-shaped Ranch house, Split-level and Split-entry Ranch house) share certain characteristics, such as an overall horizontal aspect. In subdivisions such as Narrowmoor where each house was individually developed, individual houses reflect different architectural styles and building types, but share underlying characteristics that associate them with post-World War II residential development.

The overall aspect of residential design at mid-century was horizontal. This was emphasized through the building form, the building's relationship to the ground (entries were typically at grade or just one or two steps above grade), the flat or low-pitched roof, deep eaves, and the horizontal orientation of the windows. The horizontal lines were often relieved by a vertical element such as the chimney or an entry detail, but the overall form was horizontal.

Gable and hip roofs were equally popular, although low-pitched roofs were the norm in either case. Flat roofs could be found on Modern (sometimes called Contemporary) or International Style homes. Roofs that telescoped into each other were particularly popular for Ramblers, or houses that were set into and responded to the topography of their site, but this style is rarely found in Narrowmoor. Rather, houses in the Narrowmoor Addition respond to the topography by setting the basement level into the slope of the hill such that the main floor meets grade at the

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upper level, at the east side of the lot. Roof ridges tend display a straight horizontal line in Narrowmoor, without much variation, and houses are one story high with a relatively low ridgeline.

The horizontal emphasis and low-slung appearance of the classic Ranch house, as well as other mid-century styles, is particularly characteristic of the Narrowmoor Addition. Second stories (excluding daylight basements) were prohibited by covenant originally (note that the houses were actually called two-story houses; today we say they are one story with a daylight basement). This maintained the overall ambience of the subdivision and also prevented view blockage.

### **Architectural Features**

An overriding characteristic of design at mid-century was asymmetry. This was carried out in the composition of the building, or the arrangement of the various design features, including fenestration patterns. A symmetrical entry was uncommon, and the private wings of the house often visually balanced the public wings, in terms of overall design. This design characteristic can be seen in virtually all the Narrowmoor Addition residences that have not been altered.

Privacy was an important value at mid-century, translated in both site and building design. Front windows on houses were minimized or placed high on the front façade. Windows and doors facing onto the outdoor areas to the rear of the house, in contrast, were often very large, displaying walls of glass. This is very true of the Narrowmoor Addition. However, the same level of privacy often seen in mid-century design was historically not typical in the Narrowmoor Addition. The highly glazed rear facades of the houses, the large rear decks overlooking the rear yards, and the relatively open rear yards made for a much more public ambience in early years. The front facades of the buildings still maintained the sense of privacy typical of mid-century residences. The fact that the lots are large ensured a certain amount of privacy, however. It may be that the deep setback of the house from the lower street ensured a certain amount of privacy in itself. Or it may be that the relative homogeneity of the subdivision made privacy less of a concern. This lack of concern for privacy – or perhaps security - has apparently changed today, as many more properties display high fences, hedges, and other features that alter the historic openness of the subdivision.

Windows in mid-century residences typically had a horizontal orientation. They were larger than in previous eras, based on new forms of glass production. Large fixed windows are particularly prevalent in the Narrowmoor Addition, as most residences were built here because of the views. Typical windows from the time are a combination of fixed and casement; sliding glass windows (particularly in later years); wood-frame fixed windows; and, more rarely, glass block. Most houses display a combination of these window types, typically large, fixed windows in public areas and horizontal fixed-and-casement windows for bedrooms and the like. (Note however that some Minimal Traditional and earlier architectural styles incorporated double-hung windows and windows with a more vertical orientation.)

Because a wide range of modern styles occur within the Narrowmoor Addition, a relatively wide range of stylistic features is present. Architectural detailing might consist of rustic features such as diamond-pane windows, angled brackets, and shutters on traditional Ranch houses, or minimal window surrounds, narrow fascia, and the other minimalist details of the contemporary Ranch or Modern house. Broad chimneys were particularly popular at mid-century. They provided a visual counterpoint to the horizontal orientation of the overall building form and signaled the presence of a fireplace wall or a central hearth on the interior, another characteristic design feature at this time. Broad chimneys, either on endwalls or the building interior, are commonly seen in the

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Narrowmoor Addition. As in many mid-century developments, design composition and materials are more important than architectural features per se, providing color, texture, pattern and an overall sense of proportion appropriate to the prevalent styles.

### **Materials**

Most mid-century residences in the Pacific Northwest are wood-frame construction, although a few of the buildings in the Narrowmoor Addition are actually concrete block masonry. Again, because of the variety of mid-century styles in the Narrowmoor Addition, many different exterior materials are seen. However, brick is particularly popular and characteristic of the neighborhood. Additional typical cladding for residences in Narrowmoor included wide clapboard, board-and-batten siding, vertically-grained wood sheathing, vertical board, brick masonry, brick veneer, and stone or synthetic stone veneer. Wood shingle siding is not seen in the Narrowmoor Addition. Asbestos shingle siding that was designed to imitate striated cedar shingle siding became popular in about the 1940s and can be found in the neighborhood. Materials that were not typical in the Pacific Northwest included stucco and stone masonry. Aluminum cladding became popular during the mid-century era. Vinyl siding, which has replaced aluminum siding in popularity, is a more contemporary phenomenon. These latter materials do not convey the same level of quality and permanence as materials historically used in the Narrowmoor Addition.

Composition or asphalt shingle roofs were common at mid-century. Wood shingle cladding for roofs was popular for its 'rustic' appearance, but is rarer today. Some contemporary synthetic materials are able to emulate this highly textured appearance. A built-up roof with a gravel finish was a popular roof finish at mid-century, particularly for flat or very low-pitched roofs, and can still be seen in the neighborhood. Standing seam metal roofs were not used and detract from the appearance of mid-century residences. Clay tile was not common in the Pacific Northwest or Narrowmoor, but may be present in isolated cases.

Foundations for mid-century residences were almost always concrete. A perimeter concrete foundation was common for areas with some change in elevation, in contrast to a slab foundation, which could be used in areas with flat grades. A perimeter concrete foundation is the most common foundation in the Narrowmoor Addition, due to the daylight basements that are built into the hillside on the east side of the lot.

Original window frames in the Narrowmoor Addition might be wood, aluminum or steel. Steel frames were popular in the 1930s through the 1950s, but less so in the Pacific Northwest, with its damp climate. Aluminum frame windows became popular in the late 1950s and early 1960s. Wood frames remained popular, particularly for fixed lights, throughout the era. Vinyl window frames are a relatively recent development and detract from a building, particularly a mid-century building. They also do not have the same degree of quality and permanence seen in older structures.

### **Landscape Design**

Overall building form at mid-century emphasized the horizontal. Site design was important, as was a transparent open relationship between indoor and outdoor space. Buildings were often sited at grade in order to facilitate the connection between the two. In the Pacific Northwest in particular, yards were often not particularly 'manicured.' Planting might be lush, but it often included native materials or possibly some specimen plantings with an Asian influence such as Japanese maple trees. Small entry courtyards with a decidedly Asian flavor were very popular. Indoor-outdoor spaces were also provided in the form of interior or sheltered courtyards. Entries

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were typically subtly emphasized with a few plantings or hardscape features, a change in the roofline or a skylight. Houses did not display the prominent entries seen in earlier architectural styles.

Historically only small trees, such as fruit trees, were allowed in the Narrowmoor Addition, in order to prevent view blockage. Today tall trees are uncommon in Narrowmoor, but dense and/or tall hedges do occur, which is not consistent with the historical character of Narrowmoor, these guidelines do not address vegetation in the District, which is addressed by other regulations.

These are typical landscape design elements and characteristics in the Pacific Northwest, which are also seen in the Narrowmoor Addition, but they do not necessarily characterize the area as a whole. There is a broad range of modern residential styles and forms in the Narrowmoor Addition, and landscape design in the subdivision echoes this diversity. Another reason for the variety in the neighborhood is likely that the yards are so expansive and the views so dramatic that it was not necessary to incorporate smaller-scaled indoor-outdoor elements to ‘bring the outdoors in.’ The outdoor space is already such a dominant feature in the subdivision that it may have been unnecessary to further enhance it.

Fences of vertical board or horizontal split rail wood were relatively common at mid-century. The use of wood complemented the ‘western’ theme of a traditional Ranch house. Other materials were used at mid-century to complement the contemporary Ranch house. In the 1960s, decorative concrete screen walls became popular.

The Narrowmoor Addition is unique for the fact that back decks augment the rear yard and are used for outdoor space because of the views. The rear yard is also oriented toward the view. Activities in the Narrowmoor Addition definitely take place in the rear yard and on the rear deck. It appears, however, that historically the rear yards were relatively open. There were no prohibitions against fences in the covenants for the Narrowmoor Addition, but nonetheless it appears that the popularity of monumental fences and very deep and/or high hedges is a relatively recent phenomenon in the subdivision.

In Narrowmoor Additions #2 and #3 language in the covenants prohibited trees that would obstruct the view: “No tall growing trees such as Southern Poplar, Maple or other similar species that would obstruct the panoramic view of the Sound shall be permitted to grow west of Fairview Drive.” The on-going influence of this covenant can still be seen in the subdivision. Small fruit trees, not typical of ordinary suburban developments, can still occasionally be seen today. Also seen today are dense hedges of arborvitae and the like, which was not characteristic of the earlier landscape.

With the exception of this singular characteristic, few generalizations can be made about landscape design characteristics in the Narrowmoor Addition, other than the fact that landscaping tends to be well-kept, in keeping with the overall ambience of the subdivision.

For more information about the history of the Narrowmoor Addition  
and the architectural traditions seen in the neighborhood see  
*Tacoma West Slope Historic District Development Project*  
*Historic Resource Survey Report*  
Painter Preservation & Planning  
December 2010

## **Narrowmoor Addition Conservation District Design Guidelines**

### **III. Design Guidelines**

#### **A. Guidelines for Additions**

##### **Site Design**

Additions to a residence should, to the extent possible, occupy the same general footprint as the primary residence on the subject parcel, which is typically the upper or east-to-central location in the parcel and should respect the historical setback of 30' from the front property line..=

Additions should respect the orientation of the main residence.

The cumulative footprint of the residence, garage and outbuildings shall not exceed 25% of the square footage of the residential lot.

##### **Building Height and Scale**

Primary buildings (residences) in the Narrowmoor Addition shall be restricted to one story above a daylight basement level for new construction. The daylight basement shall be exposed on the western frontage and be located below grade on the eastern frontage, with primary entrances occurring at or near grade on the eastern frontage. New additions shall not exceed the height or building square footage of the primary structure, provided that the height of the primary structure is one story above a daylight basement, and shall respect the scale of the historic building on the site, as well as the scale of unaltered buildings in the immediate neighborhood. New additions on buildings that exceed one story shall comply with the guidelines for new construction and be no higher than the average roofline of the primary structures on adjacent properties.

Exceptions to the height requirement may be made by the Landmarks Preservation Commission if the applicant can demonstrate that, because of special circumstances not applicable to other properties or buildings, including size, shape, design, topography, location, or surroundings, additional height will not be out of scale with the surrounding context.

Building scale shall respect historical development patterns, with new additions occupying the east side or central portion of the lot.

##### **Building Form and Massing**

Historically houses in Narrowmoor displayed relatively simple forms, with rectangular, U-shaped, or L-shaped footprints. A few have wings that extend at oblique angles from the main mass. Houses typically have gable or hip roofs with a relatively low pitch; a few have flat roofs. These same patterns should be repeated in new additions to primary buildings in the Narrowmoor Addition.

Historically, massing on houses in the Narrowmoor Addition was also simple. New additions shall respect historic building forms, avoiding steeply pitched roofs; complex massing; overly complex rooflines; and multiple wings and extensions, particularly footprints that extend to the north and/or south lot lines.

##### **Exterior Cladding and Materials**

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Exterior cladding for new additions should reflect the same level of quality and permanence as materials historically used in the Narrowmoor Addition, and should be consistent with the quality of materials on the main body of the house. Materials on new additions should be compatible with those on the main body of the house, but need not repeat the same materials.

Typical exterior cladding materials in the Narrowmoor neighborhood include wide clapboard, board-and-batten siding, vertically-grained wood sheathing, vertical board, brick masonry, brick veneer, and stone or synthetic stone veneer. Striated cedar shingle siding and asbestos shingle siding designed to imitate this material is occasionally seen. Stucco and materials that imitate stucco was used occasionally and may be appropriate depending on the style of the building. All these materials are acceptable for additions in the Narrowmoor Addition. Aluminum siding (occasionally seen on historical buildings) and vinyl siding are prohibited. Synthetic board siding, cementitious board siding, and other synthetics or composites are discouraged but may be acceptable under certain limited circumstances, where it can be demonstrated that the new material meets or exceeds the existing material in visual quality and life expectancy. Accent materials in the Narrowmoor Addition historically included most of the materials noted above. Accent materials should reflect the same level of quality as the materials on the main body of the building.

### **Fenestration Patterns and Windows**

Fenestration patterns are key character-defining features in the Narrowmoor Addition. Historically, most windows had a horizontal orientation, reinforcing the overall building form and reflecting the styles of the time. Alternatively, banks of windows could convey a similar feeling. Historically, windows on the front façade of houses in Narrowmoor were typically small and often placed high under the eaves, while windows on the rear, west façade were large, creating an almost a curtain wall effect in some cases. Common window types were fixed pane picture windows and fixed pane and casement windows for bedrooms and the like. Sliding windows are seen in some instances. Windows for new additions should respect historical patterns of fenestration. Vertically oriented, two-light sliding windows should be avoided.

Window frame materials are limited to wood, aluminum, and other metals. Newer materials and composites such as fiberglass may be acceptable where it can be demonstrated that the new material meets or exceeds the existing material in visual quality and life expectancy. . Vinyl-frame windows are prohibited.

### **Doors and Entries**

Entries on mid-twentieth century residences were often subtle and rarely centrally placed. Entrances could occur under an overhang on Ranch houses or be preceded by an entry court in a Modern house. They were sometimes accented by special features such as a change in the roofline or a skylight. Entry doors were typically flush, sometimes with square or rectangular accent windows. A rustic Ranch house might have diamond-pane windows and panel detailing. Doors could also have sidelights, panels of translucent glass to one side, and/or transom windows. The primary goal of doors and entries in new additions is to retain the same level of restraint and subtlety as doors and entries in historical residences in Narrowmoor. Doors and entries on new additions should not visually ‘compete’ with the main entry.

### **Architectural Details**

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Architectural features on mid-century residences tended to be subtle. Materials themselves were considered ‘decorative’ and their combination was often an architectural feature. Examples include the use of clinker brick or Roman brick or a combination of wood cladding and brick veneer for a decorative effect. Conversely, the composition of windows and solid panels might be considered ‘decorative’ on a Modern structure. Some Rustic Ranch houses have angled brackets supporting the porch roof and diamond-pane windows, while a Colonial Ranch house might have post supports at the front porch and shutters on the windows. Nonetheless, architectural detailing in mid-century residences was often limited and subdued. Architectural detailing on new additions should be compatible with detailing on the main body of the building, but need not repeat the same detailing.

Chimneys on mid-century residences were typically masonry construction and broad, with a rectangular footprint. They were focal points on the building. This should continue to be the case for new additions. A new chimney or chimney stack should not, however compete visually with the primary chimney.

Large decks are a common feature in the Narrowmoor Addition. The design of balustrades should be simple and straight-forward, consisting of vertical wood balustrades, plexiglass and tubular metal rails, and the like. Highly decorative or massive railings should be avoided. Permanent exterior accessory items that extend above the allowable roof height should be avoided.

## **B. Guidelines for New Construction**

### **Site Design**

A new residence shall occupy the same general location as the historical residence on the subject parcel, which is typically the upper or east-to-central portion of the parcel and respects the historical setback of 30' from the front property line. To the extent possible, the new residence shall occupy the same footprint as the historical residence. New houses should be oriented as they were historically, with the primary entrance on the east side, and the rear façade facing west. Exceptions to the height limit may be possible through the city's variance application process.

Lot subdivisions are required to maintain the historical minimum lot width of 60'. Lot subdivision will be limited to east-west divisions, such that new parcels will retain historical patterns with lot frontages occurring on both east and west streets, resulting in a generally rectangular lot in most instances.

The cumulative footprint of the residence, garage and outbuildings shall not exceed 25% of the square footage of the residential lot.

New accessory structures shall, to the extent possible, respect historical development patterns in the Narrowmoor Addition, which placed buildings at the upper or east side of the parcel. Alternatively, accessory structures may be sited within the lot such that the visibility of their profiles from neighboring parcels is minimized.

### **Building Height and Scale**

Primary buildings (residences) in the Narrowmoor Addition shall be restricted to one story above a daylight basement level for new construction. The daylight basement shall be exposed on the western frontage and below grade on the eastern frontage, with primary entrances occurring at or near grade on the eastern frontage. To the extent possible, new construction will respect the historical height and scale of the historic building on the site.

Building heights for new construction in the Narrowmoor Addition shall be restricted to no taller in height than existing ridgelines/rooflines. New construction shall be no higher than the average roofline of the primary structures on adjacent properties, provided these structures are representative of original Narrowmoor construction. If an adjacent structure has been altered in a manner that increased its roof height, the nearest residence representative of original construction shall be used for the measurement.

Exceptions to the height requirement may be made by the Landmarks Preservation Commission if the applicant can demonstrate that, because of special circumstances not applicable to other property or facilities, including size, shape, design, topography, location, or surroundings, additional height will not be out of scale with the surrounding context.

Building scale shall respect historical patterns, with houses occupying the east side or central portion of the lot.

### **Building Form and Massing**

Historically houses in Narrowmoor displayed relatively simple forms, with rectangular, U-shaped, or L-shaped footprints. A few have wings that extend at oblique angles from the main

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mass. Houses typically have gable or hip roofs with a relatively low pitch; a few have flat roofs. Eaves may be narrow or deep, depending on the architectural style of the house; mansard roofs or other unusual or overly complex rooflines should be avoided.

Historically, massing on houses in the Narrowmoor Addition was also simple. New construction shall respect historic buildings forms, avoiding steeply pitched roofs; complex massing; overly complex rooflines; and multiple wings and extensions, particularly footprints that extend to the north and south lot lines.

### **Exterior Cladding and Materials**

Exterior cladding for new construction should reflect the same level of quality and permanence as the materials historically used in the Narrowmoor Addition. Typical exterior cladding materials in the neighborhood include wide clapboard, board-and-batten siding, vertically-grained wood sheathing, vertical board, brick masonry, brick veneer, and stone or synthetic stone veneer. Striated cedar shingle siding and asbestos shingle siding designed to imitate this material is occasionally seen. Stucco and materials that imitate stucco was used occasionally and may be appropriate depending on the style of the building. All these materials are acceptable for new construction in the Narrowmoor Addition. Aluminum siding (occasionally seen on historical buildings) and vinyl siding for new construction are prohibited. Synthetic board siding, cementitious board siding, and other synthetics or composites are discouraged but may be acceptable under certain limited circumstances, where it can be demonstrated new material meets or exceeds the existing material in visual quality and life expectancy.

Accent materials in the Narrowmoor Addition historically included most of the materials noted above. Accent materials for new construction should reflect the same level of quality as materials on the main body of the building.

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Window frame materials are limited to wood, aluminum, and other metals. Newer materials and composites such as fiberglass may be acceptable where it can be demonstrated that the new material meets or exceeds the existing material in visual quality and life expectancy. Vinyl-frame windows are prohibited.

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### **Architectural Details**

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Large decks are a common feature in the Narrowmoor Addition. The design of balustrades should be simple and straight-forward, consisting of vertical wood balustrades, plexiglass and tubular metal rails, and the like. Highly decorative or massive railings should be avoided. Exterior accessory items that extend above the allowable roof height should be avoided.

### **Accessory Structures and Parking**

Detached accessory buildings may be allowed, including garages, provided that the footprint of any one accessory building does not exceed 600 square feet and the ridgeline or roofline does not exceed 15' in height. Total square footage for multiple accessory buildings shall not exceed 1,000 square feet. Detached accessory buildings shall be subject to the same limitations on building materials as the main residence.

### **C. Guidelines for Demolition**

It is the policy of the City of Tacoma that the demolition of historically significant properties should be avoided whenever possible. Demolition of primary structures within the Conservation District requires the approval of the Landmarks Preservation Commission.

The process for obtaining a demolition approval is outlined in TMC 13.05.047(5).

An application detailing the physical aspects of the property, a historical overview, and any plans for future redevelopment is required. Additionally, a professionally prepared narrative that outlines the architectural, historical, and/or cultural significance of the property and a discussion of its physical condition is required (TMC 13.05.048). These materials will be used by the Landmarks Preservation Commission in making their findings on the proposal and in their decision to approve or deny the demolition. The Landmarks Preservation Commission will also require information about the future plans for the property, including the design, financing, and construction timeline for any replacement structure that is planned in place of the demolished building, which is in turn subject to the provisions of these Design Guidelines.

Whether the existing building was considered a Contributing or Non-contributing structure in the survey of the neighborhood should be taken into consideration, but does not affect the information that is required for Commission review of the proposal, or the final decision. Application materials should explain the importance (or lack of importance) of the building within the context of the Narrowmoor Addition's history and significant physical characteristics. This information will assist the Landmarks Preservation Commission in making their decisions.

Properties for which a Certificate of Approval for demolition is granted are required to provide mitigation for the demolition of the building, including physical documentation; commitment to constructing an approved replacement structure, if applicable; and any additional mitigation that may be recommended by the Landmarks Preservation Commission (TMC 13.05.048 (C)).

The following demolition proposals are exempted from the above requirements:

- Demolition of accessory buildings, including garages and other outbuildings, and noncontributing later additions to historic buildings, and where the accessory building or addition is not considered historically significant in itself;
- Demolition work on the interior of a building; and
- Buildings that have been specifically identified by the Landmarks Preservation Commission as non-contributing to the Narrowmoor Addition Conservation District at the preliminary meeting, provided that a timeline, financing, and design for a suitable replacement structure have been approved by the Landmarks Preservation Commission,

Note that a historic survey on the subject property may recommend that it is eligible for listing on the Tacoma Register of Historic Places due to its association with persons significant to the history of Tacoma or the region, or for its architectural design, or as the work of a master architect or builder. The Tacoma Landmarks Preservation Commission makes the final determination on the eligibility of a property for listing on the Tacoma Register.

Demolition decisions are appealed to the Hearing Examiner.

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## **Appendices**

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**Appendix A: List of Properties in the Narrowmoor Addition**

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## Appendix B: Architectural Styles and Types in the Narrowmoor Addition

The Narrowmoor Addition displays a broad range of post-war architectural styles, as well as a few buildings more typical of the pre-World War II years. This is partly because each lot was developed individually; at the most a handful of houses were developed by any one builder. It also reflects the fact that some homes are architect-designed, many are custom-built homes, but many also appear to reflect stock plans.

Most of the houses in the Narrowmoor Addition were constructed in the 1950s, although a significant number were built in the 1940s and a few were built in the 1960s. The Period of Significance for the development is 1944, the date the first plat was recorded, to 1969, when architectural styles began to change. Styles present in the Narrowmoor Addition survey area include: World War II-era cottages; Minimal Traditional homes (WWII-era); Post-war brick bungalows; Ranch style homes; Modern or Contemporary houses, including post-and-beam houses; and residences designed in the International Style.

The following is a discussion of architectural styles and building types found in the Narrowmoor Addition. They are categorized first by plan type; a World War II-era house often displays a nearly square or slightly rectangular footprint while a post-war house often displays the elongated footprint of the Ranch house style. Ranch houses can be categorized by their form (L-shaped, U-shaped) or by their stylistic features or both. Lastly, the Narrowmoor Addition also displays a number of Modern houses, including post-and-beam and International Style houses. They are not typified by any particular form, but usually have the same open floor plan that characterizes most post-war residences.

### World War II-era styles

The Minimal Traditional house, the most popular of the World War II-era styles, developed at a time when the Federal Housing Administration (FHA) was developing standards for homes that would result in an economic and efficient building that nonetheless provided an acceptable level of housing quality. The largely square footprint minimized wall construction while maximizing floor area. Hallways were nominal and some rooms – usually the dining/living room - took on multiple functions. Roof pitches were often relatively low and eaves narrow, saving on building materials. Visual interest was provided by changes and contrasts in building materials and texture. They typically did not incorporate a carport or garage.

*The Basic House – plan type.* The Basic or Minimal house refers a plan type that came out of studies sponsored by the Federal Housing Administration (FHA) and controlled through the FHA regulations of the 1930s. It refers to a plan type(s) that minimizes circulation space and maximizes multi-use spaces, such as kitchen-dining or dining-living spaces in the interest of economic efficiency.

*World War II-era cottage.* The World War II-era cottage is a compact building whose nearly square floor plan reflects the Basic or Minimal house plan type. A WWII-era cottage often has a shallow-sloped hip roof, no eaves, and a recessed side entry. It can display a variety of window types, but steel casement sash or double-hung, wood-frame windows with horizontally-oriented lights are often seen. Corner windows are character-defining features, as are round or octagonal accent windows. Large chimneys are common.

*Minimal Traditional.* The Minimal Traditional house is a transitional building that reflects FHA minimum standards. Typical characteristics include a hip or gable roof, no eaves, a square or rectangular plan, and ‘traditional’ windows such as paired or single double-hung windows with

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multiple lights and shutters. Visual interest is often provided by cladding materials, such as clapboard with brick accents or shingle siding.

*Post-war brick bungalow.* The post-war brick bungalow is another transitional building with a compact footprint, but a more elongated form that presages the Ranch house. The floor plan may reflect the open living-dining-kitchen of the Ranch house. These houses often have a shallow-pitched hip roof, narrow eaves, and narrow, recessed, central entries. Brick cladding extends to the eaves. Windows tend to be horizontally-oriented, composed of fixed and casement sash, and are placed high on the facade. This style was particularly popular in the Narrowmoor Addition.

### **Post-war styles - the Ranch house**

The Ranch house, which has its origins in the Spanish Colonial architecture of the American southwest, was popularized by designer and developer Cliff May and Menlo Park-based *Sunset* magazine, the “Magazine for Western Living.” Construction and production processes for building these wood-frame homes became streamlined in the construction of defense housing in the build-up to World War II, when it was necessary to build very rapidly. Design and construction efficiency was refined in the post-war building boom, and the Ranch house became the home of choice throughout most of the country.

The Ranch house evolved from the earlier Minimal Traditional home, but nonetheless retained some of the efficiencies developed in the pre-war era, including efficiencies in building construction methods. In contrast to the earlier style, however, Ranch homes were long and low, often with a rectangular, L-shaped, or shallow U-shaped footprint. Additional forms include houses arranged around a courtyard, split-level and split-entry houses, which are one and two stories, and ramblers. They have deeper eaves and often a shallower roof pitch than the earlier Minimal Traditional-style homes. Glass areas are often large, with horizontally-oriented lights with casement or sliding sash, in addition to fixed windows, including picture windows. Internally Ranch houses often exhibit an open floor plan in the public rooms, which create multi-functional spaces. They display a variety of siding types and detailing. Chimneys are broad and occur on the interior or endwall. Lastly, they typically incorporate an attached carport or garage.

*The Ranch House – plan type.* The Ranch house plan is an open floor plan, where the dining and living rooms or kitchen and dining rooms may be combined. The kitchen is typically small with two entrances or a “pass-through” to the dining area. Bedrooms are typically aligned along a hallway, rather than centered on a small vestibule, as in WWII-era houses. This was the era in which the family room made an appearance as well. The garage or a carport was typically integrated with the house, but could be separated from it by a breezeway.

### **Ranch house – form types**

*L-shaped Ranch house.* The L-shaped Ranch house typically has a garage towards the front of the lot with a front or side entrance. The “L” may also, however, be formed by a wing with a gable or hip roof. This is one of the most common configurations for the Ranch house.

*U-shaped Ranch house.* The U-shaped Ranch house has a recessed entry located between two projecting wings. These wings, which may be quite shallow, can have a gable or hip roof. If one wing is composed of a garage, the recessed entry often acts as a front porch with a covered walkway from the garage to the front door. Another popular form, based on southern California models, is one in which the rooms are arranged around a courtyard, which may also be open along one side.

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*The Rambler.* The Rambler is a Ranch house in which the wings of the house project at oblique angles from the center portion of the house. These wings often take advantage of the site by conforming to the topography or having an orientation toward important views. The form of the Rambler is often reflected in a telescoping roof where the ridgeline ‘steps’ up or down, reflecting changes in the plan.

*Split-level Ranch house.* The Split-level and Split-entry Ranch house were both popular post-war styles. A Split-level house typically has one two-story wing (or one story above a daylight basement) and one one-story wing, with the entry occurring in the one-story wing. Here the main entry usually opens onto the main floor with its public rooms, and the bedrooms are usually on a second level above a family room and garage at a lower level. A Split-entry Ranch house is two stories (or one story above a daylight basement), with the central main entry at an intermediate level between the two floors. The architectural detailing and finishes of the Split-level houses are often similar to the Ranch style. Colonial-influenced features are popular for Split-entry homes.

### **Ranch house – styles**

Ranch house styles are organized into three different categories here. The first two categories – the Traditional Ranch and the Contemporary Ranch – reflect ‘authentic’ styles that are singular to the Ranch house. The third category of Character Ranch houses (sometimes called Storybook Ranch houses) reflects a category of homes in which various stylistic details derived from other architectural styles have been adapted to the Ranch house. These include such styles as Tudor Revival, Spanish Colonial Revival or Mediterranean, Colonial Revival, and “Chalet.”

*Traditional Ranch.* Traditional Ranch styles reflect the rustic, southern California and American southwest origins of the Ranch house. Characteristics include a long, low porch, mimicking the corridor of the traditional hacienda; and rustic finishes including variegated brick and board-and-batten; and wood shingle roofs. Although not directly related to the origins of the Ranch house, other popular details include porch supports with decorative angled brackets, diamond-shaped lights in windows and doors, and decorative shutters.

*Contemporary Ranch.* The Contemporary Ranch house refers to mid-century Ranch houses that do not display the rustic or traditional stylistic features of the Traditional Ranch. In fact, a Contemporary Ranch house may reflect few stylistic features or details, relying on the overall form and simple modern detailing, such as industrial sash, to convey its style. Alternatively, it may incorporate stylistic features that are contemporary to the mid-century, such as open concrete block screens and Populux details such as canted windows or entry features.

*Character Ranches.* Character Ranch houses can take on a variety of styles. They may reflect Spanish Colonial or Mediterranean influences with stucco walls, tile roofs, and round-arched arcades. A Tudor Ranch might have false half-timbering on the upper facades over a brick base. A Colonial Ranch might have a row of columns or posts with caps supporting the front porch roof, but more often recalls Colonial influences with shutters and a formal entry. The Chalet style was also a popular adaptation to the Ranch style, seen in broad front gables with shaped fascia boards extending toward the ground.

### **Post-war styles – the Modern house**

The Modern house, also see as the Contemporary house, refers to both the design features of the house and the period in which it was developed (see for example Virginia Savage McAlester’s chapter on the Contemporary house in *A Field Guide to American Houses*). The term “Modern” is used in this document and refers to architectural design that was occurring primarily in the 1940s through the 1970s.

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Modern architecture is a style that was imported from Europe and is typically thought of in connection with the Bauhaus school of design, established in the inter-war years in Germany. It was popularized in the United States by the recently founded Museum of Modern Art in New York in traveling exhibits, lectures, and books in the early 1930s. It became increasingly established in the United States as a number of European architects immigrated in the late 1930s to avoid political difficulties in Europe in the build-up to World War II. Modern residential design was first seen on the west coast in the late 1920s in Los Angeles and the Bay Area. By the mid-1930s a number of Pacific Northwest architects were experimenting with the style which, as practiced here, typically utilized wood-frame construction, wood cladding, and extensive use of glass. Some of the most talented and well-known modern architects in Tacoma were Alan Liddle, Robert Billsbrough Price (there is a Price home in the Narrowmoor Addition), and Mary Lund Davis.

Modern houses. Modern houses are often architect-designed and, in contrast to the Ranch style, take on a variety of forms, shapes, and overall expression. Modern homes typically have an open floor plan in the public areas of the house, but are screened from the public street. This is often achieved with solid walls along the front façade with small clerestories above, but can also take on a variety of other expressions. In contrast, areas of the house that look out onto private outdoor areas, from back yards to internal courtyards, exhibit broad expanses of glass. Roofs typically have a low pitch and may include gable, shed or flat roofs or more expressionistic roof forms. Common characteristics include an emphasis on asymmetrical, two-and-three-dimensional compositions. Use of natural materials such as stained wood and stone is common. Natural colors are often used but may be accented with bright, primary colors.

Post-and-beam. The modern post-and-beam house reflects a construction method rather than a style per se, but certain stylistic features are associated with the post-and-beam house. The open floor plan of the modern house required interior posts and beams for structural support. This left exterior walls free, which was expressed in extended beams supporting deep overhangs and expanses of glass to the eaves of the house. Post-and-beam houses are further characterized by low-pitched gable roofs; extensive use of wood, often with a vertical grain; and plain or rustic details.

International Style. The International Style reflects some of the same characteristics as a Modern house, but in residential design the overall building form takes on a horizontal aspect. The International Style is typified by an asymmetrical composition; a flat roof with no eaves; planar surfaces and smooth finishes; minimal or plain detailing; and expansive or expressionistic use of glass, whether in full-height glass curtain walls or ribbon windows.

## Appendix C: Profile of Eivind Anderson

Eivind Anderson, a contractor and builder by trade, developed the Narrowmoor Addition and was likely the source of the subdivision's unique design and vision. Anderson, who was born in Norway in 1883, immigrated to the United States in 1904 and settled in Tacoma in 1906. He appeared to be an inventive and ambitious person. He developed a process for a concrete wall form-tie in 1934, whose patent is still held by the U. S. Patent Office. And he was the contractor for a number of large, complex public projects in the 1920s through the early 1940s in his career as a contractor/builder.

Included among the projects for which Anderson was general contractor are:

- Addition to Western State Hospital, Main Ward #3, Ft. Steilacoom, 1925;
- Renovation of 1888 Mason Block, Tacoma, 1927;
- Jail addition to the Public Safety Building (former wing of the Northern Pacific Headquarters Building), Tacoma, 1929;
- Renovation of Northern Pacific Headquarters Building, 1929;
- U.S. Immigration Station and Assay Office, Seattle, 1930-31;
- Western State Hospital, Main Wards #3, Steilacoom, 1933;
- Quarters and hospital, Fort Lewis, 1941; and
- Post offices in Wenatchee and Yakima (n.d.).

Earnings from his projects at Fort Lewis during World War II enabled him to retire and begin development of the Narrowmoor Addition. Anderson procured the contract to build the hospital at Fort Lewis in the 1941-42 time frame. In 1942 he retired from contracting and in 1943 he bought the land for the Narrowmoor Addition. Anderson recorded Additions 1 and 2 in 1944.

Anderson gained notoriety in 1946, making the front page of papers across the country as well as an article in *Time* magazine, when he, along with U.S. Representative from Tacoma, John M. Coffee, were questioned by the Senate War Investigating Committee for misuse of war funds. Anderson had submitted a bid of \$936,517 for a contract to construct a hospital at Fort Lewis. He traveled to Washington DC in 1941 to consult with the war department when he became worried that he would not be awarded the contract, for which he was the low bidder. Apparently to facilitate the award, he gave \$2,500 to Paul A. Olson, Coffee's secretary. Anderson defended his actions before the Senate Committee stating that, "... he had a 72-building project under way at Fort Lewis with a contract calling for completion in 90 days and 'things were not moving fast enough.' Mine was a patriotic service."<sup>1</sup> He also claimed that he was merely requesting representation in Washington DC on behalf of the project. Coffee claimed it was a campaign contribution. It had been revealed that Coffee had not reported the money, although a letter was sent from Coffee's office on May 11, 1941, thanking Anderson for his contribution. The investigation was eventually dropped by the Committee.

Anderson ran for mayor of Tacoma in 1946. One of the issues he was pressing for was the extension of utilities to Narrowmoor. Anderson ran for office again in 1953, for a position on the new City Council. His progressive-sounding statement was as follows:

*"It is generally recognized that the purpose of changing to a city manager form of government in Tacoma is to allow a fuller participation by the people in a more efficiently operated administration.*

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<sup>1</sup> Legislator . . . *The Evening Independent, Massillon, Ohio, July 29, 1946.*

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*The success or failure of this undertaking rests with the voting public in choosing councilmen who are interested in making a new charter function at all times keeping the welfare of the community foremost.*

*I am interested in the progressive development of Tacoma; I have worked, lived and reared a family in Tacoma; I have for some 40 years, operated a successful business here, and I am aware of the needs of Tacoma to become a more safe, modern and progressive city in which we can all have pride.*

*I believe my qualifications fit me for a place on the new council.”*

Anderson married Aslaug Anderson, who immigrated to the United States from Norway in 1902 and moved to Tacoma in 1908. They had three children, Arthur R., Thomas W. and Margaret K. Anderson. The Andersons lived in Narrowmoor Addition Four, at 622 N. Fairview Drive, a home Anderson built in 1951 (a descendant of the family lived at the residence until recently).

Anderson died October 29, 1955, at the age of 73. The development of the Narrowmoor Addition was at its peak at the time of his death. His estate was valued at \$468,392, of which \$143,000 was property he held in the Narrowmoor Addition. The rest of his estate was in stocks, bonds and cash. Mrs. Anderson died on September 24, 1962, at the age of 81.

Both of Anderson's sons had impressive careers and were known regionally and nationally for their research and work in precast, pre-stressed concrete. Arthur R. Anderson (1910-1985) earned an engineering degree at the University of Washington and a doctorate at MIT, where he later taught. He practiced in Germany and during World War II headed the technical department at Philadelphia's Cramp Shipyard. He directed the testing of a prototype for the first pre-stressed concrete bridge, the Walnut Street Bridge in Philadelphia, and designed the struts for the monorails in Seattle and at Disney World.

After 1951 he returned to Tacoma. He and his brother Thomas (1912-2000), also a civil engineer, founded Concrete Technology Corporation in 1973, a company devoted to research and development of engineering technologies. It is credited with being the first production facility for precast, pre-stressed concrete in North America. They were also partners in ABAM Engineers, Inc. The latter is best known in its early years for design and construction of the Boeing Developmental Center and the 21-story Norton Building in Seattle. Today ABAM/Berger, whose headquarters is in Federal Way, is an engineering firm with an international practice. Pre-stressed concrete technologies developed by Anderson are still utilized at Anderson Technology Corporation (ATC), which is headquartered in Japan.

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**Appendix D: Glossary**

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**Appendix E: Resources and Further Reading**

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**Narrowmoor Addition Conservation District**

**PLEASE NOTE:**

*This language is proposed to be added to the Tacoma Municipal Code (TMC) Chapter 13.07. If the conservation district is established, it will require design review by the Landmarks Preservation Commission as provided for in TMC 13.05.047. Demolition review requirements are located at TMC 13.05.048.*

**13.07.XX1 Designation of the Narrowmoor Addition Conservation Special Review District – Purpose.**

A. In order that the West Slope neighborhood and the buildings within the neighborhood may not be injuriously affected; to promote the public welfare; to provide for the enhancement of the residential structures and the historic neighborhood development pattern of the West Slope, thereby contributing to the social, cultural, and economic welfare of the citizens of Tacoma by developing an awareness of Tacoma’s historic neighborhoods, maintaining productive and useful residential structures, and attracting visitors and new residents to the City; and in order that a reasonable degree of control may be exercised over the siting, development and architecture of public and private buildings erected in the West Slope neighborhood so that the goals set forth in this section and in this chapter may be realized, there is hereby created the Narrowmoor Conservation District, the boundaries of which are more particularly described in Sections 13.07.XXX and 13.07.XXX TMC hereof.

B. The West Slope neighborhood and the residential development pattern therein reflect significant aspects of Tacoma’s midcentury architecture and culture. Such historic, architectural, and cultural significance is also reflected in the architectural cohesiveness of the neighborhood. For the foregoing reasons, many of the features contained in the buildings and structures in the neighborhood should be maintained and preserved.

C. Except where specifically exempted by TMC 13.07.XXX, all new construction, additions to existing buildings and the demolition of existing residences within the conservation district boundaries is subject to the review and approval of the Landmarks Preservation Commission prior to the initiation of work, per TMC 13.05.046.

**13.07.XX2 Designation of the of the Narrowmoor Addition Conservation Special Review District – Findings.**

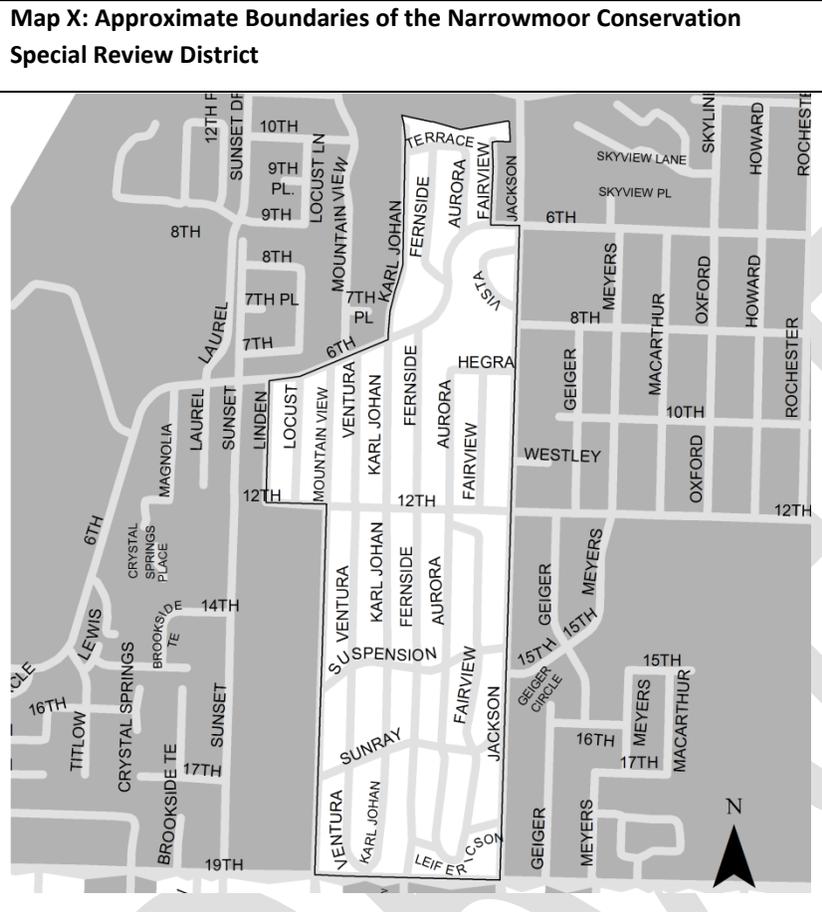
A. The Narrowmoor Conservation District is primarily significant for the design of the subdivision itself, including the layout of the subdivision and the effect of the controls on its historical development, as evidenced in the covenants that governed how the individual lots could be developed. The result is a unique design that responds to the topographical location and does not reflect the prevalent subdivision design models in use at the time, which was based on the picturesque landscape traditions and Federal Housing Administration guidelines.

B. The primary significance of the residential architecture in the Narrowmoor Conservation District concerns the placement of individual homes, which is part of the subdivision design. The design of the entire subdivision and the design of the individual lots is distinctive and contributes to the historic significance of this subdivision. The architecture of the homes themselves, which display the full range of World War II-era and post-war styles and building types, is not unique, although many homes share certain distinctive features, which should be preserved to the greatest extent possible.

C. The Narrowmoor Addition is an established and familiar neighborhood. Like several subdivisions in the Tacoma West Slope area, it overlooks the Tacoma Narrows and Tacoma Narrows Bridge. It is unique, however, for the way the subdivision and site design within individual lots was designed to respond to views. The visual features of the subdivision include large lots; sloping lots that are often terraced to create building sites that optimize views; low profile homes and landscaping to protect views; and site designs that were, in the past, controlled on a lot-by-lot basis. These characteristics, along with an overall suburban feel to the streetscapes within the subdivision, make the Narrowmoor Additions a unique and well known feature among Tacoma neighborhoods.

**13.07.XX3 Narrowmoor Addition Conservation Special Review District – Boundary Description.**

The legal description for the Narrowmoor Conservation District is described in Ordinance No. XXX and shall be kept on file in the City Clerk’s Office. The approximate boundaries are depicted in Map X below.



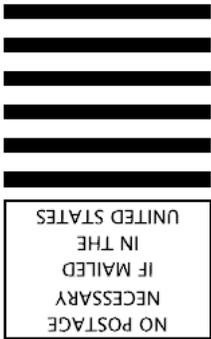
**13.07.XX4 Guidelines for building design review of the Narrowmoor Addition Conservation District.**

Pursuant to TMC 13.07.120, the Landmarks Preservation Commission shall adopt and maintain Guidelines for building design to ensure a certainty of design quality within the Narrowmoor Conservation District, protect the historic fabric of the district, enhance the economic vitality of the district through promotion of its architectural character, and provide a clear set of physical design parameters for property owners, developers, designers, and public agencies. These guidelines shall be made available to the public in electronic and printed formats.

TACOMA WA 98411-9988  
P O BOX 11007  
CITY OF TACOMA  
PLANNING & DEVELOPMENT SVCS ROOM 345

POSTAGE WILL BE PAID BY ADDRESSEE

**BUSINESS REPLY MAIL**  
FIRST-CLASS MAIL PERMIT NO. 1272 TACOMA, WA

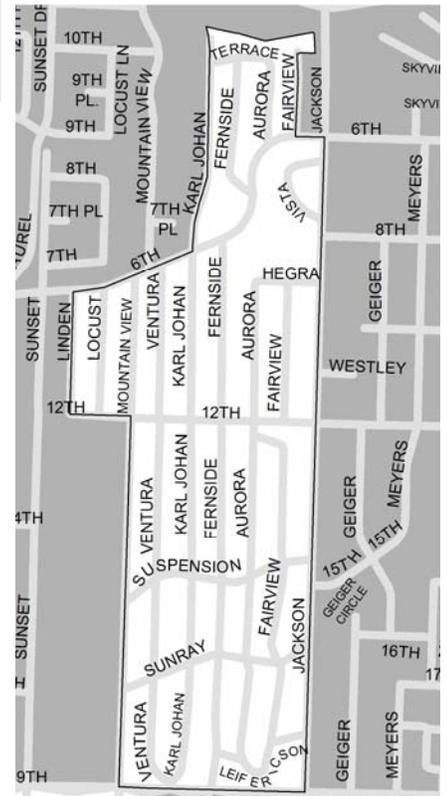


# PUBLIC HEARING

## NARROWMOOR ADDITION CONSERVATION DISTRICT

**WHEN:** WEDNESDAY, APRIL 8 2015, 5:30 pm  
**WHERE:** TACOMA MUNICIPAL BUILDING  
COUNCIL CHAMBERS  
747 Market Street, First Floor

Below: Proposed conservation district boundaries



### WHAT IS THIS HEARING ABOUT?

In November 2013, the West Slope Neighborhood Coalition submitted a written request for consideration of the neighborhood as a conservation district overlay zone (see map at right). This hearing is an opportunity for interested parties to provide comments to the Landmarks Preservation Commission regarding this proposal.

### IF I CAN'T ATTEND, WILL THERE BE OTHER OPPORTUNITIES TO COMMENT?

Yes! Comments to the Landmarks Preservation Commission are accepted in writing, including mail and email. In addition, there will be several opportunities to comment on record during the review process at the Planning Commission and City Council.

### WHAT IS A CONSERVATION DISTRICT, AND WHAT DOES IT MEAN?

A conservation district is an overlay zone created to protect and enhance the historic character of certain areas in the city. Overlay zones exist "on top" of the base zoning. A conservation district overlay zone creates standards and guidelines for design of new construction, additions to existing structures, and demolition of existing houses. To view the documents associated with this proposal, visit [www.tacomaculture.org/westslope.asp](http://www.tacomaculture.org/westslope.asp).

### HOW TO COMMENT ON THIS PROPOSAL:

In person: April 8, 2015, 5:30 pm.  
Tacoma Municipal Building  
Council Chambers  
747 Market Street, First Floor

In writing: [landmarks@cityoftacoma.org](mailto:landmarks@cityoftacoma.org)  
Landmarks Preservation Commission  
747 Market Street Room 345  
Tacoma, WA 98402



PLANNING AND DEVELOPMENT SERVICES  
 TACOMA MUNICIPAL BUILDING  
 747 MARKET STREET – ROOM 345  
 TACOMA WA 98402

PRSR STD  
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 TACOMA WA  
 PERMIT NO 2

# PUBLIC HEARING NOTICE

## PROPOSED NARROWMOOR ADDITION CONSERVATION DISTRICT

5:30 pm, APRIL 8, 2015

TACOMA MUNICIPAL BUILDING  
COUNCIL CHAMBERS

747 Market Street, First Floor

Be in the loop! To join the Landmarks Preservation Commission electronic mailing list, send an email to [landmarks@cityoftacoma.org](mailto:landmarks@cityoftacoma.org) subject line=mailing list.

PLEASE FOLD AND TEAR AT DOTTED LINE  
 PLEASE FOLD AND TEAR AT DOTTED LINE

# PROPOSED NARROWMOOR ADDITION CONSERVATION DISTRICT QUESTIONNAIRE

**1. Please check the best choice below.**

- I own a home in the proposed conservation district.
- I rent a home in the proposed district.
- I reside near the proposed area but not within the proposed boundaries.
- I own a business or nonresidential property within the proposed district boundaries.
- Other \_\_\_\_\_

**2. Do you support the proposed conservation district being established?**

- Yes
- No
- Neutral
- I don't have enough information.

**3. Additional comments for the Commission?**

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**WHAT IS THIS?**

The Landmarks Commission is currently considering a request to establish a new residential conservation district in the West Slope neighborhood (see map on reverse). In addition to a public hearing scheduled for **April 8** (see reverse), the Commission is providing the opportunity to respond to this questionnaire.

**TO RESPOND:**

Simply fill in the information, add any additional comments, and fold and tear this reply card at the dotted line above.

**PLEASE NOTE:**

Your opinion is valuable! However, this is not a vote for or against the proposal, but an opportunity to share your input.

This is an optional questionnaire. No response will not be counted as support or opposition.

Want to be in the loop? Join the Landmarks Preservation Commission email distribution list by sending an email to:

[landmarks@cityoftacoma.org](mailto:landmarks@cityoftacoma.org), subject = mailing list

March 29, 2015

Reuben M McKnight, MUP  
Historic Preservation Officer  
Planning and Development Services  
747 Market Street, Room 345  
Tacoma, WA 98402

Dear Mr. McKnight,

We are **opposed** to the attempts to establish a Conservation District Overlay in the Narrowmoor developments on Tacoma's west slope.

After attending City hosted information meetings and considering the body of work and presentation by Dr. Painter, we remain unconvinced that there is value to the City of Tacoma residents in establishing a Conservation District in the Narrowmoor developments for the following reasons:

1. The principal advocate for the Conservation District, the West Slope Neighborhood Coalition, is not empowered to speak for everyone in Narrowmoore, and lacks legitimacy as an organization. They are not a Homeowner's Association, Nonprofit or other government recognized entity. We believe their efforts and arguments are strictly an attempt to compel the City of Tacoma to enforce their interpretation of platted restrictive covenants, relieving them of the cost burden and shifting it to the larger community (the taxpayers). In fact, they attest to this a number of times in their literature.
2. There has been no evidence presented as to why Narrowmoor has any historical value whatsoever. The much mentioned Eivind Anderson was merely a land developer, one of four involved in the terracing of the slope that a large number of builders developed over the ensuing years. Statements regarding the character or uniqueness of the neighborhood are vague and uninformative. There were **at least** 8 styles of homes built during the early development years in Narrowmoor and over half the homes have been built in the years since Anderson died. The City sponsored study has not quantified or defined a cohesive architectural style that is predominant in the planned area. Examining only the original year built of the homes fails to reflect the extent of changes that have been made to almost all of the homes in Narrowmoor. In fact, county tax records show an **Adjusted Year Built**, which by County definition "*Indicates that improvements have been made to the original property which would effectively reduce the age of the building*". Of 303 homes we researched in the County Assessor's records in Narrowmoor, only one has an Adjusted Year Built before 1965, which indicates there is very little remaining of the original character of the period.

3. We are also disturbed by the fact that Eivind Anderson was a documented racist, as demonstrated in the First Addition of the Covenants for the Narrowmoor Additions, recorded March 13, 1944 which states: *“No part or parcel of land or improvement thereon shall be rented or leased to or used or occupied, in whole or in part, by any person of African or Asiatic descent, nor by any person not of the white or Caucasian race, other than domestic servants domiciled with an owner or tenant and living in their home”*. Although thankfully unenforceable, the statement still appears on plat maps and copies of the covenants to this day. Add to the fact that he was also an accused blackmailer (as described in the City sponsored study) is more than enough reason NOT to want to “preserve” his racist vision of Tacoma.

The remaining legitimate covenants and the View Sensitive Overlay Zone smartly created by the City of Tacoma in the 1990's (limiting building height to 25 feet) are more than sufficient to ensure over-building will not occur and home owners property rights and views are preserved. In a city as wonderful as Tacoma, I'm sure the City and the Landmarks Commission have better fiscal priorities than being the enforcer of covenants for people who simply want someone to be their on-call hammer every time they don't like something.

Respectfully,



Iain & Nancy Parsons  
1502 S. Ventura Dr.  
Tacoma, WA 98465

Landmarks Preservation Commission  
74 Market Street Room 345  
Tacoma, WA 98402

RE: Narrowmoor Addition Conservation District

To Whom It May Concern:

I have lived in the proposed "Narrowmoor Addition Conservation District" for 50 years and in my current home within said district for 40 years. My home was built in 1949. It has had 3 bedrooms, a recreation room, a bath and a garage added since 1949. This home and the others in the proposed district are ordinary, although fairly high end, tract homes. There is absolutely nothing historic or worthy of preservation in the proposed district.

Although the motives of those proposing the district are well intentioned, they are misguided. They assert they merely want to preserve our views and maintain the single home per lot concept and in general preserve the character of the neighborhood. We have covenants currently in place which clearly and completely cover the first two concerns. They proponents simply want a governmental agency to foot the bill to enforce these existing covenants and conditions.

As for the idea that the proposed district will preserve the character of the neighborhood, they are simply not thinking that issue through.

My first home in the proposed district has been torn down and replaced by a large, new and beautiful home without any loss of view or covenant violations. This has happened repeatedly throughout the area. The fact that this is a view area and the cost of the land alone, means that only nicer and better homes are going to be constructed - all of which are protected by the covenants in place. This is also true of the many upgrades that have taken place over the fifty years I have lived here. Tearing down these homes and building new and beautiful homes and making major upgrades may well change the character of the neighborhood, but only for the better. The result - increased values for the neighborhood. Why anyone would not want their property values to continue to increase is beyond my comprehension. If the preservation district is put into place, the teardowns and upgrades such as I mention will come to a grinding halt.

I say this with fifty years plus of legal experience, the last twenty of which were as a Pierce county Superior Court Judge. Home buyers always look at what are the restrictions on any property they want to purchase. For example, is there a home owners association, and here there would be a "super" HOA. I know from the condemnation cases that I have experienced, that these things all affect value. Covenants are fixed and certain and if you can live with them - you buy the house. Preservation District rules or their interpretation are far from fixed and essentially impose an uncertainty that negatively affects value.

We live in an area that has fairly strict and detailed covenants. We must comply with all the governmental building codes and laws as well. We simply do not need another layer of restriction and potential arbitrary enforcement of the same, all at a cost to current homeowners and future buyers. A cost which will effect not only potential sales, but the sales price as well.

For these reasons I, as a long time owner of property in the proposed district strongly oppose the creation of the "Narrowmoor Addition Conservation district".

Thank you for the opportunity to address this question and trust that serious thought will be given to these concerns before proceeding.

Very truly yours,

A handwritten signature in black ink, appearing to read "Bruce W. Coho". The signature is fluid and cursive, with a large initial "B" and "C".

Bruce W. Coho  
944 South Mountain View

# West Slope Neighborhood Conservation District

**PROTECT YOUR PROPERTY RIGHTS!** The City of Tacoma received a request to establish a conservation district overlay in your neighborhood. If the conservation district gets approved, it would create additional government process and design guidelines on properties in YOUR neighborhood beyond what is already required by the Tacoma Municipal Code. The additional regulations would restrict how you as a homeowner remodel, rebuild, repair or add an addition to your home. It would also restrict your ability to build a garage or separate your property for your own use.

This interference with your rights to develop your property puts you at a disadvantage against other less regulated property owners in the City of Tacoma and surrounding jurisdictions. For more information, please visit [www.cityoftacoma.org/Planning](http://www.cityoftacoma.org/Planning) and see the "2015 Annual Amendments" and then click on the "West Slope Neighborhood Conservation District".

**Let your voice be heard! Send feedback on this issue to the Master Builders Association of Pierce County at 1120 Pacific Avenue, Suite 301, Tacoma, WA 98402 or give us a call at 253.272.2112 by April 1, 2015.**



February 11, 2015

Brian Boudet  
Manager, Planning Services Division  
City of Tacoma  
747 Market Street, Room 345  
Tacoma, WA 98402

Re: *Master Builders Association of Pierce County's Opposition to Creation of a West Slope Neighborhood Conservation District*

Dear Mr. Boudet:

In response to the City of Tacoma's 2015 Annual Amendment proposal, the Master Builders Association of Pierce County strongly opposes the creation of a West Slope Neighborhood Conservation District. The neighborhood is not suitable for creating a conservation district—making the proposal tantamount to a request for spot zoning—and imposing a conservation overlay would create unnecessary and damaging layers of review, delay, and administrative process. As laid out below, the proposed West Slope Neighborhood does not meet any eligibility criteria for a conservation district, and the City should reject the application.

1. The West Slope Neighborhood was already rejected for historic significance by a preservation consultant. In 2010, the Painter Report rejected the West Slope Neighborhood from historic district consideration because *half of the buildings in the Narrowmoor Additions have lost their integrity.*<sup>1</sup> And, although the conservation district application submitted by individual members of the West Slope Neighborhood Coalition (“WSNC”) cites the Painter Report as encouraging the creation of a conservation district, this is misleading. The Painter Report does not encourage creation of a conservation district; it does nothing more than comment that conservation districts have been used elsewhere and could be investigated by the West Slope Neighborhood. The Painter Report offers no opinion that the West Slope Neighborhood is eligible for a conservation district.
2. The West Slope Neighborhood does not possess an intact development pattern or a prevailing historic architecture. The Painter Report indicates that houses in the Narrowmoor Additions are a random mix of custom built homes and stock plans, and are significant for the subdivision's siting not for the houses themselves other than the general observation that the houses tend to be one-story plus daylight basement. Painter Report at p. 6. Under these circumstances, there is no justification for imposing a “conservation” district overlay that would impose design requirements concerning appearance as well as restrictions on new construction or additions. And, as is more fully discussed below, the common neighborhood feature of low building height is a factor of the private restrictions *already* in place.

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<sup>1</sup> The “Painter Report” refers to the “Tacoma West Slope Historic District Development Project Historic Resource Survey Report,” prepared by Diana J. Painter for the City of Tacoma, dated January 2010.

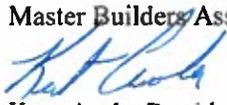
[www.mbapierce.com](http://www.mbapierce.com)

Brian Boudet  
February 11, 2015  
Page 2

3. Unlike in a historic district where there might be a mutual benefit to conserving the built environment, here the goal is to maintain status quo merely for the sake of maintaining status quo and neighborhood views. Those objectives are insufficient to justify creating the regulatory layers of a conservation district. The WSNC's conservation district application makes clear that *its primary objective is to protect views* in the West Slope Neighborhood area by locking in the neighborhood's existing built environment: the WSNC asks the City to impose building height limits to protect neighbors' views and to expressly permit the topping of "tall-growing trees." If the City is sympathetic to these goals of view preservation, it would be appropriate for the City to evaluate its height standards and tree trimming regulations for this area of the City, but concerns about *significant views* do not justify the creation of a conservation district meant to address *significant architecture*.
4. To the extent that there is any distinctive character worthy of being maintained, the plat restrictions already provide such protections. In other words, the objectives of the community are already adequately protected. Narrowmoor Additions 1 through 4 already contain covenants addressing WSNC's very concerns: two-story height limits, uses limited to single-family, and a uniform 30-foot setback. To the extent that the WSNC is concerned that such covenants are not enforced, the City should investigate whether to codify those covenants as development regulations. (In which case, homeowners in the West Slope Neighborhood who are not behind the WSNC's conservation district application may, in fact, object.)
5. The West Slope Neighborhood does not abut any historic or conservation district. Nor is there any need to impose a conservation district to extend protections of or to an abutting historic or conservation district; there are none. See TMC chapter 13.07.
6. The added regulation and accompanying delay would needlessly discourage improvements within the West Slope Neighborhood and deter buyers. The WSNC application would impose design review on any new home, addition, or demolition project within the West Slope Neighborhood. This would needlessly create months of delay for such projects, skyrocketing homeowner costs, hampering the exercise of property rights, and reducing the marketability of the neighborhood's homes to new buyers.

In conclusion, the regulatory cost and delays of creating a conservation district do not justify creating such a district where historic integrity has been lost and where the predominant neighborhood objectives are already met by plat conditions that remain in effect and which could be codified without need for the imposition of design review.

I will be in touch shortly to discuss a follow-up meeting regarding these issues. In the interim, I can be reached at (253) 272-2112.

Sincerely,  
Master Builders Association of Pierce County  
  
Kent Arola, President

cc: City of Tacoma Landmarks Preservation Commission  
Reuben McKnight, City of Tacoma  
G. Richard Phillips, Esq.



# WEST SLOPE NEIGHBORHOOD COALITION

P.O. Box 64321 Tacoma, WA 98464-0321

<http://www.westslopeWSNC.com>

## WSNC BOARD – 2013

### OFFICERS

#### Co-Chairmen

David Zurfluh [davidzurfluh@msn.com](mailto:davidzurfluh@msn.com)  
460-3372 1253 S. Fernside Ave.

Dean Wilson [dewilson064@gmail.com](mailto:dewilson064@gmail.com)  
312-2858 1401 S. Sunset Drive

#### Vice-Chair

Nancy Fleming [mnfleming@netzero.net](mailto:mnfleming@netzero.net)  
565-3698 1520 S. Fairview Dr.

#### Recording Secretary

Marianne Russell [russellzurfsell@aol.com](mailto:russellzurfsell@aol.com)  
566-8711 1746 S. Karl Johan

#### Treasurer & Leader of local CERT (Citizen Emergency Response Team)

Mike Fleming [mnfleming@netzero.net](mailto:mnfleming@netzero.net)  
565-3698 1520 S. Fairview Dr.

#### Membership Chair

Gail Cline [clinetq@comcast.net](mailto:clinetq@comcast.net)  
460-6786 7535 Hegra Road

### TRUSTEES (Area Reps)

#### Narrowmoor 1 (6<sup>th</sup> Ave to S 12<sup>th</sup> St) & WSNC Rep on West End Council

Tom Cline [clinetq@comcast.net](mailto:clinetq@comcast.net)  
460-6786 7535 Hegra Road

#### Narrowmoor 2 (S 12<sup>th</sup> to Suspension)

Joan Christensen [jochris@nventure.com](mailto:jochris@nventure.com)  
565-4565 1205 S Fairview Dr.

#### Narrowmoor 3 (Suspension to S 19<sup>th</sup>)

Marianne Russell [russellzurfsell@aol.com](mailto:russellzurfsell@aol.com)  
566-8711 1746 S. Karl Johan

#### Narrowmoor 4 (SR16 to 6<sup>th</sup> Ave)

Ted Turner [ted.turner@weyerhaeuser.com](mailto:ted.turner@weyerhaeuser.com)  
(cell) 541-912-6664 636 N. Fairview Dr

#### Mt. Narrowmoor (East of Jackson St)

Vacant

#### Rep At-Large

Karen Kelly [kmkelly916@gmail.com](mailto:kmkelly916@gmail.com)  
759-4214 916 S Mt. View Ave

#### Sunset & Titlow (West of S. Mt. View)

Ron Talcott [ron@talcott.org](mailto:ron@talcott.org)  
564-9779 1320 S. Sunset Drive

DEC 10 2 2013

November 27, 2013

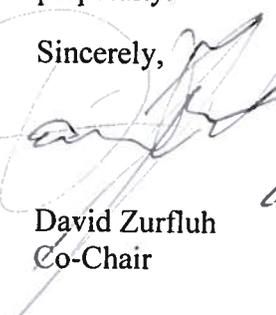
Chair, Tacoma Landmarks Preservation Commission  
Chair, City of Tacoma Planning Commission  
Mayor and Members of the Tacoma City Council  
747 Market Street  
Tacoma, WA 98402

Dear Mayor Strickland and Members of the respective  
Commissions and City Council,

The attached application requesting the designation of the  
Narrowmoor Area as a stand-alone conservation district is  
respectively submitted to the City of Tacoma in accordance with  
the applicable provisions of the Tacoma Municipal Code and the  
City of Tacoma's Comprehensive Plan.

The West Slope Neighborhood Coalition (WSNC) has strived for  
over a quarter century to protect the views, special character, and  
the quality of life attributes with which we are so richly endowed  
in Tacoma's West Slope area. We are therefore truly grateful that  
the City of Tacoma has had the foresight to provide a means by  
which neighborhoods can tailor protections to maintain their  
unique qualities. Your respective endorsements and ultimate  
approval of this application will provide us the long-sought means  
to maintain the views and special character of our area into  
perpetuity.

Sincerely,

  
David Zurfluh  
Co-Chair

  
Dean Wilson  
Co-Chair

  
Mike Fleming  
Conservation District  
Project Chair

**Application  
To Amend  
The Comprehensive Plan or Land Use Regulatory Code**

**Year of Amendment:** TBD

**Application Deadline:** n/a

**Application Fee:** n/a

**Type of Amendment:** Area Wide Rezone

**Summary of Proposed Amendment:** The Westslope Neighborhood Coalition (WSNC ) seeks the designation of the Narrowmoor Area (Narrowmoor Additions 1 through 4) as a conservation district in order to preserve and protect the views and special character that define it. The WSNC desires to restore the vision of the developer, Eivind Anderson, to create a "high quality" neighborhood, taking advantage of the topography and establishing plot layout, building siting, and other design elements to preserve the unique qualities of the area.

**Applicant**

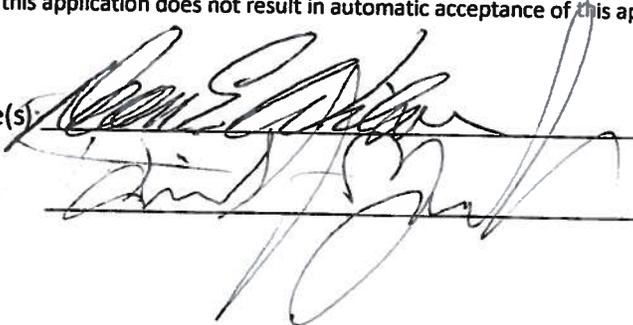
**Name:** Dean Wilson, David Zurfluh  
**Affiliation/Title:** Co-Chairs, West Slope Neighborhood Coalition  
**Address:** P.O. Box 64321 Tacoma, WA 98464  
**Email:** dewilson064@gmail.com  
**Phone:** 253-312-2858      **Fax:** 253-272-6788

**Contact**

**Name:** Michael Fleming  
**Affiliation/Title:** Chair, WSNC Conservation District Project Committee  
**Address:** 520 S. Fairview Drive  
**Email:** mnfleming@netzero.com  
**Phone:** 253-565-3698      **Fax:** None  
**Relationship to Applicant:** Committee Chair

I hereby state that I am the applicant listed above and the foregoing statements and answers made, and all the information and evidence submitted are, in all respects and to the best of my knowledge and belief, true and complete. I understand that submitting this application does not result in automatic acceptance of this application or guarantees its final approval.

Signature(s)



Two handwritten signatures are present, one above the other, both written in black ink over horizontal lines. The top signature is more legible and appears to be 'Dean Wilson'. The bottom signature is more stylized and appears to be 'David Zurfluh'.

Date:

11-27-2013

11-27-2013

## Required Questionnaire

1. Describe the proposed amendment. If submitting text changes to the Comprehensive Plan or Regulatory Code, provide the existing and the proposed language. If submitting changes to the Comprehensive Plan land use designation(s) or the zoning classification(s), provide the current and the proposed land use designation and/or zoning classifications for the affected/proposed area.

As described in the attached application narrative, this application is for the establishment of an area-wide rezone for the purpose of designating the Narrowmoor Area as a conservation district. The current area is zoned R-1 and lies within one of the City of Tacoma's view sensitive areas. There would be no changes to the current land use designation or zoning classification beyond that entailed with a conservation district.

2. Why is the amendment needed and being proposed?

Despite the developer's intent to preserve the views and character of the area through the imposition of covenants, these have proven ineffective over the years for a number of reasons, delineated in the application narrative on pages 7-8.

3. Please demonstrate how the proposal is consistent with the applicable policies of the Comprehensive Plan, and consistent with the criteria for amending the Comprehensive Plan or development regulations.

The application proposal has been diligently developed in accordance with applicable code and policies of the City of Tacoma. See the specific citations made at pages 3-5, of the narrative.

4. If the proposed amendment is associated with a geographic area, please provide a more detailed description, along with maps, if applicable, of the affected area and the surrounding areas, showing all parcels (with parcel numbers), ownership of each parcel, current land uses, site characteristics, and natural features.

The area consists essentially of the Narrowmoor Additions, 1, 2, 3, and 4 (referred to as the "Narrowmoor Area" in the narrative). The area in question is specifically described on page 2 of the narrative and applicable maps are provided at Appendix A.

5. If the proposed amendment is associated with a geographic area, please describe how it is compatible with the existing and planned land uses and development patterns of the adjacent neighborhood and explain how it may further enhance the adjacent neighborhood.

The area in question is surrounded by compatible, residentially-zoned areas. All adjacent properties are within the boundaries of the City of Tacoma. By maintaining the special character and land values of the Narrowmoor Area, the proposed conservation district could well have a positive, spill-over affect to the adjacent properties. Those properties on the eastern, upslope boundary will no doubt have benefit from the enhanced height protections proposed that promise to enhance and preserve their western views of Puget Sound and the Olympic Mountains.

6. If the proposed amendment is associated with a geographic area, please describe the applicant's interest in the affected property. Describe any plans for future activity related to or connected with this site. If you are not the owners, submit proof that the property owners have been notified and are aware of the application.

The applicants reside in, or represent residents of the area in question and share a common interest in the preservation of the area's attributes. There are no future activities proposed beyond the current as residential property. The Westslope Neighborhood Coalition has no pecuniary interest in the proposed conservation district nor does it seek any pecuniary gain by virtue of its efforts on the behalf of the area it represents.

All involved property owners have been appropriately notified and informed of the proposed conservation district and their input sought. Please see item 7, below, for information regarding the community outreach.

7. Describe any community outreach you have conducted (i.e., when and how you contacted affected and abutting property owners and neighbors), and any community response received to the proposed amendment. Attach any letter(s) of support or written community responses, if applicable.

The WSNC conducted extensive efforts to contact all property owners involved to inform them of the proposals, the process and to seek their input. These efforts are delineated in Annex B to the attached narrative. A letter of support from the West End Community Council is included in the annex.

8. Please provide any supplemental information, which may include, but is not limited to, completion of an environmental checklist, wetland delineation study, visual analysis, or other studies.

The proposed conservation district is based primarily on the city-funded survey conducted by *Painter Preservation and Planning*. Contracted originally to survey the Narrowmoor Area for consideration as an historic district, the Painter survey indicated that, while the Narrowmoor Area did not fully meet the criteria of the Department of the Interior specified for an historic district, it appeared to be an excellent candidate for a stand-alone conservation district. The Painter Study is cited extensively throughout the narrative and included as an annex to it.

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**Purpose:** To obtain an *area-wide rezone* by the City of Tacoma designating the Narrowmoor of Tacoma's West Slope as conservation district to preserve and protect the distinctive character of the Narrowmoor area.

**Title:** The proposed conservation district will hereinafter be referred to as the "Narrowmoor Conservation District" or the "Narrowmoor CD".

### **Summary Narrative of Proposed Rezone**

In 2007, the West Slope Neighborhood Coalition (WSNC)<sup>1</sup> asked the City of Tacoma to consider designating the Narrowmoor area as an historical district based upon a preponderance of mid-century architecture and its unique qualities as a development. The city funded a study<sup>2</sup> (hereinafter referred to as the "Painter study") for that purpose, but the study concluded that the area did not meet the comprehensive criteria for a traditional historic district.

However, the study did note that the Narrowmoor Addition "...is singular in its design" having many unique qualities that differentiated it from traditional developments of the era and which are worthy of protection. Specifically, the study made the following recommendation:

*"In order to respond to local neighborhood needs, many communities develop what are called Conservation Districts, as distinct from Historic Districts. Conservation Districts tend to have more flexible requirements and can be tailored to local needs and concerns. They may be appropriate when a community is concerned about community character, but does not want the restrictions of complying with the Secretary of the Interior's Standards and/or similar local design guidelines. They may be appropriate when a neighborhood wants to control just certain types of change, such as demolition, but is not concerned about design per se... They may be appropriate (and this may apply to this [the Narrowmoor] area) when certain features, such as the site, landscaping, and building form and scale are considered important, but individual design details are considered less important."*

Subsequently, the WSNC supported the city's proposed amendment to incorporate stand alone conservation districts into Tacoma's Comprehensive Plan which was approved by the City Council in June, 2011. The WSNC takes pride in the knowledge that its initiative was instrumental in bringing about "stand alone conservation districts" that have the potential to serve many other neighborhoods in the city of Tacoma with preservation efforts in the years to come.

Accordingly, the (WSNC) is requesting that the City of Tacoma designate the Narrowmoor area as a conservation district for the purpose of preserving its unique character and qualities into perpetuity. This would entail controls needed to retain

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<sup>1</sup> For background on the West Slope Neighborhood Coalition see Appendix 1.

<sup>2</sup> Painter, D., *Tacoma West Slope Historic District Development Project Historic Resource Survey Report*, Painter Preservation and Planning, January 2010. (Attached at Annex A)

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the original platting, street layout, residential design elements and tree height restrictions that are oriented to the area's primary attribute, the exceptional marine and mountain views that distinguish the West End.

The basic intent is to restore the design and view protections that the original developer attempted to implement through covenants in order to perpetuate his vision of a "high class residential district" that capitalized on the advantageous views offered by the area's topography and location.

Besides overcoming a myriad of problems that have arisen with the covenants over the decades, a conservation district would bring about a consistent and predictable process that would preclude violations and avoid difficult and expensive civil court actions that would otherwise be entailed to address them.

It should be noted that, besides the overwhelming support of the Narrowmoor residents, the WSNC has the full endorsement of the West End Neighborhood Council as well as the District 1 Council Member, Mr. Anders Ibsen, for the proposed conservation district.

**Area of Consideration**

**Tacoma Planning Area:** West End Neighborhood (District 1)

**Subarea:** West Slope, bound by So. 19<sup>th</sup> Street, Jackson Avenue and SR-16 and Puget Sound. (See area map, City of Tacoma Comprehensive Plan, Neigh-55, attached at Appendix 2.)

**Plat Description:** Narrowmoor 1 Addition, Narrowmoor 2 Addition, Narrowmoor 3 Addition and a major portion of Narrowmoor 4 Addition (hereinafter referred to individually as N1, N2, N3, and N4, respectively, or collectively as "*Narrowmoor*" or *the Narrowmoor Conservation District*.)

The proposed conservation district boundaries are shown in Appendix 3A.

Appendix 3B depicts the area encompassed by the historic district survey initiated by the City of Tacoma. Lots are color-coded to indicate the build date of the residences.

**Current Zoning:** "R- 1", detached single family residences and within a City of Tacoma view-sensitive district overlay.

**Land Use Intensity:** Low

**Size of Area:** Approximately 170 acres.

**Number of Parcels:** 286 (6 vacant, 1 commercial)

**Residences Impacted:** 279

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**Authority:** This application is submitted in accordance with provisions of the Tacoma Municipal Code and the City of Tacoma Comprehensive Plan. Applicable citations are provided below. (*Italics added.*)

**Tacoma Municipal Code**

- a. The Tacoma Municipal Code (TMC) 13.07.040<sup>3</sup> provides authority for the Tacoma City Council to designate conservation districts "...for the purposes of encouraging *the preservation of character within established neighborhoods and districts, protecting such areas from adverse effects to their cultural and historic assets resulting from unsympathetic activities, and for the purpose of promoting economic development and neighborhood identity.*"
- b. A "Conservation District"<sup>4</sup> is defined as "...an area designated for the preservation and protection of historic resources and overall characteristics of traditional development patterns and that meets the criteria for such designation as described in 13.07.040.C of this code."
- c. The Narrowmoor area proposed for designation as a conservation district is in accordance with the cited criteria, i.e., "It possesses a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development."<sup>5</sup>

**City of Tacoma Comprehensive Plan:**

The proposed designation of a conservation district for the Narrowmoor area is directly supportive of the City of Tacoma's Comprehensive Plan, both in regard to the Historic Preservation Plan Element and the Neighborhood Element. As a part of Tacoma's West End and, more specifically, the West Slope area, the proposed Narrowmoor CD aligns with and supports the following West End Neighborhood Goals and Policies.<sup>6</sup>

- a) **WE-1.4 Historic District Designation** – Explore the potential of two historic districts in the Ruston\Jane Clark and *West Slope* (Titlow/Day Island) areas.
- b) **WE-5.3 View Corridor Protection** – Provide regulatory support to *protect residential mountain and water views* from blockage by unattractive utility lines, cell towers and other potential impediments.

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<sup>3</sup> TMC 13.07.040 C2, pg. 13-286, revised 06/2013) (*Italics added*)

<sup>4</sup> TMC 13.07.030, pg. 13-284

<sup>5</sup> TMC 13.070.040 C2b, pg. 13-286

<sup>6</sup> Neighborhood Element – City of Tacoma Comprehensive Plan, Section VIII-West End Neighborhood, Adopted 11/16/04, last amended 06/30/09, Ord. #27812

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- c) WE-7 Special Areas: Critical Areas – Policy Intent** – *"As an asset of the area, view also deserves consideration for promotion, protection and/or preservation pursuant to the City's view sensitive ordinance."*
- d) WE-78.3 Site Views/Minimize View Blockage**  
*Development within potential view areas should utilize various building designs, site layouts, street arrangements and orientation to maximize and protect view potentials and minimize view blockage of adjacent sites.*
- e) WE-7.4 Tree Preservation**  
Retain mature trees, *except when they block views and/or pose a safety hazard.*
- f) WE-7.5 View Protection**  
Within the Medium Intensity area located...southwest of the BNSF railroad tracks, new development projects *shall be designed with a particular emphasis on view preservation, utilizing appropriate building height, scale, orientation and location to prevent significant impacts to the views from existing, upslope neighbors.*

The proposed Narrowmoor CD supports the following aspects of the City of Tacoma Historic Preservation Plan:<sup>7</sup>

- Cultural/Social Component of Sustainability - "Preserving historic places, including landmarks and neighborhoods, helps maintain a connection to the community's heritage. This is fundamental part of the preservation movement in Tacoma."<sup>8</sup>
- Economic Component of Sustainability - "The economic benefits of protecting local historic districts are well documented across the nation, and in Washington. These include higher property values, job creation in rehabilitation industries, and increased tourism."<sup>9</sup>
- Historic preservation looks forward while valuing the past.<sup>10</sup>

This application aligns with the guidance of the City of Tacoma's Historic Plan<sup>11</sup>, i.e., that,

"As recommended in Action HP-28A on page 3-39, the City's existing conservation district tool should be revised to be more clearly distinguishable from a historic district and also accommodate a wider range of applications.

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<sup>7</sup> Historic Preservation Plan, April 12, 2011, adopted 6/14/11, Amended Ordinance No. 27996

<sup>8</sup> Ibid. Historic Preservation and Sustainability, para. 1, pg. iii

<sup>9</sup> Ibid. para. 3, pg iii

<sup>10</sup> Ibid. A Vision for Historic Preservation in 2020, pg. iii

<sup>11</sup> Ibid. Extracted from inset, "Conservation Districts", pg. 3-40. Italics added for emphasis.

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*A conservation district may be applied to a defined area to promote maintenance of historic development patterns, scale, massing and/or uses. A conservation district may also be used to promote economic development, affordable housing, neighborhood livability, and/or protection of nearby historic residences."*

*A conservation district emphasizes compatibility of design in new construction and appropriate additions to historic buildings. The focus is on maintaining a preferred character along the street and sidewalk. Alterations to existing buildings should therefore be compatible with goals for the character of the street as defined in the district's intent statement and illustrated in its design guidelines."*

### **Historical Context**

Prior to the existence of City of Tacoma land use plans for its West End, Mr. Eivend Anderson, a local developer, purchased a sizeable tract of land in 1941 where he proposed to build a "high class residential district" on the slopes that rose out of Puget Sound. Mr. Anderson clearly recognized that the stand-out attributes of the area were the topography and western orientation that afforded superlative views of Puget Sound and the Olympic Mountain range, a vista that also provided for stunning sunsets.

As is made clear in the Painter study (Mr. Anderson's clear intent was to maximize the view opportunities for every residence in the development and he incorporated a number of design elements to implement his vision. These include the street pattern, platting of large parcels street to street on a east-west axis, siting of residences with respect to the topography, and residential designs that would preserve the view shed and the open character of the development.

The residences themselves were to be limited to low-profile, two-story homes (counting a day-light basement), with shallow-pitched roofs, often hip or flat roofs. Built mostly in the late 40's and 50's, they represented the mid-century styles with post-war brick bungalows and ranch style homes as typical. The main entry was from the east (upslope) side of the home and the western side of the homes were typically broadly glazed with long porches or decks to take advantage of the views. The back yards sloped downward to the street on the west and, where the nature of the slope lent itself, many homes incorporated a daylight basement.

To ensure integrity with his design elements, Mr. Anderson personally reviewed and approved the proposed home construction plans. It is notable that "[n]one of the other subdivisions in the [Tacoma] area display the same design or careful siting for such a large number of homes, whether modest or "high-end" residences."<sup>12</sup>

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<sup>12</sup> Ibid. pg. 4.

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In order to preserve the all-important sightlines of the individual lots, Mr. Anderson crafted a number of covenants for each addition. By the time that he began building in the second addition, he realized that recently planted trees could soon become an impediment to the views and therefore included a covenant that put limits on "tall growing trees". He also required that any deviation from the covenant provisions had to be approved by him or his heirs.

Due to Mr. Anderson's foresight in the design of the area and the covenants he put into place, the essential and distinctive character of the area has been largely retained to the current date, i.e., a preponderance of mid-century design, low-profile homes sited upon larger lots that provide an sense of "openness" that would be more characteristic of suburban areas than urban ones. This was noted as an important contrast to other developments of the era, i.e. a departure from the "prevalent subdivision design models...based on the picturesque landscape traditions and Federal Housing Authority guidelines"<sup>13</sup> as well as the traditional grid pattern of the western United States.<sup>14</sup>

The Painter study is replete with descriptions of the unique qualities of the area. Two examples are provided below:

*"The location of the Narrowmoor Addition is unique and was clearly chosen for its excellent view and proximity to the water. It was uniquely suited to its site and the goals of the subdivision designer to create spacious view lots in this location for a specific clientele."<sup>15</sup>*

*"The Narrowmoor Addition (Additions One through Three) is significant for its design. It is significant for the design of the subdivision itself; that is, the layout of the subdivision and the controls on its development, as evidenced by the covenants that governed how the individual lots could be developed... The design of the entire subdivision and the design of the individual lots is distinctive and contributes to the historic significance of this subdivision."<sup>16</sup>*

The distinctive character of the area remains and is immediately apparent as one drives down South 12<sup>th</sup> Street into the heart of Narrowmoor. The hillside slopes away to reveal stunning water and mountain vistas as the homes drop stair-step fashion, one below the other, allowing each the maximum opportunity for view. Depending on one's position on the slope, the views can vary through a 180 degree expanse, from sights past Steilacoom to Ketrone, Anderson, and McNeil Islands, to Fox Island, Hale Passage and Pt. Fosdick, or northwards, past the Narrows Bridge. The area is also legendary for stunning sunsets and many a resident has used a favorite sunset photographer as a screen saver on their personal computer.

One can imagine what the area would be like today if Mr. Anderson had lacked the foresight to put protective measures in place. Most likely, each new home

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<sup>13</sup> Ibid. pg. 6, para C.

<sup>14</sup> Ibid. pg. 27

<sup>15</sup> Ibid. pg. 27-28

<sup>16</sup> Ibid. pg 6, para C.

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constructed would have had to compete with its neighbors for a share of the view where residences could have been built up to 35 feet high. There is little question that the special character and strong appeal of Narrowmoor that the WSNC is struggling to maintain, would have been lost long ago.

**Inclusion of Narrowmoor 4 Addition**

It should be noted that the Painter study, while recognizing the Narrowmoor 4 addition, did not include it in its historical survey because of the perception that too few of the residences fell into the historical context under consideration. However, the WSNC felt that there was a significant core of homes within Narrowmoor 4 that were built during the "period of significance" (prior to 1968) and were in accordance with the development's original design, justifying their inclusion in the conservation district's boundaries. At the behest of the WSNC board, the Conservation District Project Committee worked with the consultant, Baseline Engineering, to conduct a formal survey and assessment in 2012, which determined that a majority of the residences in N4 were consistent with the findings and recommendations by the Painter Study regarding N1, N2 and N3. The supplemental survey did determine there are homes along eastern and northern borders of N4 that are inconsistent with the proposed Narrowmoor CD standards. These were therefore excluded from the boundaries of the proposed designation. See Annex C for details of the survey conducted and the rationale provided by Baseline Engineering.

**Problems with Covenants:**

Despite Mr. Anderson's best intentions, over the decades there has been a serious erosion in the integrity and effectiveness of the protective covenants, with a resultant negative impact on the views of some Narrowmoor residents, as well as concurrent and significant negative impacts on the respective property values.

The primary problem with private covenants is that they are not enforceable by the city. Instead, when a perceived violation occurs that can't be resolved through neighborly negotiation, a neighbor or neighbors within the covenant-protected area must undertake a lawsuit in civil court. Besides being very expensive for all parties involved, such actions often create real and lasting friction within the neighborhood. Where intrusive or "unsympathetic" structures remain intact, they stand as permanent scars and a long-term source of resentment to those whose views have been impacted.

A second problem related to covenant enforcement is that, by its nature, it is almost invariably post facto; that is, a violation must become apparent before an impacted resident can take action. To demand that a resident remove a roof under construction and redesign their residence to reduce its effective height would normally entail a large expense in itself. Such a lawsuit that took place in 1986 proved additionally problematic because the city's contemporary definition of a "story" did not align with the terminology (and intention) of the original covenant.

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Enforcement problems have also derived from the dilution of covenants. Lacking a formal homeowners association with oversight of the intended controls, violations of covenants went unnoticed or were simply overlooked. For example, residents have added garages or other out buildings that align with city code but violate the local covenants. In such cases the courts are unwilling to enforce these covenants because of the precedent set by previous violations that went unchallenged.

**Problems with View Sensitive Area Controls:**

Problems with view-impacting construction has arisen with the aging of the homes original to Narrowmoor and the desire of new buyers to update them through a remodel or rebuild, or in some cases, whole new construction on vacant lots. Some are attracted to the high ceilings and steeply-sloped roofs that have become popular in contemporary architecture. However, in an area where few of the original rooflines exceed 18' an increase in height of even 2' or 3' can severely impact the views of the upslope residents.

It should be noted the WSNC initiated and spearheaded the effort in 1987 to establish view-preserving limits on the height of structures in areas deemed to be view sensitive. Unfortunately, the city chose to apply a universal 25' limit for all view-sensitive areas without considering the significant differences among the neighborhoods involved. Because the allowable limit of 25' exceeds the average height of a residence in Narrowmoor by 7', a home built to that standard would be devastating to the views of several homes above and around it.

Even though the houses in Narrowmoor are technically limited to one story plus a daylight basement by the covenants, a home built with a higher than typical roofline, even 2' to 3', would in almost every case, effectively eliminate the marine and mountain views of the immediate upslope residences.

Other residences have had their views mitigated by the construction of RV garages or the expansion of such structures into view corridors.

**Problems with Tall-Growing Trees:**

One of the most grievous impacts on views has been the uncontrolled growth of tall-growing trees that have been planted since the original construction when the entire slope was totally bereft of trees or shrubbery. Except in Narrowmoor Additions 2 and 3 where a covenant protection precludes "tall-growing trees", many residents have watched their views disappear slowly but surely over the years as planted trees and foliage grow up in front of them. (See Appendix 4 for photographs reflecting the loss of views due to trees.) Under the current circumstances (except as noted for N2 and N3) there is no legal recourse despite the severe impact on their views and their property values.

Even where covenants apply to remedy a situation with view-blocking trees, it is necessary for a resident to undertake a civil law suit if a neighbor insists on

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allowing his/her trees to exceed roof height, as was previously ruled by the Pierce Court Superior Court (Appendix 5).

**Addressing the Tree Problem –**

Despite regulatory restrictions on structures and land use, which are usually quite straightforward, efforts to control tree and shrubbery growth have proven difficult in the past, particularly for purposes of preserving views. This has not been without frustration for West Slope residents, as well as other citizens across the city who have paid premium prices for homes or lots with the advantages of marine, mountain or territorial views.

The City of Tacoma, since its origins, has been appreciative of its many endowments by virtue of its location in the Pacific Northwest, even marketing these attributes to potential businesses and residents as great reasons to move to the area. Indeed, wrapped on three sides with a Puget Sound shoreline and having numerous hills and vantage points to view these waters as well as the Olympic Mountains to the west and the cascades and Mt. Rainier to the east, the city has a lot to brag about. Thankfully, in many respects, the City has had the foresight to preserve those views through policy statements in the Comprehensive Land Use Plan and the implementation of restrictions in designated view sensitive areas, as well as controls on structural heights along the Thea Foss Waterway and Ruston Way. There is no debate that view preservation is an important part of maintaining one of Tacoma's greatest attributes, nor is there debate on the negative and significant impact on property values where the view shed is diminished.

Nevertheless, while restrictions on structural dimensions can be enforced through administrative or legal actions, all these controls and associated enforcement efforts are largely negated if trees or other foliage are allowed to grow up uncontrolled, robbing view properties of their most prized asset.

It should be noted that when the Narrowmoor Addition was platted, it was already denuded of trees, either cleared for farming or agriculture or, according to some, periodically cleared by fires that started in hobo camps along the railroad tracks. (See 1947 photograph of Narrowmoor Area in Appendix 4).

The good news is that some important precedents have been set that can support the implementation and enforcement of controls on tree and foliage height. These include the following:

- In 1989 the City of Tacoma indentified view-sensitive areas in the city, a clear recognition of the value of views and the contribution that views make to the city's identity, quality of life, and property values.
- Tacoma's Municipal Code (TMC 8.30, 9.18, 9.19, and 12.08) provides authority to control vegetation for safety, public health or welfare reasons.

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- In 1989 the City of Tacoma adopted solar access code, i.e., Title 13.13 Solar Lot Development Standards (later repealed in 1997), which included standards regarding trees and shading impacts on adjacent or nearby properties.
- 1984 Superior Court decision on "tall growing trees", discussed below.
- Establishment of tree controls to protect views by a city in Washington State, including a resolution process, also discussed below.

**Pierce County Superior Court Precedent<sup>17</sup>** - In 1984, Superior Court Judge Gary D. Steiner, hearing a civil action regarding trees blocking views in Narrowmoor 3, held that the existing covenant restriction on "tall growing trees" was to be interpreted to mean that trees should not exceed the height of the rooftop of the adjacent residence. This takes the common sense approach that view controls on vegetation should align with similar controls on structures and supports the basis for the height protections that is proposed for the Narrowmoor Conservation District.

**City of Clyde Hill and Tree Controls** - Another important, and more recent, precedent took place last year in Clyde Hill, Washington<sup>18</sup>, an upscale neighborhood on the east side of Lake Washington that enjoys views of Lake Washington and the Olympic mountains by virtue of its location and topography. A resident complained of a tree located on a property across the street that blocked his view. In fact, the view blockage impact was significant enough that a qualified property appraiser estimated that it diminished the complainant's property value by \$22,500.

Fortunately, the City of Clyde Hill had established a procedure for just such cases<sup>19</sup> and the two residents were initially referred to a King County arbitration to see if the situation could be resolved in that manner. As the owner of the tree was adamantly opposed to trimming or removing the tree and would not abide by the arbitration to trim or remove the tree, the case was referred to a City of Clyde Hill committee to hear the case. The committee subsequently deemed the tree to be in violation of their ordinance and the owner was required to trim or remove it.

**Applicability to the City of Tacoma** - As cited earlier, the City of Tacoma has, by virtue of its location and topography, benefit of numerous vistas that are worthy of controls such as those provided by the view sensitive areas. The key point here is that there are ample precedents for the control of trees and vegetation, and appropriate measures would be applicable and essential to the Narrowmoor CD to preserve its unique character and attributes.

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<sup>17</sup> Pierce County Superior Court Case No. 83-2-00969-9, Jones et al vs. Wegner. Attached at Appendix 5)

<sup>18</sup> Article, "Tree Battle in Clyde Hill ends: Olerud to pay for view", *Seattle Times*, Jan. 7, 2013. Attached at Appendix 6)

<sup>19</sup> Clyde Hill Municipal Code, Chapter 17-38, *View Obstruction and Tree Removal* (Revised 8/04). Attached at Appendix 7.

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**Preemptory provisions** - The WSNC is particularly grateful to the City of Tacoma for the implementation of stand-alone conservation districts, as it provides a near-ideal solution to many of the greatest challenges faced by the organization over its quarter of a century existence, i.e. the preservation of the views and neighborhood character of Tacoma's West Slope. As discussed previously, the original covenants have proven problematic to enforce and when civil law suits have been undertaken to enforce them it has entailed huge courts costs as well as created severe friction among neighbors.

A very significant value of the Conservation District, besides the protections provided to current and future residents, is the predictability it will provide for new property owners as to the basic, allowable platting, layout, and design elements appropriate to the area. The standard review and permitting processes of the City of Tacoma promise to prove invaluable in pre-empting the kinds of problems that residents and the WSNC has struggled with in the past.

#### **DEVELOPMENT OF RECOMMENDED PROTECTIONS FOR NARROWMOOR**

A "Conservation District Project Committee" was formed by WSNC, including both board members and volunteer residents of the Narrowmoor area. It was chaired by Mr. Mike Fleming, one of the founding members of the WSNC. The WSNC Board also engaged the services of Mr. Kevin Foley, AICP, of Baseline Engineering, Inc., to provide assistance and guidance in the development of the protections as well as the incorporation of Narrowmoor 4 area into the boundaries of the conservation district.

The committee used the original covenants as a basis for the proposed protections for the conservation district, with the intention of modernizing the contemporary standards or language as well as making them consistent throughout the boundaries of the conservation district. Several were modified after receiving comments from Narrowmoor area residents which were sought through mailed surveys as well as gathered at community meetings.

It became clear in discussions with the residents of Narrowmoor that, while they all shared strong desires to protect the views and the basic character of the area, no one wanted the kinds of restrictive design controls that would be typical of an historic district or a homeowners association. The WSNC then proposed 4 protections that were focused on view protections, i.e., more stringent limits on the height of structures and trees. In subsequent discussions with city staff, the WSNC was urged to address design elements more specifically. As a result, the committee developed more refined protections based upon the design elements that were documented in the Painter Study.

#### **Proposed Protections**

The controls to be put in place by the proposed Narrowmoor Conservation District are intended to preserve and protect the distinctive character of the Narrowmoor

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area by maintaining the predominate design elements that derive from the developer's original vision:

- Maximizing views by taking advantage of the location and topography
- Platting and layout of the development
- Site design of house and yard
- Architectural features that incorporated mid-century residential design elements to include horizontal aspects and low-pitched roofs
- One main level allowed with a daylight basement.
- Landscape design that promoted views and prohibition of trees that would obstruct views.

**Proposed Protections:**

**ARCHITECTURAL AND BUILDING DESIGN ELEMENTS**

**Building Heights** - Building heights in the Narrowmoor Additions shall be restricted to no taller in height than the existing ridgeline(s) and or roofline(s) for reconstruction, remodels, and additions. New construction shall be no higher than the average roof line of the primary structure(s) on adjacent properties so long as those structures are representative of original Narrowmoor construction. If an adjacent home has been structurally altered in a manner that increased its roof height or it consists of 3 levels inclusive of a daylight basement, the nearest residence representative of original construction shall be used for the measurement.

Exceptions to the height limit may be possible through the city's variance application process. Applicant must show no obstruction on marine, mountain and bridge views of others.

**Roof Style and Pitch** - Low-pitched gable and hip roofs shall be the norm, and may vary in degrees of pitch depending on various factors, including where a structure is sited on the sloping topography of the lot, its roofline height and orientation, comparative height of adjacent homes, etc. Roof pitch shall not exceed 5:12.

**Architectural Features and Styles** - New and remodeled homes shall be consistent and compatible with existing structures in style and features. A-frames; flat-roofed, unmodulated "commercial-looking" structures, and similar, unsympathetic construction should be considered inappropriate for the area. [See photos exhibits at attachment \_\_\_\_ for examples of residences compatible with the period and those incompatible.]

**Appurtenances** - No cupolas, railings, decorative railings, or accessory items such as roof-mounted solar panels, wind energy devices, or the like shall extend the allowable roof height, nor shall such items be allowed if they are reflective of the sun and disruptive to the view. Normal and necessary items, such as vent stacks, chimneys, and safety railings on

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decks are exempted so long as they are designed to be of minimal impact on the view, consistent with their essential functions.

**STRUCTURES**

Residential structures shall not exceed a single, main level, and a daylight basement.

The cumulative footprint of the residence, garage and outbuildings shall not exceed 25% of the square footage of the residential lot.

**PLATTING, LAYOUT AND SUBDIVISION**

No residential parcel or lot shall be less than 12,500 square feet, to include individual existing lots, Assessor Segregations, short plats or re-plats.

Where an original lot extends street-to-street, so shall any lots subdivided from the original.

**TREES AND VEGETATION**

Trees or tall-growing vegetation shall not obstruct views and shall not exceed the rooftop height of the residential structure on the property.

**GARAGES AND ACCESSORY BUILDINGS**

Minimal, detached accessory buildings may be allowed to include garages so long as their cumulative footprint does not exceed 1,000 square feet and do not exceed 15 ft in height or otherwise impair views.

Detached buildings shall be of similar materials and colors to the residence (with the exception of all-glass greenhouses).

Note:

The above protections are also listed in the matrix at Appendix 9, which provides the basic rationale for the proposed protections<sup>20</sup> as well as their intent.

- The first column provides the wording of the original covenants and indicates the Narrowmoor additions to which the covenants applied.
- The second column notes the specific references made by the Painter Study which identified the character-defining elements of the development.
- The third column lists the intention of the proposed protections as the proposed verbiage of the specific protections (controls).

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<sup>20</sup> The WSNC uses the term "protections" as synonymous to the City's term, "controls".

WEST SLOPE NEIGHBORHOOD COALITION  
**Narrowmoor Conservation District Application**

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It should be noted that a number of protections developed in draft proposals were modified or removed in their entirety due to public feedback or because current city code provided appropriate controls (e.g., minimum set-back requirements). In those cases there are no additional controls proposed.

**Conclusion and Recommendation:**

A conservation district for the Narrowmoor Area will be crucial to its capacity to preserve and protect the distinctive character of the area defined by its access to views and the design elements implemented through the development's layout and residential styles.

WEST SLOPE NEIGHBORHOOD COALITION  
**Narrowmoor Conservation District Application**

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**List of Attachments**

**Appendices:**

1. West Slope Neighborhood Coalition (WSNC), description and background.
2. Map, Westslope Area; from City of Tacoma Comprehensive Plan, pg. Neigh-55
3. Map of Boundaries of Proposed Narrowmoor Conservation District
4. Photographs of view-blocking trees in Narrowmoor area.
5. Order and Judgment, Court Case No. 83-2-00969-9: Superior Court Judge D. Gary Steiner, James K. Jones et al, Plaintiffs vs. Wegner.
6. Article, "Tree Battle in Clyde Hill ends: Olerud to pay for view", *The Seattle Times*, Jan. 7, 2013
7. City of Clyde Hill, WA, Municipal Code, Chapter 17.38 View Obstruction and Tree Removal.
8. Examples of Acceptable, Sympathetic, and Non-sympathetic Residential Styles
9. Letter, West End Neighborhood Council to City of Tacoma recommending approval of Narrowmoor Conservation District.
10. Matrix of Proposed Protections

**Annexes:**

- A. Painter Study, *Tacoma West Slope Historic District Development Project – Historic Resource Survey Report*; Painter Preservation and Planning, January 2010
- B. Community Outreach Summary; Chronological listing of WSNC contacts with community and the City of Tacoma (with 6 Appendices)
- C. Narrowmoor 4 Survey

**APPENDIX 1**

**West Slope Neighborhood Coalition (WSNC)**

Description and Background

## APPENDIX 1

### Description and Background of the West Slope Neighborhood Coalition (WSNC)

The WSNC was organized in 1986 as a response to view concerns that arose from new construction or remodels that impinged grievously upon the views of upslope neighbors, ostensibly in violation of existing covenants. Subsequently, the WSNC pursued important view preservation efforts that include:

- A view preservation initiative subsequently implemented by the City of Tacoma through the designation of *view sensitive areas* wherein residential structures were limited to 25' in height vs. the standard 35' limit.
- The largest local improvement district (LID) in Tacoma at the time to underground electrical, telephone, and cable lines and remove unsightly utility poles and wires, providing very significant enhancements to the views and property values of the area.
- Development of a protocol for neighbors to work together to address tall-growing trees and foliage that block views, wherein impacted neighbors agree to pay the cost of trimming or removal of the offending trees or foliage.
- Assistance to members residing in Narrowmoor Additions 2 and 3 where covenants preclude tall growing trees by publicizing the ruling of the Pierce County Superior Court that such trees should be limited to roof height.
- Besides its primary focus on view preservation, the WSNC has undertaken other quality of life issues, to include a neighborhood watch program, an emergency preparedness program, involvement with the Titlow Park Master Plan, and the organizing of community picnics and annual "Oktoberfest" that help to promote a sense of community and unite residents on issues of mutual interest.

**WSNC Organization:** The WSNC is organized under formally-adopted bylaws with a Board of Directors consisting of representatives from each of its respective areas and elected Officers of the Board. The membership consists of 189 dues-paying households within its west slop boundaries, the great majority of whom reside within the proposed Narrowmoor Conservation District Boundaries.

## **APPENDIX 1**

The board of the WSNC meets monthly and hosts a general membership meeting in conjunction with its annual "Oktoberfest" gathering. Where there are issues of a broader, public impact beyond its immediate membership the WSNC hosts public meetings in appropriate, local neighborhood venues, e.g., Titlow Lodge.

To pursue the notion of a conservation district for Narrowmoor, the WSNC Board formed a "Conservation Project Committee" to develop an action plan and pursue all the necessary requirements and details necessary for a conservation district application to the City of Tacoma. The project committee regularly reported to board and, as appropriate, the committee and board would meet jointly to review and approve major milestones.

The WSNC predates Tacoma's neighborhood councils but supported the proposal for their establishment and has designated a board member who regularly attends the West End Neighborhood Council meetings.

**APPENDIX 2**

**Map of West Slope Area**

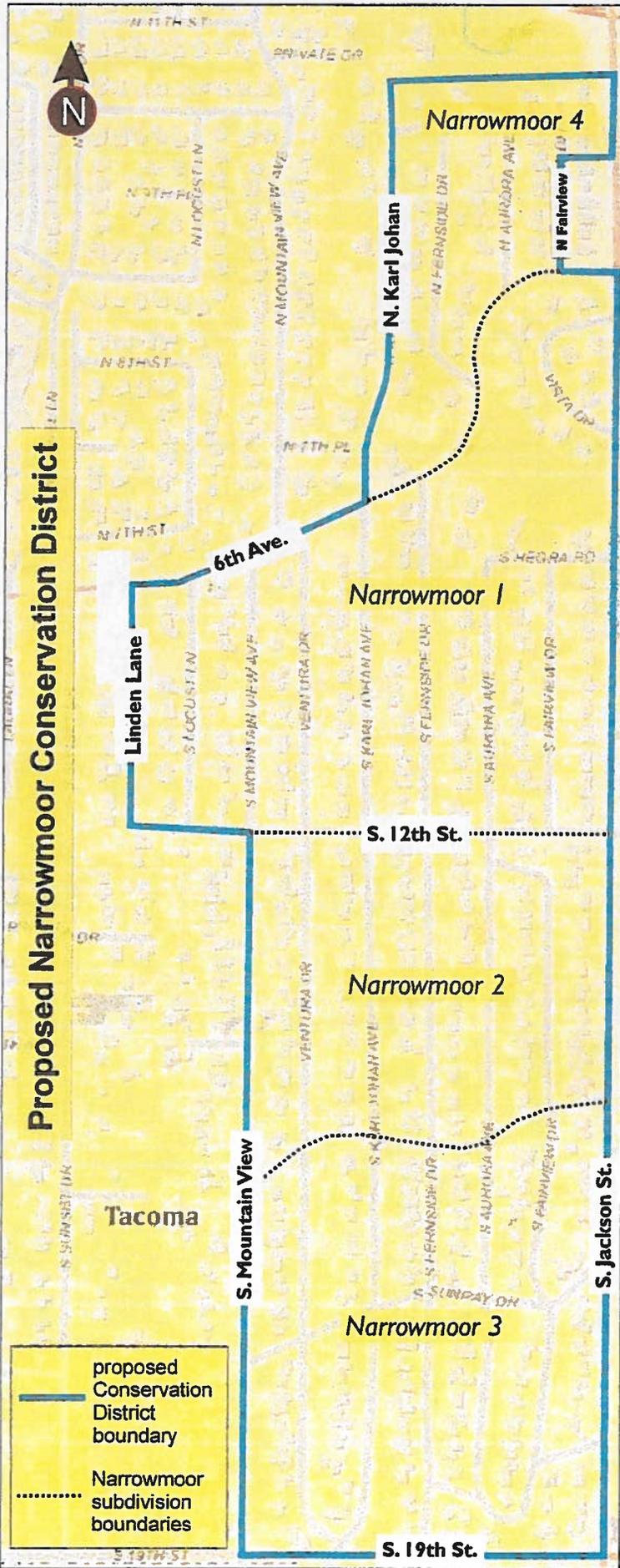
From City of Tacoma Comprehensive Plan

## West End Neighborhood Council Subareas



**APPENDIX 3**

**Map of Boundaries of  
Proposed Narrowmoor Conservation District**



**Proposed Narrowmoor Conservation District**

-  proposed Conservation District boundary
-  Narrowmoor subdivision boundaries

Narrowmoor 4

Narrowmoor 1

Narrowmoor 2

Narrowmoor 3

Linden Lane

6th Ave.

S. 12th St.

S. Mountain View

S. Jackson St.

S. 19th St.



N 15TH ST  
PRIVATE DR  
N 14TH ST  
NICKOUSTIN  
N MOUNTAIN VIEW AVE  
N 8TH ST  
N 7TH PL  
N 7TH ST  
S HEDGRA RD  
S MOUNTAIN VIEW AVE  
S OCCUSTIN  
VENTURA DR  
S KARL JOHAN AVE  
S FLANSHIRE DR  
S ALBERTA AVE  
S LINDAY DR  
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S 18TH ST  
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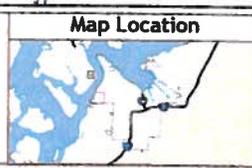
# West End Study Area

## Parcels with Low Address and Reference (FID)



**Legend**

- Study Area Parcels - YR Built
- 1913 - 1940
- 1941 - 1957
- 1958 - 1969
- 1970 - 1985
- 1985 - 2007
- Other Parcels



**City of Tacoma**  
**Community & Economic Development Department**  
**GIS Analysis & Data Services**

210 0 210 420 630

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. It is to be used for reference purposes only.

**APPENDIX 4**

**Photographs of View-Blocking Trees  
in Narrowmoor Area**

**Photo of Narrowmoor Area - 1947**



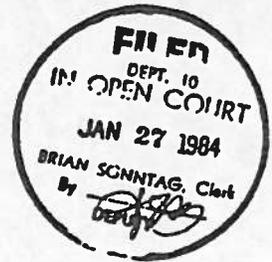
TACOMA PUBLIC LIBRARY/RICHARDS STUDIO COLLECTION

**South Sound Photo Album:** This aerial photo, taken in February 1947, shows the West End of Tacoma, looking north from South 19th Street and Jackson Avenue. Streets have been graded for the development of the Narrowmoor neighborhood. By 1960, a city report described the area as being 6 blocks by 11 blocks, with homes selling for \$25,000 to \$100,000.

The above photo from shows the landscape of the Narrowmoor area prior to any construction. Note that there is a total lack of trees within the development. All subsequent tree and vegetation growth came about by residents who included it into their landscaping.

**APPENDIX 5**

**Order and Judgment, Superior Court Case  
Regarding Tree Height in Narrowmoor Addition 3**



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SUPERIOR COURT OF WASHINGTON FOR PIERCE COUNTY

JAMES K. JONES and JUANITA JONES, )  
husband and wife; ROBERT L. )  
HOOVER and BETTY J. HOOVER, )  
husband and wife; JEAN THOMSON, )  
a single person; and MARY NERO, )  
a single person, )

NO. 83-2-00969-9

Plaintiffs, )

vs. )

ORDER AND JUDGMENT

R. H. WEGNER and "JANE DOE" )  
WEGNER, husband and wife; )  
WILLIAM L. LAWRENCE and )  
SHIRLEY LAWRENCE, husband )  
and wife' and RAMONA OSTLUND, )  
a single person, )

Defendants. )

THIS MATTER coming on regularly for hearing before the undersigned Judge of the above-entitled Court, the plaintiffs appearing by and through their attorney John B. Troup, the defendants appearing by and through their attorney H. Edward Haarmann, the Court having heard the argument of counsel and having heretofore entered its Findings of Fact and Conclusions of Law, and being fully advised in the premises, now, therefore, it is hereby,

ORDERED, ADJUDGED AND DECREED that the defendants Richard A. Wegner and Gracia B. Wegner, husband and wife, be and they are hereby ordered and directed to trim their trees, on Lot 4, Block 12 NARROWMOOR THIRD ADDITION, Pierce County, Washington, to their existing roof line level, or to such level which is determined by the Court to be in conformity with paragraph A of said covenants. That said trimming shall be accomplished prior to April 20 1984. It is further

HAARMANN & CHRISTIANSON  
621 American Federal Bldg.  
950 Pacific Ave.  
Tacoma, WA 98402  
(206) 383-4808

1 ORDERED, ADJUDGED AND DECREED that the defendants Richard  
2 H. Wegner and Gracia B. Wegner, husband and wife, are hereby  
3 ordered not to permit shrubs or trees to grow higher than their  
4 existing roof line level or to such level which is determined by  
5 the Court to be in conformity with paragraph A of said covenants.  
6 It is further

7 ORDERED, ADJUDGED AND DECREED that the complaint filed  
8 against the defendants Lawrence and the cross-claim against the  
9 plaintiff Jean Thomson, be and the same are hereby dismissed with-  
10 out costs to any party. It is further

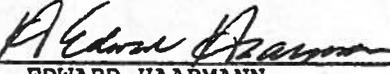
11 ORDERED, ADJUDGED AND DECREED that all parties hereto bear  
12 their own costs and attorney's fees.

13 DONE IN OPEN COURT this 27 day of January, 1984.

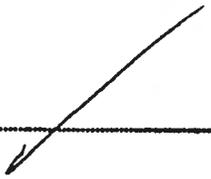
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JUDGE 

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SEPT. 10  
1st OPEN COURT  
JAN 27 1984  
BRIAN SONNENB. Clerk  
By   
DEPUTY

Presented by:  
HAARMANN & CHRISTIANSON  
By   
H. EDWARD HAARMANN  
Attorneys for Defendants Wegner and Lawrence

Approved as to Form and Notice  
of Presentation Waived:  
TROUP, CHRISTNACHT, LADENBURG  
& MCKASY, INC. P.S.  
By \_\_\_\_\_  
JOHN B. TROUP  
Attorneys for Plaintiffs Jones, Hoover & Thomson

ENTERED  
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**APPENDIX 6**

**Seattle Times Article**

"Tree Battle in Clyde Hill"

Originally published Monday, January 7, 2013 at 8:59 PM

## Tree battle in Clyde Hill ends; Olerud to pay for view

By Keith Ervin

Seattle Times staff reporter

Former American League batting champ John Olerud may soon have a better view from his Clyde Hill home, but he'll have to pay for it.

Olerud's downhill neighbors, Bruce and Linda Baker, have decided not to appeal a city Board of Adjustment order that they cut down two 50-foot-tall trees partially blocking Olerud's view of the Seattle skyline.

The board's written ruling in favor of John and Kelly Olerud last month was the first time the city has ordered a tree removed under its 1991 "view obstruction and tree removal" ordinance.

The Bakers objected that the law allowed an unconstitutional taking of their property for their neighbors' benefit, but informed the city last week that they won't appeal to the City Council.

"They concluded that while they weren't happy with the order or the ultimate decision, they wanted to make peace with their uphill neighbors while also protecting the interests of the other people with trees in Clyde Hill," the Bakers' lawyer, David Brenner, said Monday.

The Bakers felt the board ruling "struck a good balance" because it requires the Oleruds to pay a hefty price to improve their view.

The Oleruds must choose between two bids — \$62,694 and \$64,440 — obtained by the Bakers for removal of their rare Chinese pine and more common Colorado spruce, and replacement of them with two shore pines.

If the new trees grow above 25 feet, the Bakers must prune them.

The Board of Adjustment ruled the existing trees unreasonably obstruct the Oleruds' view while providing only a minor benefit to the Bakers in visual screening, wildlife habitat and morning shade.

While some Clyde Hill residents supported the Oleruds, many others said the Bakers shouldn't be forced to cut down 50-year-old trees that were there long before the Oleruds bought their Clyde Hill property in 2006 and subsequently built a new house.

An appraisal commissioned by the Oleruds said removing the trees would increase the value of their \$4 million property by \$255,000. The trees block 40 percent of what would otherwise be a 30-degree view of Lake Washington, Seattle and the Olympic Mountains, John Olerud told the Board of Adjustment.

Neither family returned phone calls seeking comment Monday.

"They're pleased that it's resolved," said the Oleruds' lawyer, Paul Taylor. Taylor declined to discuss the case in detail, but said he was confident the law would have been upheld had it been challenged in court.

The neighbors' dispute was fraught with references to the Christian faith shared by both couples. At the first of two city hearings, Olerud cited Jesus' admonition to love your neighbor as a reason the Bakers should give the Olerud family the same commanding view they enjoy.

An Olerud supporter at the same hearing told Bruce Baker, a Presbyterian minister and Seattle Pacific University professor, that if he didn't understand the Oleruds' concerns, "boy, I tell you, you'd better find a different line of work, buddy, because you're not very Christian."

After the Board of Adjustment voted in the Oleruds' favor in November, the Bakers' lawyer told the Oleruds' lawyer the parties could avoid an appeal by agreeing to a settlement that would include tree removal and a \$25,000 "tithe" of the property-value increase to a charity of the Oleruds' choice.

"The Bakers would like to see a resolution of this dispute which will allow them to live in peace with the Oleruds as neighbors and better model for the watching public what it means to be fellow citizens of the Kingdom of God," Baker attorney Brenner wrote in that settlement proposal, which wasn't accepted by the Oleruds.

*Keith Ervin: 206-464-2105 or [kervin@seattletimes.com](mailto:kervin@seattletimes.com)*

[http://seattletimes.com/html/localnews/2020081810\\_olerud08m.html](http://seattletimes.com/html/localnews/2020081810_olerud08m.html)

**APPENDIX 7**

**City of Clyde Hill Municipal Code**

Chapter 17.38 View Obstruction and Tree Removal

**Clyde Hill Municipal Code 17.38.010**

17-28.1 (Revised 8/04)

**Chapter 17.38**

**VIEW OBSTRUCTION AND  
TREE REMOVAL**

Sections:

17.38.010 Purpose.

17.38.020 Definitions.

17.38.025 Preservation of views.

17.38.030 Complaint.

17.38.040 Notification of hearing.

17.38.050 Hearing and findings of the board.

17.38.060 Decision of the board.

17.38.070 Work of correction and allocation  
of costs.

17.38.080 Appeal and remedies.

17.38.085 Compliance required.

17.38.090 Pruning.

**17.38.010 Purpose.**

This chapter is enacted in recognition of the following facts and for the following reasons:

A. Among the features that contribute to the attractiveness and livability of the city of Clyde Hill are its trees as defined herein, both native and introduced, and its views obtained from a variety of elevations throughout the city.

B. Trees, whether growing singly, in clusters or in woodland situations produce a wide variety of significant psychological and tangible benefits for both residents and visitors to the city. Trees contribute to the natural environment of the city by modifying temperatures and winds, replenishing oxygen to the atmosphere and water to the soil, controlling soil erosion, and providing wildlife habitat. Trees contribute to the visual environment of the city by providing scale, color, silhouette and mass, and by creating visual screens and buffers to separate land uses and promote individual privacy. Trees contribute to the economic environment of the city by stabilizing property values and reducing the need for surface drainage systems. Trees contribute to the cultural environment of the city by becoming living landmarks of the city's history and providing a

(Revised 8/04) 17-28.2

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**Clyde Hill Municipal Code 17.38.030**

**17-29**

critical element of nature in the midst of urban congestion and settlement.

C. Views also produce a variety of significant and tangible benefits for both residents and visitors to the city. Views contribute to the economic environment of the city by substantially enhancing property values. Views contribute to the visual environment of the city by providing inspiring panoramic vistas, and creating distinctive supplements to architectural design. Views contribute to the cultural environment of the city by providing a unifying effect, allowing individuals to relate different areas of the city to each other in space and time.

D. It is recognized that trees and views and the benefits derived from each, may come into conflict. Tree planting locations and species selections may produce both intended beneficial effects on the property where they are planted, and unintended deleterious effects on neighboring properties. Trees may block light, impinge upon the utilization of solar energy, cause the growth of moss, harbor plant disease, retard the growth of grass, harbor rodents, interfere with snow and ice removal, as well as interfere with the enjoyment of views, including the undermining of property values. It is therefore in the interest of the public welfare, health and safety to establish standards for the resolution of view obstruction claims so as to provide a reasonable balance between tree and view related values. (Ord. 805 § 1, 1999; Ord. 648 § 1, 1991)

**17.38.020 Definitions.**

The definitions contained in Chapter 17.04 CHMC shall apply to this chapter, except that the definitions of this section shall apply in the case of a conflict with the definitions in Chapter 17.04 CHMC.

A. "Complainant" means the complaining property owner in the city of Clyde Hill who files a written report with the city.

B. "Person" means any individual, firm, partnership, corporation or other legal entity owning property in the city of Clyde Hill.

C. "Tree" a woody perennial plant which usually, but not necessarily, has a single trunk and a height of 15 feet or more, or has a circumference of 20 inches measured at 24 inches

above the ground and for purposes of this chapter includes any shrubbery capable in its normal growth to exceed a height of eight feet; references herein to "tree" shall include the plural; provided, however, any tree whose age antedates the incorporation of the city shall be deemed a "historic" tree and be exempted from this chapter. For purposes of this chapter "tree" shall include any plant material, or shrubbery planted or growing in a dense continuous line so as to form a thicket barrier or naturally grown fence. (See CHMC 17.37.020 for regulations pertaining to naturally grown fences.)

D. "Tree owner" the record owner of the real property on which the subject tree in the city of Clyde Hill is located.

E. "View" means a vista of Lake Washington, bridges, skylines, Cascade or Olympic Mountains and area communities or surrounding hills from the primary living and entertainment areas of the home. (Ord. 805 § 1, 1999; Ord. 648 § 1, 1991)

**17.38.025 Preservation of views.**

In order to resolve the conflict between trees and views as defined herein, no tree, (except as exempted under CHMC 17.38.020(C)) whether native or planted and whenever or wherever planted in Clyde Hill is immune from complaint if the height of the tree unreasonably obstructs the view or access to sunlight of a neighbor. No owner of a tree shall allow the same to grow or tolerate or permit the presence on the owner's premises of such a tree. (Ord. 805 § 1, 1999; Ord. 648 § 1, 1991)

**17.38.030 Complaint.**

A property owner who desires to take advantage of the provisions of this chapter to

**17.38.040**

**17-30**

resolve the conflict between trees and views, shall file with the city clerk a written report stating with particularity the manner in which the view from her/his property or sunlight reaching her/his property is being unreasonably obstructed by the growth of one or more trees on neighboring property; the specifics of her/his efforts to alleviate the problem including contacts with the tree owner and the appropriate homeowners' association(s) or neighborhood view association(s) in the area, and that these efforts have not been successful; and that all efforts to mediate or arbitrate a resolution of the unreasonable obstruction through the King County dispute resolution center have been exhausted. She/he shall deposit with the city clerk a nonrefundable fee, in an amount to be established by resolution of the city council, to cover the administrative costs as prescribed by the board of adjustment. In addition, the complainant shall deposit with the city clerk, in an amount to be established by resolution of the city council, an additional deposit, which shall be refunded in any amount not used, against the consulting expenses incurred by the city under provisions of this chapter (for landscape architect, tree surgeon, or other consultant), and shall agree in writing to pay in full the reasonable amount of any such expenses, even if such expenses exceed the amount of the advance. (Ord. 805 § 1, 1999; Ord. 648 § 1, 1991)

**17.38.040 Notification of hearing.**

The board of adjustment sitting in a quasijudicial capacity shall schedule a hearing on the report within 60 days after it is filed with the city by the complainant. The city clerk shall give at least 10 days' notice of the hearing certified mail, return receipt requested, to the tree owner as shown on the last assessor's tax roll of King County, and to the complainant, and shall give at least 10 days' notice of the hearing by mailing notices to such other property owners as in her/his discretion might be materially affected, using the ownerships, names and addresses from the last assessor's

tax roll. The notice shall state the name of the complainant, the name of the tree owner, the tree's location, and the time and place of the hearing, and shall request written comments prior to the hearing. The hearing shall only proceed following proof that the tree owner has received notice as provided herein. The failure of any other property owner to receive the notice shall not invalidate the proceedings. (Ord. 805 § 1, 1999; Ord. 648 § 1, 1991)

**17.38.050 Hearing and findings of the board.**

A. At the hearing, each party or their counsel may present such evidence as she/he deems necessary. The hearing may be continued from time to time for good cause, within the discretion of the board.

B. Prior to rendering a decision in favor of the complainant, the board shall find all of the following facts to be true:

1. That the property owner making the complaint has contacted the tree owner and made reasonable efforts to alleviate the problem as set forth in CHMC 17.38.030;

2. That the view from or the sunlight reaching the real property of the complainant is unreasonably obstructed and the manner in which the view or sunlight is obstructed. In determining whether the view from or sunlight reaching the real property of the complainant is unreasonably obstructed, the board may consider several factors, which include but are not limited to, the following:

a. The extent of the alleged view obstruction, expressed as a percentage of the total view, and calculated by means of a surveyor's transit or by photographs or both;

b. The extent to which landmarks or other unique view features, as defined in CHMC 17.38.020(E), are obstructed;

c. The extent to which the tree(s) cause shadows or reduce air circulation and/or light;

**Clyde Hill Municipal Code 17.38.070**

**17-31**

d. The extent to which the tree(s)

affect the real property value of the complainant's real property;

e. The extent to which the tree(s) provide visual screening; a wildlife habitat; soil stability (as measured by soil structure, degree of slope and extent of root system); and energy conservation and/or climate control;

f. The extent to which the tree(s) affect neighboring vegetation;

g. The visual quality of the tree(s), including, but not limited to, species characteristics, size, form, texture, color, vigor and location; and other tree-related factors, including, but not limited to, indigenous tree species, specimen tree quality, rare tree species, and historical value;

3. That such obstruction materially decreases the enjoyment of the real property of the complainant; and

4. That trimming, pruning, removal or other alteration of the site of the obstruction in the manner to be determined by the board will not unreasonably decrease the enjoyment of the real property of the tree owner, as determined by an objective evaluation.

C. In making the board's decision, the personal attachment of a party to particular trees or landscaping shall not be compelling nor shall a minor obstruction of a view or sunlight be decisive. (Ord. 805 § 1, 1999; Ord. 648 § 1, 1991)

**17.38.060 Decision of the board.**

Following the hearing, the board shall render its decision and shall so advise the parties, in writing. It shall, in its decision, if it finds for the complainant, determine the specific manner in which the obstruction is to be trimmed, pruned, removed or otherwise altered. The decision of the board shall become final 10 days after entry thereof unless an appeal is filed with the city council as prescribed in CHMC 17.38.080. In rendering its decision under this chapter and determining what, if any, work should be ordered, the board shall be guided by the principle of removal and replacement or substitution rather than risk

mutilation, abusive pruning or death of the tree; and shall consult the accepted guidelines for tree care such as the American National Standards Institute, the National Arborist Association, the Western Chapter International Society of Arboratory and others. (Ord. 805 § 1, 1999; Ord. 648 § 1, 1991)

**17.38.070 Work of correction and allocation of costs.**

Within 15 days after the decision of the board becomes final, the tree owner will obtain at least two bids from licensed tree service companies to have the prescribed work done, and shall present all bids to the complainant. Within 15 days after presentation of the bids, the complainant will deposit with the board or tree owner an amount equal to the percentage of the lowest bid deemed appropriate by the board, under subsections (A), (B) and (C) of this section. Failure by a complainant to deposit with the board or tree owner the full amount required by the board within the 15 days required shall constitute a withdrawal and abandonment of the claim. The tree owner will, at her/his sole discretion, choose the company by which she/he wishes the work done and shall order the work done within 30 days after receiving the complainant's deposit or such other period of time as the board may determine to be reasonable and appropriate. The tree owner shall pay the difference between the deposit amount and the bid amount of the company she/he has chosen. The ordered work shall be done by a licensed tree service under the sole discretion and control of the tree owner. However, nothing in this section shall prohibit the tree owner from doing the work herself/himself. The complainant shall pay the entire lowest bid amount of the ordered work, unless the board makes an express finding that:

A. Removal of the tree is otherwise required for compliance with CHMC

**17.38.080**

**17-32**

17.37.020, in which case the owner may be

required to pay up to 100 percent of the cost of the work, the actual percentage to be determined by the board, including reimbursement of the complainant's filing fee; or

B. The tree constitutes a hazard to the safety of the complainant or his property, and is being maintained by the tree owner in disregard for the safety of others, in which case the tree owner may be required to pay up to 100 percent of the cost of the work, the actual percentage to be determined by the board, including reimbursement of the complainant's filing fee; or

C. While no view or sunlight obstruction to a neighbor's property existed when the complainant took possession of the dwelling, but due to growth of a tree an obstruction occurs at a later date, and the tree owner has disregarded the view or sunlight obstruction to neighbor's property by allowing the tree to grow to such a height as to obstruct the view or cause sunlight obstruction to neighbor's property, the tree owner may be required to pay up to 100 percent of the cost of correcting the view obstruction or sunlight obstruction, the actual percentage to be determined by the board. The city shall comply with this section of the code the same as any other person. (Ord. 805 § 1, 1999; Ord. 648 § 1, 1991)

**17.38.080 Appeal and remedies.**

Any party adversely affected by the decision of the board may file a written notice of appeal to the city council with the city clerk within 10 days after the decision of the board. Unless otherwise provided by resolution of the city council to the contrary, the city council shall thereupon fix a time and place for hearing the appeal within 60 days of the written notice of appeal, and shall give at least 10 days' notice of the hearing to all parties that received notice pursuant to CHMC 17.38.040. The council sitting in a quasi-judicial capacity shall conduct a closed record public hearing and shall consider the findings and decision of the board. The submission of new evidence shall only be permitted with permission of the council

if the new evidence was not reasonably known or available at the time of the hearing before the board of adjustment. The city council, whose decision shall be final from the date of entry of its findings, conclusions and decision, shall have the right to affirm, reverse, or modify the decision of the board and shall have the right to continue the hearing from time to time for good cause. (Ord. 805 § 1, 1999; Ord. 648 § 1, 1991)

**17.38.085 Compliance required.**

The tree owner shall comply with any work prescribed by the board or council no later than 90 days after the decision of the board or council becomes final. Thereafter, the continued maintenance of the tree without compliance with the final order prescribed by the board or council shall constitute a misdemeanor, punishable in accordance with the provisions of CHMC 1.08.010 and is declared a public nuisance which may be enjoined or abated as provided by law. (Ord. 805 § 1, 1999; Ord. 648 § 1, 1991)

**17.38.090 Pruning.**

The board and council may direct that the work prescribed pursuant to CHMC 17.38.070 and 17.38.080 be continuously maintained within reasonable limits necessary to insure compliance with this chapter. The tree owner shall have the sole responsibility of maintaining the trees at such height as may be decided upon the board or council. Failure to comply with the direction or decision of the board or council made pursuant to the provisions of this chapter shall constitute a misdemeanor punishable in accordance with the provisions of CHMC 1.08.010 and is declared a public nuisance which may be enjoined or abated as provided law. (Ord. 805 § 1, 1999; Ord. 648 § 1, 1991)

## **APPENDIX 8**

### **Examples of Acceptable, Sympathetic, and Non-sympathetic Residential Styles**

Examples of typical mid-century homes in Narrowmoor  
documented in 2010 Painter Study

(All are considered “acceptable” in form and scale,  
reflecting low-profile, horizontal aspect design elements)

**Styles in Tacoma's West Slope Neighborhood  
April 16, 2009**

**World War II-era styles**

**The Basic House – plan type**

The Basic or Minimal house refers a plan type that came out of studies sponsored by the FHA and controlled through the FHA regulations of the 1930s. It refers to a plan type(s) that minimizes circulation space and maximizes multi-use spaces, such as kitchen-dining or dining-living spaces in the interest of economic efficiency.

**World War II-era cottage**



The World War II-era cottage is a compact building whose nearly square floor plan reflects the Basic or Minimal house plan type. A WWII-era cottage often has a shallow-sloped hip roof, no eaves, and a recessed side entry. It can display a variety of window types, but steel casement sash or double-hung, wood-frame windows with horizontally-oriented lights are often seen. Corner windows are character-defining features, as are round or octagonal accent windows. Large chimneys are common.

**Minimal Traditional**



The Minimal Traditional house is a transitional building that reflects FHA minimal standards. Typical characteristics include a hip or gable roof, no eaves, a square or rectangular plan, and 'traditional' windows such as paired or single double-hung windows with multiple lights and shutters. Visual interest is often provided by cladding materials, such as clapboard with brick accents or shingle siding.

**Post-war brick bungalow**



The post-war brick bungalow is another transitional building with a compact footprint, but a more elongated form that presages the Ranch house. The floor plan may reflect the open living-dining-kitchen of the Ranch house. These houses often have a shallow-pitched hip roof, narrow eaves, and narrow, recessed, central entries. Brick cladding extends to the eaves. Windows tend to be horizontally-oriented, composed of fixed and casement sash, and are placed high on the facade.

## Post-war styles

**The Ranch Style** - The Ranch house was popular throughout the United States and assumed many forms and styles. Form types include L-shaped houses, U-shaped houses, houses arranged around a courtyard, split-level houses, which are two stories, and rambles. They are characterized by low-pitched hip and gable roofs; deeper eaves than on the earlier, WWII-era styles; a variety of footprints; and open floor plans in the public areas of the house. They typically have large expanses of horizontally-oriented windows, of which fixed and casement windows were the most popular in the 1950s. They display a variety of siding types and detailing. Chimneys are broad and occur on the interior or endwall.

## The Ranch House – plan type

The Ranch house plan is an open floor plan, where the dining and living rooms or kitchen and dining rooms may be combined. The kitchen was typically small with two entrances or a “pass-through” to the dining area. Bedrooms were typically aligned along a hallway, rather than centered on a small vestibule, as in WWII-era houses. This was the era in which the family room made an appearance as well. The garage or a carport was typically integrated with the house, but could be separated from it by a breezeway.

## Ranch house – form types

### L-shaped Ranch house



The L-shaped Ranch house typically has a garage towards the front of the lot with a front or side entrance. The “L” may also, however, be formed by a wing with a gable or hip roof. This is one of the most common configurations for the Ranch house.

### U-shaped Ranch house



The U-shaped Ranch house has a recessed entry located between two projecting wings. These wings, which may be quite shallow, can have a gable or hip roof. If one wing is composed of a garage, the recessed entry often acts as a front porch and covered walkway from the garage to the front door. Another popular form, based on southern California models, is one in which the rooms are arranged around a courtyard, which may also be open along one side.

### The Rambler



The Rambler is a Ranch house in which the wings of the house project at oblique angles from the central portion of the house. These wings take advantage of the site by conforming to the topography or orienting toward important views. The form of the Rambler is often reflected in a telescoping roof where the ridgeline ‘steps’ up or down, reflecting changes in the plan.

## Ranch house - styles

Ranch house styles are organized into three different categories. The first two categories – the Traditional Ranch and the Contemporary Ranch – reflect ‘authentic’ styles that are singular to the Ranch house. The third category of Character Ranch houses (sometimes called Storybook Ranch houses) reflects a category of homes in which various stylistic details derived from other architectural styles have been adapted to the Ranch house. These include such styles as Tudor Revival, Spanish Colonial Revival or Mediterranean, Colonial Revival, and “Chalet.”

### Traditional Ranch



Traditional Ranch styles reflect the rustic, southern California and American southwest origins of the Ranch house. Characteristics include a long, low porch, reflecting the corridor of the traditional hacienda; and rustic finishes including variegated brick and board-and-batten; and wood shingle roofs. Although not directly related to the origins of the Ranch house, other popular details include porch supports with decorative angled brackets, diamond-shaped lights in the windows, and decorative shutters.

### Contemporary Ranch



The Contemporary Ranch house refers to mid-century Ranch houses that do not display the rustic or traditional stylistic features of the Traditional Ranch. In fact, a Contemporary Ranch house may reflect few stylistic features or details, relying on the overall form and simple modern detailing, such as industrial sash, to convey its style. Alternatively, it may incorporate stylistic features that are contemporary to the mid-century, such as open concrete block screens and Populux details such as canted windows or entry features.

### Character Ranches



Character Ranch houses can take on a variety of styles. They may reflect Spanish Colonial or Mediterranean influences with stucco walls, tile roofs, and round-arched arcades. A Tudor Ranch might have false half-timbering on the upper facades over a brick base. A Colonial Ranch might have a row of columns or posts with caps supporting the front porch roof, but more often recalls Colonial influences with shutters and a formal entry. The Chalet style was also a popular adaptation to the Ranch style, seen in broad false gables with shaped fascia boards extending toward the ground.

### Modern houses



Modern houses are often architect-designed and, in contrast to the Ranch style, take on a variety of forms, shapes, and overall expression. Modern homes typically have an open floor plan in the public areas of the house, but are screened from the public street. Roofs typically have a low pitch and may include gable, shed or flat roofs, or more expressionistic roof forms. Common characteristics include an emphasis on asymmetrical two-and-three-dimensional compositions and an expansive use of glass contrasted with clerestories above solid screen walls. Use of natural materials such as stained wood and stone is common.

### Post-and-beam



The modern post-and-beam house reflects a construction method rather than a style per se, but certain stylistic features are associated with the post-and-beam house. The open floor plan of the modern house required interior posts and beams for structural support. This left exterior walls free, which was expressed in extended beams supporting deep overhangs, and expanses of glass to the eaves of the house. Post-and-beam houses are further characterized by low-pitched gable roofs; extensive use of wood, often with a vertical grain; and simple or rustic details.

### International Style



The International Style reflects some of the same characteristics as a Modern house, but in residential design the overall building form takes on a horizontal aspect. The International Style is typified by an asymmetrical composition; a flat roof with no eaves; planar surfaces and smooth finishes; minimal or simple detailing; and expansive or expressionistic use of glass, whether in full-height glass curtain walls or ribbon windows.

Examples of "sympathetic activity" in Narrowmoor  
(would comply with the proposed protections)

**Example of “sympathetic activity” (encouraged in proposed protections).**



**The original house was demolished in 1990’s. Current two-level home was built as a “remodel”. Its’ design, style and materials are consistent with character of the Narrowmoor neighborhood.**



Example of “sympathetic activity” (encouraged in proposed protections).



The original house was demolished in 2010's. Current rambler home was built as a “remodel”. It is comparable in height to the former structure, thus retaining the views of uphill neighbors.



Examples of “unsympathetic activity” in Narrowmoor  
(would not comply with the proposed protections)

Example of “unsympathetic activity” (discouraged in proposed protections).



Non-compliant three level home constructed in 1990's towers over adjacent homes. Also, structure is sited on the lower portion of lot impacting neighbors' peripheral views.



Example of “unsympathetic activity” (discouraged in proposed protections).



Constructed in 2000's, this “commercial” look is out of character in mid-century neighborhood. Also, building footprint is large relative to the lot; it's close to minimum setbacks on all 4 sides.



Example of “unsympathetic activity” (discouraged in proposed protections).



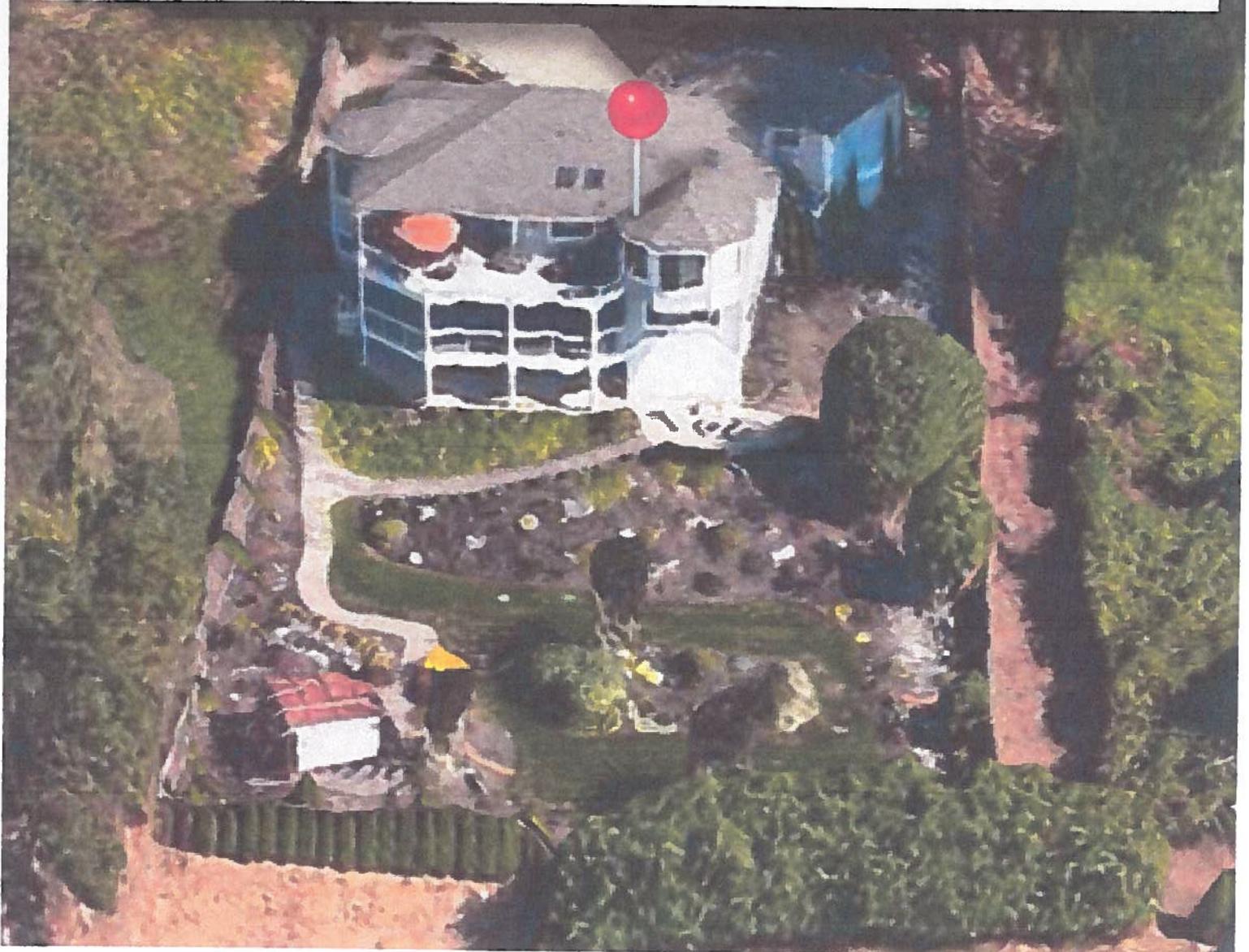
The vertical architectural aspect of this home is untypical for the mid-century Narrowmoor neighborhood, where the norm is a horizontal aspect, designed to maximize views.



Example of “unsympathetic activity” (discouraged in proposed protections).



Constructed in 2000's, the “Mac Mansion” pictured below is untypical for the mid-century Narrowmoor neighborhood, in terms of both its scale and its form.



Example of “unsympathetic activity” (discouraged in proposed protections).



After subdividing a vacant lot, the resulting home sites no longer extend from street to street, losing their spatial “openness”. Two homes were then constructed on the original plot. Both are two full stories above ground. (Originally developed homes are one story plus daylight basement.)



**APPENDIX 9**

**Matrix of Proposed Protections**

# PROPOSED DESIGN STANDARDS & PROTECTIONS FOR NARROWMOOR CONSERVATION DISTRICT

Extract from Recommendations of the Painter Study (pg 9): (Emphasis added)

“Conservation Districts tend to have more flexible requirements and can be tailored to local needs and concerns. They may be appropriate when a community is concerned about community character, but does not want the restrictions of complying with the Secretary of the Interior’s Standards and/or similar local design guidelines. They may be appropriate when a neighborhood wants to control just certain types of change, such as demolition, but is not concerned about design per se... ***They may be appropriate (and this may apply to this area) when certain features, such as the site, landscaping, and building form and scale are considered important, but individual design details are considered less important.***”

**Existing Covenants Applicable to Narrowmoor Additions**

**Excerpts from Historic Resource Survey Report**  
 – Painter Preservation and Planning, 2010

**Intents and Proposed Design Standards to Protect and Maintain the Character of Narrowmoor Neighborhood**

## Architectural & Building Design Elements (Form)

**COMMON TO ALL ADDITIONS (1<sup>ST</sup>, 2<sup>ND</sup>, 3<sup>RD</sup>, & 4<sup>TH</sup>)**

One single family dwelling to not exceed two stories in height.

**Historical Note:**

- When Covenants went into effect day light basements were considered a “story” as evidenced by homes built with a maximum of 2 levels and an average height of only 18 feet.
- Tacoma’s current View Sensitive Overlay Zone Regulations set maximum height limits of 25 feet

**THE INTENT IS TO MAINTAIN THE CHARACTER AND VIEW ATTRIBUTES OF THE AREA**

Marine, Narrows Bridge, and mountain views in Narrowmoor are high priorities and obstruction of existing views need paramount protection and enforcement, whether it be for new homes, remodels, additions, and/or reconstructions, in order to maintain views and neighborhood character. Narrowmoor was planned and developed with low profile, horizontal type homes and aspects, having mostly low pitched roofs and some very limited flat roofs, with exterior wall variations and asymmetry. These neighborhood characteristics should be retained.

**PROTECTIONS:**

**BUILDING HEIGHT** - Building heights in the Narrowmoor Additions shall be restricted to no taller in height than the existing ridgeline(s) and or roofline(s) for reconstruction, remodels, and additions. New construction shall be no higher than the average roof line of the primary structure(s) on adjacent properties so long as those structures are representative of original Narrowmoor construction. If an adjacent home has been structurally altered in a manner that increased its roof height or it consists of 3 levels inclusive of a daylight basement, the nearest residence representative of original construction shall be used for the measurement. Exceptions to the height limit may be possible through the city’s variance application process. Applicant must show no obstruction on marine, mountain and bridge views of others.

- “The architectural survey and historic research for the survey area...reveals that the significance of the neighborhood lies in the design of the Narrowmoor Addition; specifically the Addition’s location; the design and layout of the subdivision; and the siting of the residences with respect to the topography, view corridors, and parcels themselves. (P26)
- “So while the design of the Narrowmoor Addition is unique as a subdivision, it is not unique for the fact that residences are individually designed and constructed. The architectural styles seen in the subdivision are also not unique. (P7)
- “The overall aspect of residential design at mid-century was horizontal. This was emphasized through the building form, the building’s relationship to the ground (entries often occurred at grade), the flat or low pitched roof, and the horizontal orientation of the windows. (P30)

(Cont’d)

(Cont’d)

- "Gable and Hip roofs were equally popular, although low-pitched roofs were the norm in either case. Gable and hip roofs that telescoped into each other were particularly popular for the ramblers, or houses that were set into and responded to the topography of their site. (P30)
- "The horizontal emphasis and low-slung appearance of the classic Ranch house, as well as other mid-century styles, is particularly characteristic of the Narrowmoor Addition. (P30)
- "An overriding characteristic of design at mid-century was asymmetry. This was carried out in the composition of the building, or the arrangement of various design features, and included fenestration patterns. A symmetrical entry was unheard of, and the private wings of the house often visually balanced the public wings, in terms of overall design. This design characteristic can be seen in virtually all the Narrowmoor Addition residences that have not been altered." (P30)

**ROOF STYLE & PITCH** - Low-pitched gable and hip roofs shall be the norm, and may vary in degrees of pitch depending on various factors, including: where a structure is sited on the sloping topography of the lot, its roofline height and orientation, comparative height of adjacent homes, etc. Roof pitch shall not exceed 5:12.

**ARCHITECTURAL FEATURES AND STYLES** - New and remodeled homes shall be consistent and compatible with existing structures in style and features. A-frames; flat-roofed, un-modulated "commercial-looking" structures, and similar, unsympathetic construction should be considered inappropriate for the area. (See photos exhibits at Appendix 8 for examples of residences compatible with the period and those incompatible.)

**APPURTENANCES**

No cupolas, railings, decorative railings, or accessory items such as roof-mounted solar panels, wind energy devices, or the like shall extend the allowable roof height, nor shall such items be allowed if they are reflective of the sun and disruptive to the view. Normal and necessary items, such as vent stacks, chimneys, and safety railings on decks are exempted so long as they are designed to be of minimal impact on the view, consistent with their essential functions.

**Structures (Scale)**

**COMMON TO ALL ADDITIONS (1<sup>ST</sup>, 2<sup>ND</sup>, 3<sup>RD</sup>, & 4<sup>TH</sup>)**  
One single family dwelling to not exceed two stories in height.

**COMMON TO MOST ADDITIONS (1<sup>ST</sup>, 2<sup>ND</sup>, 3<sup>RD</sup>, & 4<sup>TH</sup>)**  
Ground floor of the main structure, exclusive of one story open porches and garages, shall not be less than 1100 square feet for one story structures, nor less than 980 square feet for 1 ½ or 2 story structures

- "Second stories (excluding daylight basements) were prohibited in the Narrowmoor Addition by covenant (note that the houses were actually called two-story houses; today we would say they were one story with a basement.) This maintained the overall ambience of the subdivision and also prevented view blockage. (P16)
- Particularly large new homes or homes with large additions (or new second stories) in the Narrowmoor Addition are visually intrusive in this setting. (P29)

**THE INTENT IS TO MAINTAIN EXISTING DEVELOPMENT PATTERNS PROTECTIONS**

Residential structures shall not exceed a single, main level, and a daylight basement.

The cumulative footprint of the residence, garage and outbuildings shall not exceed 25% of the square footage of the residential lot.

Existing Covenants Applicable to Narrowmoor Additions

Excerpts from Historic Resource Survey Report

Intents and Proposed Protections

Common to 1st, 2nd and 3rd Additions

Except as otherwise therein specifically stated, no structure shall be erected, placed or permitted to remain on any residential building plot other than one detached single-family dwelling and a private garage.

Unique to 1st Addition (Mar 1944)

No residential structure shall be erected or placed on any building plot which is less than 9,000 square feet, or a width of less than 60'.

NO REFERENCE TO MINIMUM PLOT SIZES: 2<sup>ND</sup>, 3<sup>RD</sup> OR 4<sup>TH</sup>

Unique to 3rd Addition

All construction in Block No's 2, 3, 4, 8, 9, 10 and 14 shall be limited to one residential dwelling & a private family garage upon each lot.

- "The relationship of the houses to the lots and the lots to the larger site were historically quite specific in the Narrowmoor Addition. The houses were sited at the "top" of the lots and the landscaping and landscape features were restricted such that the lot retained an open feel. (P28)

- "The lots are large, and they are through lots. That is, they are bounded on each "short" side by the north-south running streets and have no alleys. (P6)

- "The Narrowmoor Addition has been graded and platted such that the houses are sited on a series of terraces that parallel to the water. The lots themselves are terraced such that the upper part of the rectangular lot is high, in order to take advantage of views, and the lower levels slope down toward the westerly street with expansive yards. (P27)

- "It is significant for the design of the subdivision itself; that is, the layout of the subdivision and the controls on its development, as evidenced in the covenants that governed how the individual lots could be developed. (P7)

- "...it is characteristic that lots at mid-century were larger and less densely developed than lots today, and this is a particularly important character-defining feature of the Narrowmoor Addition." (P29)

THE INTENT IS TO PRESERVE LARGE LOT SIZES

Narrowmoor was platted and originally developed to maximize views and retain a sense of openness by having large lots extend street to street with the long axis perpendicular to the view.

PROTECTIONS

No residential parcel or lot shall be less than 12,500 square feet, to include individual existing lots, plots, assessor segregations, short plats or re-plats.

Where an original lot extends street to street, so shall any lots subdivided from the original.

Narrowmoor 3rd Addition

No tall growing trees, such as Southern Poplar, Maple, or similar species that would obstruct the panoramic view of the Sound.

Narrowmoor 2nd Addition

Same restrictions as Narrowmoor 3, except to exclude properties between S Jackson and S Fairview Drive.

Historical Note:

On January 27, 1984, Superior Court Judge Gary Steiner ruled that the Narrowmoor 3 Covenants were legal and binding as pertains to the planting and height of trees, ruling further, that trees cannot be higher than the roof peak of the house.

- "The Narrowmoor Addition is known for its location...It is unique, however, for the way the subdivisions and site design within individual lots was designed to respond to these views. In this sense, the subdivision displays singular characteristics. The visual features...include low profile homes and landscaping to protect views... (P 7-8)

- "If, however, design guidelines are prepared in the future for the Narrowmoor addition, landscaping and site features should be addressed." (From a discussion regarding whether a property contributes to the criteria of an historic district; P 16-17)

- "The ongoing influence of this covenant [prohibiting tall growing trees] can still be seen today in the subdivision... The contrast between the landscape character of the Narrowmoor Addition and that of the Titlow Addition below, where no prohibitions again (sic) tall trees existed, can easily be seen. (P33)

Trees and Vegetation

THE INTENT IS TO PRESERVE VIEWS FROM UNDESIRABLE ENCROACHMENT OF TREES AND OTHER GROWTH

Narrowmoor residences have been plagued by trees and other vegetation that obstruct views. Only where covenants apply, can residents seek remedies through the courts. Vegetation control is important to maintain the neighborhood character and should be consistent throughout.

PROTECTIONS

Trees or other tall-growing vegetation shall not obstruct views and shall not exceed the rooftop height of the residential structure on the property.

**Existing Covenants Applicable to Narrowmoor Additions**

**Excerpts from Historic Resource Survey Report**

**Intents and Proposed Protections**

***Garages and Accessory Buildings***

**COMMON TO ALL ADDITIONS (1<sup>ST</sup>, 2<sup>ND</sup>, 3<sup>RD</sup>, & 4<sup>TH</sup>)**  
 No structure shall be erected, placed or permitted to remain on any residential building plot other than on detached single-family dwelling not to exceed two stories in height and a private garage.

**COMMON TO ALL ADDITIONS (1<sup>ST</sup>, 2<sup>ND</sup>, 3<sup>RD</sup>, & 4<sup>TH</sup>)**  
 Whenever necessitated by natural contours of grade conditions of the site a private garage may be located within 10 feet of the street line. A garage so located shall be of masonry, exterior construction and finish in light colored stucco unless constructed from standard clay brick.

**COMMON TO 1<sup>ST</sup>, 2<sup>ND</sup>, & 4<sup>TH</sup> ADDITIONS**  
 No trailer, tent, shack, barn or other outbuilding shall be erected, permitted or maintained in the subdivision, nor used as a residency temporarily or permanently.

**UNIQUE TO 3<sup>RD</sup> ADDITION**  
 No barns, coops, shacks, trailers or Quonset type of construction shall be permitted within the subdivision.

- The placement of accessory structures was also restricted in a way that contributed to the open feel. Accessory structures were limited to private garages, and could not be placed within setback areas. (P28)
- Noted as “non-contributory” to the historic criteria: “The construction of new garages that visually overwhelmed the house, where this was not the case historically (note that some L-shaped ranch houses have prominent garages).” (P17)

**THE INTENT IS TO FOSTER NEIGHBORHOOD CHARACTER, COMPATIBILITY, AND THE LIMITING OF VISUAL INTRUSIONS**  
 Accessory buildings or outbuildings, temporary or permanent, were not intended for Narrowmoor. Over time, accessory buildings, such as pool houses, green houses, and garden equipment storage buildings have appeared and detached garages allowed in certain circumstances. The intent is to foster the original neighborhood character by minimizing such structures.

**PROTECTIONS**

Minimal, detached accessory buildings may be allowed to include garages so long as their cumulative footprint does not exceed 1,000 square feet and do not exceed 15 ft in height or otherwise impair views. Detached buildings shall be of similar materials and colors to the residence (with the exception of all-glass greenhouses).

## **ANNEX A**

### **Tacoma West Slope Historic District Development Project – Historic Resource Survey**

Painter Preservation and Planning

**Tacoma West Slope  
Historic District Development Project  
Historic Resource Survey Report**



*Courtesy Tacoma Public Library*

***Prepared for***  
**City of Tacoma**  
**Community & Economic Development Department &**  
**West Slope Neighborhood Coalition**

***Prepared by***  
**Diana J. Painter, PhD**  
**Painter Preservation & Planning**

**January 2010**

TACOMA WEST SLOPE  
HISTORIC DISTRICT DEVELOPMENT PROJECT  
HISTORIC RESOURCE SURVEY REPORT

LIST OF FIGURES

- Figure 1:** *Regional location map*
- Figure 2:** *Survey area map*
- Figure 3:** *Narrowmoor Addition area in 1940*
- Figure 4:** *1943 illustration for subdivision in the West Slope area that meets FHA guidelines*
- Figure 5:** *Grading for the Narrowmoor Addition in 1947*
- Figure 6:** *“A Tacoma “Sleeping Beauty” Discovered by a Norseman”*
- Figure 7:** *Tacoma neighborhoods in 1951*
- Figure 8:** *The Narrowmoor Addition in 1951 – view 1*
- Figure 9:** *The Narrowmoor Addition in 1951 – view 2*
- Figure 10:** *The West Slope neighborhood in 1957*
- Figure 11:** *Development of the West Slope neighborhood in 1966*

suburban design as recommended by the FHA land planning division typically displayed curvilinear streets; blocks that were two, rather than one lot deep; moderately sized lots with a common park or open space; more limited points of access; and sidewalks and pedestrian connections throughout the subdivision.<sup>3</sup>

### **Architectural design**

The Narrowmoor Additions One and Two were recorded in 1944. Addition Three was recorded in 1947. The majority of the houses, however, were constructed in the late 1940s and 1950s. The houses within the Narrowmoor Addition are individually designed. Some are architect designed, many appear to be custom homes, but many also appear to be from stock plans. While it is common to associate post-war development with tract housing, where a few models are repeated throughout the subdivision, it was not uncommon in the immediate post-war years for subdivisions to be developed the way the Narrowmoor and Titlow Additions were. A study by the Bureau of Labor Statistics in 1949 shows that fully one-third of homes constructed in the immediate post-war years were developed by individual families who either built the homes themselves or hired builders. So while the design of the Narrowmoor Addition is unique as a subdivision, it is not unique for the fact that residences are individually designed and constructed. The architectural styles seen in the subdivision are also not unique. The styles and building types seen in the subdivision are, for the most part, typical of World War II-era and post-war development, although many share certain distinctive features.

### ***Evaluation per the National Register Criteria***

In order to be considered a historic resource and therefore eligible for listing on the Tacoma Register, the Washington State Heritage Register, or National Register of Historic Places, a property (or in this case a group of properties) must meet the relevant criteria by having an association with events that have made a significant contribution to history; an association with significant persons; or be a good example of a particular style or building type, or represent the work of a master or "a significant and distinguishable entity whose components may lack individual distinction." The resource must additionally retain integrity. The following is an evaluation of the Narrowmoor Addition with respect to the national and state criteria.

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or

*The Narrowmoor Addition has not made a significant contribution to the broad patterns of local history in Tacoma. Although it was developed early in the post-war era, it is nonetheless one of many post-war subdivisions and several 'quality' post-war subdivisions in the West Slope area. It is not historically significant for its association with broad patterns of our history.*

- B. That are associated with the lives of significant persons in our past; or

*The Narrowmoor Addition is not associated with the lives of persons significant in our past. Although it is associated with Eivind Anderson, a local builder and developer, Anderson is one among any number of builders and developers in the region in this post-war period.*

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<sup>3</sup> Newton, 1971:644. See also Figure 4.

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*The Narrowmoor Addition is not associated with the lives of persons significant in our past. Although it is associated with Eivind Anderson, a local builder and developer, Anderson is one among any number of builders and developers in the region in this post-war period. Further, Anderson died in 1955, before the subdivision was built-out, and therefore it does not appear today as it did in his lifetime. Lastly, Anderson did not build the houses in the subdivision, so this aspect of its appearance is unrelated to Anderson's role in its development.*

- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or

*The Narrowmoor Addition (Additions One through Three) is significant for its design. It is significant for the design of the subdivision itself; that is, the layout of the subdivision and the controls on its development, as evidenced in the covenants that governed how the individual lots could be developed. It is a unique design that responds to its site and does not reflect the prevalent subdivision design models in use at the time, which were based on the picturesque landscape traditions and Federal Housing Administration guidelines. The homes themselves, which display the full range of World War II-era and post-war styles and building types, are not unique, although many share certain distinctive features. The way they are sited, however, which is part of the subdivision design, is an aspect of their significance. The design of the entire subdivision and the design of the individual lots is distinctive and contributes to the historic significance of this subdivision.*

- D. That have yielded or may be likely to yield, information important in history or prehistory.<sup>6</sup>

*This Criterion is most often associated with archaeological resources and is not applicable here.*

- E. Is part of, adjacent to, or related to an existing or proposed historic district, square, park, or other distinctive area which should be redeveloped or preserved according to a plan based on a historic, cultural, or architectural motif; or

*The Narrowmoor Addition is not part of, adjacent to, or related to an existing or proposed historic district or other landmark. This area of Tacoma has not been the subject of historic surveys in the past, nor has it been singled out as historically significant. Titlow Park and Community Center, which is of historic interest, is not adjacent to the subdivision and is additionally separated from it by topography (note that Titlow Park Master Plan is currently being developed to address the historic values of this resource).*

- F. Owing to its unique location or singular physical characteristics, represents an established and familiar visual feature of the neighborhood or City.

*The Narrowmoor Addition is known for its location. Like several subdivisions in the Tacoma West Slope area, it overlooks the Tacoma Narrows and Tacoma Narrows Bridge. It is unique, however, for the way the subdivision and site design within*

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<sup>6</sup> Anders, 2002, Chapter II.

### *Recommendations*

Typically a historic district, whether a National, state or local register district, is so listed because it meets one of more of the agency's criteria for listing, and it retains integrity. If a neighborhood is listed as a historic district, it is because approximately two-thirds of its individual components have sufficient integrity to be contributing to the district, in addition to the neighborhood desiring the protection of a historic district designation. For local districts, proposed changes to buildings or other resources within the district are subject to the Secretary of Interior's Standards and often local design guidelines that provide additional detail for assessing changes within the district. Often individual property owners must have proposed changes to their property reviewed by a local commission and obtain a Certificate of Appropriateness for renovating, demolishing or moving resources.

In order to respond to local neighborhood needs, many communities develop what are called Conservation Districts, as distinct from Historic Districts. Conservation Districts tend to have more flexible requirements and can be tailored to local needs and concerns. They may be appropriate when a community is concerned about community character, but does not want the restrictions of complying with the Secretary of Interior's Standards and/or similar local design guidelines. They may be appropriate when a neighborhood wants to control just certain types of change, such as demolition, but is not concerned about design per se. They may also be appropriate where there is a hierarchy of historic buildings or structures and the neighborhood is concerned about protecting mainly the most 'important' buildings, and is less concerned about buildings they consider of secondary importance. They may be appropriate (and this may apply to this area) when certain features such as the site, landscaping, and building form and scale are considered important, but individual design details are considered less important to the neighborhood.

It is recommended here that the Narrowmoor Addition explore the options of a Conservation District in conjunction with the preservation planning and regulatory work currently underway in the City of Tacoma. It is recommended that the community take into consideration the Registration Criteria presented in this document in order to prioritize the character-defining features of the neighborhood. If, after exploring these options, the neighborhood desires the full protection of a local Historic District, as defined by the City of Tacoma and/or the National Park Service, it is recommended that they pursue nomination of the neighborhood and develop design guidelines based on the Secretary of Interior's Standards and the registration criteria developed in conjunction with this survey.

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No previous surveys have been conducted in this area which was, for the most part, developed after World War II.

#### ***D. Research Design and Survey Methods***

The survey of properties in the West Slope neighborhood was undertaken in January and February 2009. For purposes of the survey, the West Slope neighborhood was defined as the Narrowmoor Additions One through Three and the portion of the Titlow Addition bounded by S. 12<sup>th</sup> Street on the north; Mountain View Avenue on the east; 19<sup>th</sup> Street West on the south; and one parcel deep, on average. All properties were photographed and documented according to Washington State guidelines and recorded on state forms. Archival research was conducted in spring of 2009 and a public meeting was held with the West Slope Neighborhood Coalition and others on April 16, 2009. Registration criteria were developed utilizing the field survey and the historic and architectural contexts prepared for the survey report, in accordance with state and local guidelines. Properties were evaluated for design integrity and their potential to contribute to a historic district.

This survey report was prepared in consultation with the following organizations and archives:

- The City of Tacoma Community and Economic Development Department, Historic Preservation Program;
- The West Slope Neighborhood Coalition;
- The Tacoma Public Library archives;
- The Pierce County Assessor and Recorder offices; and
- The Washington State Historical Society archives.

Much of the information for this report came from the Tacoma Public Library Northwest Room, specifically their Buildings Index and photos archives, which hold a number of photographs from the early development of the Narrowmoor Addition. Much of the information about post-war planning in Tacoma came from a planning document prepared in the 1940s by the Planning Commission entitled *Outline of a Master Plan for Tacoma, A Preliminary Report*. Information on the Narrowmoor Addition itself also came from the recorded plat maps, including the covenants for the subdivision. Background on subdivision design from this era was drawn from the National Park Service National Register Bulletin *Historic Residential Suburbs*. Background on the architectural styles of the homes was drawn from Alan Hess's *The Ranch House* and McAlester's *A Field Guide to American Houses*.

#### ***E. Evaluator Qualifications***

Diana J. Painter, PhD of Painter Preservation & Planning prepared this Historic Resource Survey Report for the West Slope neighborhood. Ms. Painter is a qualified architectural historian as defined in the Code of Federal Regulations, 36 CFR Part 61. She holds a PhD in Architecture and a Masters Degree in Urban Planning, and has 25 years of professional experience in urban design and historic preservation. She is listed as an architectural historian on the roster of consultants on file with the State of Washington Department of Archaeology and Historic Preservation in Olympia, Washington.

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## 2. REGULATORY CONTEXT

There are two ways in which a property, in this case a group of properties comprising a district, may be designated a historic resource in the City of Tacoma. The first is if the property demonstrates exceptional importance by meeting the evaluation criteria for listing on the Washington State Heritage Register or National Register of Historic Places. The second is if a property has local significance and it can be demonstrated that the property or properties meet the City of Tacoma's designation process, as outlined below.

### *A. National Register Designation Process*

In order to qualify for listing on the National Register of Historic Places a property, in this case a collection of properties comprising a district, must display significance with respect to American history, architecture, archaeology, engineering, or culture.<sup>11</sup> It must also meet one of more of the following Criteria for Evaluation and retain integrity. Integrity is a function of location, design, setting, materials, workmanship, feeling, and association. An individual property must retain most of the aspects of integrity in order to be considered a historic or contributing to a historic district. Typically about sixty percent (60%) of properties in a district must be contributing to that district in order to be listed on the National Register.

Decisions as to whether an individual property is or is not contributing to a district are made based on registration criteria and the property's level of integrity, which in turn must reflect the reasons for the property's significance, or the themes embodied in the context statements. Registration criteria are developed in order to consistently evaluate the individual properties, as well as reflect the important historic themes relevant to the resource.

The National Register Criteria for Evaluation are as follows:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or*
- B. That are associated with the lives of significant persons in or past; or*
- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or*
- D. That have yielded or may be likely to yield, information important in history or prehistory.<sup>12</sup>*

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<sup>11</sup> Derry, 1985:2.

<sup>12</sup> Anders, Chapter II, 2002.

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City of Tacoma landmarks are so designated by being the subject of an overlay historic zoning district. Development within the district is subject to a historic design review process. Changes to a property in a City of Tacoma landmark district are subject to review by the Tacoma Landmarks Preservation Commission. Changes must be consistent with the Secretary of the Interior's Standards for Rehabilitation and may also be subject to special design review standards. They are also reviewed with respect to the National Park Service's Preservation Briefs, which provide advice on technical and design issues. Usually any change to a property in a historic district requiring a building permit will be reviewed by the Tacoma Landmarks Preservation Commission.

The Secretary of Interior's Standards for Rehabilitation are as follow.

### **SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION**

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

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- The construction of garages that visually appeared to be within the required setbacks for the subdivision, which were generally 30' from the street and 7' from the side lot line, with certain exceptions.
  - The construction of new garages that visually overwhelmed the house, where this was not the case historically (note that some L-shaped and U-shaped Ranch houses have prominent garages).
  - The construction of free-standing accessory units in the subdivision, with the exception of garages, temporary structures, and very small structures, such garden sheds or play structures.
  - Vinyl-frame windows that have proportions and sash operations that are uncharacteristic of mid-century styles. Vinyl-frame windows with multiple lights were not acceptable. Changing the proportions and/or size of a window opening was not unacceptable under most circumstances.
  - Changes to cladding types (both exterior siding and roof cladding) that added materials not previously seen in the subdivision was unacceptable if they were visually prominent. An example is the addition of a standing seam metal roof. An exception is new materials that are designed to have the appearance of materials typical of the mid-century era.
  - Changes to the residences that would not meet the Secretary of Interior's Standards were unacceptable. An example is adding Victorian-era brackets to a house. Changes to residences that are contrary to the overall design aesthetic of mid-century modern residences were unacceptable (see Chapter 4, Architectural Context, for more detail). An example is the addition of a front porch to a house that adds an atypical symmetry to the entry.

Note that a number of homes exhibit landscaping and site features such as tall, solid fences and gates that would not have been characteristic of the original subdivision, which was designed to be visually open and protect views. Landscaping and site features, however, were not used to make decisions as to whether the property contributing or non-contributing to a district, as they are considered temporary and removable features. If, however, design guidelines are prepared in the future for the Narrowmoor Addition, landscaping and site features should be addressed.

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### ***B. Anticipating New Homes***

The prospect of new homes had been building since before the war. In 1940-41 designer Bert Smyser served as the builder and architect for the Exposition Hall, which opened February 1941 with the Tacoma Better Housing Exposition.<sup>22</sup> In 1945 the Tacoma Home Planning Institute was formed, sponsored by the Chamber of Commerce and 150 other local organizations, to provide free courses in home planning.<sup>23</sup> The courses proved enormously popular, with 740 enrolling in September alone.

In the 1950s Tacoma participated in National Home Week, sponsored by the Tacoma Master Builders Association. National Home Week was established in 1948 by the National Association of Home Builders. The purpose of the event was to “concentrate public attention on the accomplishments of the home building industry in meeting the housing needs of America.”<sup>24</sup> One of the ways that it involved local communities was to make it possible for newspapers to develop special sections for the occasion devoted to home building and home-making. The first National Home Week was celebrated in about 75 cities. Within ten years that number doubled, providing an opportunity for a wide range of organizations and many manufacturers to get involved. Tacoma, like many other cities, celebrated by inviting the public to visit exhibit houses and housing projects. Thirty open houses were held in 1958. In a 1958 article it was estimated that 10,000 exhibit houses went on display around the country, which were visited by anywhere from 25,000 to 2,000,000 visitors, depending on the size of the city. A number of homes in the Narrowmoor Addition were featured in the Tacoma open houses over the years.

### ***C. Planning for Post-war Tacoma***

In early 1942 the mayor of Tacoma, Harry P. Cain, appointed a committee to investigate Tacoma “as a place to live,” and to envision the Tacoma of the future. In an article on the planning process, written by reporter William S. Simmons, future Tacoma residential neighborhoods were envisioned fronting on curving, “lightly” paved streets designed to prevent reckless driving. The Tacoma of the future would have modern, underground services. Residences would be sited within a “neighborhood unit,” a planning model promoted by the Federal Housing Administration (FHA). Neighborhoods were pedestrian-friendly, with services such as shopping, schools, churches, and playgrounds within walking distance. And future homes would have flowers and a garden in the back yard.<sup>25</sup>

Subdivisions were to be laid out according to the terrain. Traffic safety was considered to be of primary importance and to that end, arterial streets were to be wide and planned about a mile apart, bounding the separate neighborhood units that contained the features described above. Industrial growth and accompanying jobs were to be located on the tidflats, and residential growth was to occur on the hillsides. A greenbelt on the hillsides around the city center was envisioned, and it was suggested that existing low-quality development in the area be demolished or allowed to decline and then demolished, in order to accomplish this.

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<sup>22</sup> Tacoma Public Library Image Archives,

<sup>23</sup> Tacoma Public Library Image Archives,

<sup>24</sup> “National Home Week . . . September 5, 1958.

<sup>25</sup> Simmons, 1943.

served the Northern Pacific Railroad in various capacities and was among those who chose the city of Tacoma as the terminus for the transcontinental line in 1872. In his lifetime he was vice-president and president of the Northern Pacific and chairman of the company's finance committee. He re-organized the company twice in his career, enabling it to complete the line. Wright spent most of his career in Philadelphia, but was a co-founder and patron of the 1884 Annie Wright Seminary in Tacoma and the Fannie Paddock Hospital, later Tacoma General Hospital; donated the building of St. Luke's Episcopal Church; and was instrumental in the construction of the Tacoma Hotel.<sup>31</sup>

Anderson traveled to Philadelphia to buy the land. In a 1943 article on the purchase of the property in the *Tacoma News Tribune*, Anderson stated that he had already employed engineers to plat it before he even secured the sale. He was quoted as saying that his intention was to develop a "high class restricted residential district with tracts containing about half an acre."<sup>32</sup> He recorded Narrowmoor Additions One and Two in 1944, and Addition Three in 1947.

D. H. White was the civil engineer of record for the Narrowmoor Additions. He came from a pioneer family in the Steilacoom area. Over the course of his career he surveyed Camp Lewis and later, Fort Lewis, which was located on the White homestead. He served as the Pierce County surveyor at one point, and later as its engineer. He was very interested in history, serving at one time as the President of the Washington Pioneers Association, when he was involved in the reconstruction of Fort Nisqually at Point Defiance Park in the 1930s.

A February 1947 aerial photograph shows that all the Narrowmoor Addition had been graded by this time. Anderson took advantage of his Nordic heritage (the largest immigrant group in Tacoma at that time) by placing an ad in the *Tacoma News Tribune* entitled, "A Tacoma 'Sleeping Beauty': Discovered by a Norseman."<sup>33</sup> A report published by the City of Tacoma in 1960s noted that Narrowmoor covered an area of eleven blocks by six blocks and ranked as "the largest subdivision of quality housing in the city."

A profile in the Tacoma Public Library, clearly written after the new Tacoma Narrows Bridge was completed, describes Narrowmoor as follows:

*Narrowmoor is the largest subdivision of quality housing in the City of Tacoma.*

*Narrowmoor covers an area of eleven blocks by six blocks. Its location on the side of a hill affords all the homes an excellent view of the "Narrows" which is spanned by the Narrows Bridge, third longest suspension bridge in the world, the Olympics, and several of the islands off shore.*

*Most of these homes have been built in the last twelve years. The homes range in value from \$25,000 to \$100,000 the average being about \$40,000. Building sites sell for \$5,000 to \$8,000. The area is in the Tacoma city limits and is served by all city public utilities. The land was developed by a local company. The building sites were then sold to builders and individual owners. The majority of these homes have been custom built to the owner's plans and specifications. People residing in Narrowmoor are mostly*

<sup>31</sup> "Wright," 1904.

<sup>32</sup> Wins Race, Buys Land," 1943.

<sup>33</sup> Tacoma News Tribune, June 29, 1947:A17.

enough.' Mine was a patriotic service."<sup>40</sup> He also claimed that he was merely requesting representation in Washington DC on behalf of the project. Coffee claimed it was a campaign contribution. It had been revealed that Coffee had not reported the money, although a letter was sent from Coffee's office on May 11, 1941, thanking Anderson for his contribution. The investigation was eventually dropped by the Committee.

This same year, when running for mayor of Tacoma against Olson, Anderson accused Coffee's office of taking a bribe. The outgoing mayor issued a statement to this effect based on an affidavit furnished to him by Anderson. Olson accused Anderson of attempting to blackmail him. Neither man won the election.<sup>41</sup>

Anderson ran for office again in 1953, for a position on the new City Council. His statement was as follows:

*"It is generally recognized that the purpose of changing to a city manager form of government in Tacoma is to allow a fuller participation by the people in a more efficiently operated administration.*

*The success or failure of this undertaking rests with the voting public in choosing councilmen who are interested in making a new charter function at all times keeping the welfare of the community foremost.*

*I am interested in the progressive development of Tacoma; I have worked, lived and reared a family in Tacoma; I have for some 40 years, operated a successful business here, and I am aware of the needs of Tacoma to become a more safe, modern and progressive city in which we can all have pride.*

*I believe my qualifications fit me for a place on the new council."<sup>42</sup>*

Anderson procured the contract to build the hospital in Fort Lewis in the 1941-42 time frame. In 1942 he retired and in 1943 he bought the land for the Narrowmoor Addition. It is likely that he was able to use the money earned during the war to finance development of the subdivision. Anderson recorded Additions One and Two in 1944. One of the issues he was pressing for in his mayoral race of 1946 was the extension of utilities to Narrowmoor.<sup>43</sup>

Anderson married Aslaug Anderson, who immigrated to the United States from Norway in 1902 and moved to Tacoma in 1908. They had three children, Arthur R., Thomas W. and Margaret K. Anderson. The Andersons lived in Narrowmoor Addition Four, at 622 N. Fairview Drive, a home Anderson built in 1951 (a descendant of the family lived at the residence until recently).

Anderson died October 29, 1955, at the age of 73. The development of Narrowmoor Addition was at the peak at the time of his death. His estate was valued at \$468,392, of which \$143,000 was property he held in the Narrowmoor Addition. The rest of his estate was in stocks, bonds and cash. Mrs. Anderson died on September 24, 1962, at the age of 81.

<sup>40</sup> Legislator . . . *The Evening Independent, Massillon, Ohio*, July 29, 1946.

<sup>41</sup> "Olson asserts . . . ."

<sup>42</sup> "Statement by Anderson," 1953.

<sup>43</sup> "Seeks Water for Project," *Tacoma News Tribune*, January 28, 1946:13.

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#### 4. ARCHITECTURAL CONTEXT

##### A. *Natural and Built Environment*

###### **Location**

The survey area for the Tacoma West Slope neighborhood, which includes the Narrowmoor Additions One through Three (the fourth addition is north of Sixth Avenue), comprises 270 properties. The three additions are bounded by Sixth Avenue on the north; Jackson Avenue on the east; S. 19<sup>th</sup> Street on the south; and Mountain View Avenue on the west in below S. 12<sup>th</sup> Street, and Linden Lane between S. 12<sup>th</sup> Street and Sixth Avenue. A portion of the Titlow Addition is also included as a part of this survey, specifically the properties west of Mountain View Avenue between S. 12<sup>th</sup> Street and S. 19<sup>th</sup> Street. There are 45 parcels in this portion of the survey area.

###### **Setting**

The West Slope neighborhood is located directly west of downtown Tacoma. It slopes down toward the west, overlooking the Tacoma Narrows portion of Puget Sound and the Tacoma Narrows Bridge. The Narrowmoor Addition has been graded and platted such that the houses are sited on a series of terraces that parallel to the water. Lots in the Narrowmoor Addition are through lots. In other words, they are bounded on both sides by the north-south running streets. The lots within the Titlow Addition that are documented as a part of this survey are accessed from Mountain View Avenue. Some parcels in the Titlow Addition are two lots deep, in which case they are likely to be accessed via an easement from Mountain View Avenue. In contrast to the Narrowmoor Addition, the lots here appear to have been laid out with less regularity and carved out over time.

Much of the area along the shoreline in the West Slope neighborhood is taken up Titlow Beach Park and community center. A rail line runs through the park, along the flat grade at the shoreline. A ravine and stream is located in the northeast corner of the survey area. This is now contained by S. Jackson Avenue and Sixth Avenue. The houses along Vista Drive and S. Hegra Road back onto this forested ravine.

###### **Urban context**

South Jackson Street, which bounds the east side of the survey area, is a major north-south arterial. It is made up of two travel lanes in either direction, plus a center turn lane. South Sixth Avenue is also a major street. It is an east-west arterial on the plateau above the Sound. After it crosses S. Jackson Street it begins to curve and drop down toward the shoreline, in response to the topography. It is a two-lane road with very wide lanes. South 19th Street is also a major east-west arterial. While not as wide or heavily traveled, it too connects the West Slope with downtown Tacoma and Highway 16. It is a two-lane road. Most other streets within the subdivision are two lanes, with no curbs, gutters or sidewalks. Because of the lot arrangements, the blocks are long and there are few cross streets. As a result, most of the streets run north-south, with just three internal east-west streets.

Addition. It is not a planned subdivision in the same sense that the Narrowmoor Addition is, and is not evaluated here as part of a potential historic district for that reason. See Chapter 3 - Historic Context and Chapter 4 - Architectural Context for additional information.

#### **Location selection**

The location of the Narrowmoor Addition is unique and was clearly chosen for its excellent views and proximity to the water. The topography was conducive to taking advantage of the views, and it was located within an area that was largely undeveloped when Eivind Anderson bought the property. Until the late 1940s, the entire West Slope or area west of Orchard Street was relatively undeveloped, with the exception of the neighborhood south of Point Defiance Park in the Ruston neighborhood and an early 1940s subdivision directly east of Narrowmoor Addition One. This latter subdivision was the only residential neighborhood served by public sewer and water on the West Slope before 1947.<sup>49</sup>

The completion of the new Narrows Bridge in 1940 with its improved approaches made this area even more attractive for development. In addition, the land for the Narrowmoor Addition was available in one large parcel; there was no need to assemble property to develop it. Thus the neighborhood was unique for its views; its topography; its proximity to both the city and waterfront because of roadway improvements; and its availability.

#### **Platting and layout**

The subdivision design for the Narrowmoor Addition is unique as well. The lots are large, and they are through lots. That is, they are bordered on each 'short' side by the north-south streets, and have no alleys. The lots themselves are terraced such that the upper part of the rectangular lot is high, in order to take advantage of views, and the lower levels slope down toward the westerly street with expansive yards. Some parcels are additionally terraced within the back yard for more usable yard areas.

This lower level landscaped area is accessed, in most houses, by daylight basements. Most of the houses have full-width decks on the main level on the west side that overlook the rear yards and offer expansive views of the water, the Narrows Bridge, and the mountains beyond.

Blocks are long, with few east-west streets. The two east-west streets that connect with arterials beyond the subdivision are 12<sup>th</sup> Street, toward the north end of the subdivision, and 19<sup>th</sup> Street, at the southern border. The two intermediate east-west streets follow the topography to a degree. They are S. Suspension Drive and S. Sunray Drive.

The north-south streets dominate and because each parcel has two street frontages, there is a larger percentage of land taken up with streets than in a typical subdivision. The large size of the lots, however, and relatively narrow streets ensure that the subdivision retains a 'suburban' rather than urban feel. Most streets do not have sidewalks and accommodate one travel lane in each direction, with parking along the shoulder.

The design of the Narrowmoor Additions follows neither the picturesque tradition of subdivision design that was generally adopted after World War II or the traditional grid-iron pattern of the

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<sup>49</sup> "A Brief Historic of Tacoma," *Outline of a Master Plan for Tacoma*, 1947:20

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In contrast, the lots for mid-century homes were typically open toward the back, with sliding glass doors and expansive windows to increase the interaction between the outdoors and indoors. This is also particularly true of the Narrowmoor Addition, where the entire back of the house is often glazed in order to take advantage of views and the western exposure. Access to the rear yard at mid-century was often facilitated by an at-grade entry. This is also the case in the Narrowmoor Addition, as the daylight basements typically open up to the rear yard.

Side yards were typically minimized in mid-century development. The residences themselves screened views to the rear yard. Alleys were typically not provided, as lots were accessed from the front in order to preserve as much space in the back yard as possible. Again, these characteristics are also seen in the Narrowmoor Addition. Even though the lots are very large in the Narrowmoor Addition, side yard setbacks were established at a relatively narrow seven feet (7').

Lots in the Narrowmoor Addition are particularly generous; in fact, the West Slope is one of the least densely developed areas in Tacoma. While this is a different standard than we now hold, it is characteristic that lots at mid-century were larger and less densely developed than lots today, and this is a particularly important character-defining feature of the Narrowmoor Addition. Particularly large new homes or homes with large additions (or new second stories) in the Narrowmoor Addition are visually intrusive in this setting.

Front yard setbacks in the Narrowmoor Addition were established at 30' in the original covenants. A study of aerial photographs for the area, both historic and current, reveals that the homes were typically very carefully sited with respect to the topography and took into consideration views to the west and northwest. The overall ambience of the Narrowmoor Addition is one of openness even today, when many have added substantial fences around their properties and the landscaping has matured. As has been discussed, houses and garages were historically sited at the top or front of the lots. Buildings sited at the bottom of lots, particularly if they occur within the viewshed, are visually obtrusive and change the character of the street as well.

Secondary structures with the exception of garages were prohibited in the original covenants for the Narrowmoor Addition. One of the overriding characteristics of the Narrowmoor Addition is that the lots were large and the density was very low. The minimum lot size was 9,000 square feet and the minimum street frontage was 60 feet in width. Increasing the density of the subdivision by subdividing the lots, adding additional units, or even enlarging the building footprint to the degree that a different relationship is created between the residence and surrounding open space would be counter to the original intent of the developer and, presumably, the buyers.

The only secondary structures allowed in the Narrowmoor Addition historically were garages. By mid-century it was common for a house to have an integral garage or carport. In the 1940s and early 1950s integral garages were often one-car garages. Later two-car garages became more common. By the 1960s garages began to compete with the house in visual dominance. The popularity of L- and U-shaped Ranch houses, and the fact that post-war subdivision design meant that alleys had become extinct, changed the visual relationship of the house to the street. This phenomenon has become further exacerbated by the relatively common phenomenon of the three and even four-car garages today. The slopes in the Narrowmoor Addition allow additional

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Because a wide range of styles occur within the Narrowmoor Addition, a wide range of stylistic features is present. Architectural detailing might range from rustic features such as diamond-pane windows, angled brackets, and shutters on traditional ranch houses, to minimal window surrounds, narrow fascia, and the other minimalist details of contemporary ranch or modern house. The design integrity of each house in the Narrowmoor Addition must be assessed individually, with respect to the respective residential style or type.

### **Materials**

Most mid-century residences in the Pacific Northwest were wood-frame construction, although some of the buildings in the Narrowmoor Addition are actually concrete block masonry. This may have been due to the shortage of materials, particularly wood, in the immediate post-war years. Most unnecessary construction during the war years was prohibited due to the need to use building materials for the war effort. Shortages and certain prohibitions, as well as inflation, characterized the immediate post-war years. Nonetheless, advances made in construction techniques and efficiencies at mid-century ensured that wood would remain the building material of choice in the Pacific Northwest, which was home to the Douglas Fir lumber industry.

Typical cladding for mid-century residences in the Pacific Northwest included clapboard, board-and-batten, vertically-grained wood of various compositions, brick masonry, brick veneer, and stone or synthetic stone veneer. Asbestos shingle siding was also popular in about the 1940s, and difficult to tell from its inspiration, striated cedar shingle siding. Materials that were not typical in the Northwest included stucco and stone masonry. Aluminum cladding became popular during the mid-century era. Vinyl siding, which has replaced aluminum siding in popularity, is a more contemporary phenomenon. Rustic shingle siding was not characteristic in the 1940s and 1950s, although it enjoyed a resurgence in popularity in the 1960s. This, however, is not seen in the Narrowmoor Addition. Again, because of the variety of mid-century styles in the Narrowmoor Addition, many different materials are seen. However, brick is particularly popular and characteristic of the neighborhood.

Composition or asphalt shingle roofs were common at mid-century. Wood shingles were popular for their 'rustic' appearance, but are rarer today. Some synthetic materials today are able to emulate this highly textured appearance. A built-up roof with a gravel finish was a popular roof finish at mid-century, particularly for flat or very low-pitched roofs. Standing seam metal roofs were not used and detract from the appearance of mid-century residences. Clay tile was not common in the Northwest, but may be present in isolated cases.

Foundations for mid-century residences were almost always concrete. A perimeter concrete foundation was more common for areas with some change in elevation, in contrast to a slab foundation, which could be used in areas with flat grades. A perimeter concrete foundation is definitely prevalent in the Narrowmoor Addition, due to the daylight basements.

Original window frames in the Narrowmoor Addition might be wood, aluminum or steel. Steel frames were popular in the 1930s through the 1950s, but less so in the Pacific Northwest, with its damp climate. Aluminum frame windows became popular in the late 1950s and early 1960s. Wood frames remained popular, particularly for fixed lights, throughout the era. Vinyl window frames are a relatively recent development and typically detract from a building, particularly a mid-century building.

other similar species that would obstruct the panoramic view of the Sound shall be permitted to grow west of Fairview Drive.” The on-going influence of this covenant can still be seen today in the subdivision. Small fruit trees, not typical of ordinary suburban developments, can still be seen today. The contrast between the landscape character of the Narrowmoor Addition and that of the Titlow Addition below, where no prohibitions against tall trees existed, can easily be seen.

With the exception of this singular characteristic, few generalizations can be made about landscape design characteristics in the Narrowmoor Addition other than the fact that landscaping tends to be well-kept, in keeping with the overall ambience of the subdivision.

#### ***D. Residential Building Styles and Types***

Because the Narrowmoor Addition was developed after 1944 it displays a smaller range of residential architectural styles than the Titlow Addition, which developed over a longer period of time. Nonetheless, there is significant variety within the Narrowmoor Addition; it displays a broad range of post-war architectural styles, as well as a few buildings more typical of the pre-war years. This is partly because each lot was developed individually; at the most a handful of houses were developed by any one builder. It also reflects the fact that some homes are architect-designed, many are custom-built homes, but many also appear to reflect stock plans.

Most of the houses in the Narrowmoor Addition were constructed in the 1950s, although a significant number were built in the 1940s. The Period of Significance for the development is 1944, the date the first plat was recorded, to 1969, when architectural styles began to change. Styles present in the Narrowmoor Addition survey area include: World War II-era cottages; Minimal Traditional homes (WWII-era); Post-war brick bungalows; Ranch style homes; Modern homes, post-and-beam houses; and residences designed in the International Style.

The Narrowmoor Addition 1-3	No.	Percentage
Houses built before 1940	3	
Houses built in the 1940s	67	
Houses built in the 1950s	135	
Houses built in the 1960s	34	
Houses built in the 1970s	18	
Houses built after 1980	13	
<b>Total</b>	<b>270</b>	<b>100</b>

The following is a discussion of architectural styles and building types found in the Narrowmoor Addition. They are categorized first by plan type; a World War II-era house often displays a nearly square or slightly rectangular footprint while a post-war house often displays the elongated footprint of the Ranch house style. Ranch houses can be categorized by their form (L-shaped, U-shaped) or by their stylistic features or both. Lastly, the Narrowmoor Addition also displays a number of Modern houses, including post-and-beam and International Style houses. They are not typified by any particular form, but usually have the same open floor plan that characterizes most post-war residences.

deeper eaves and often a shallower roof pitch than the earlier Minimal Traditional-style homes. Glass areas are often large, with horizontally-oriented lights with casement or sliding sash, in addition to fixed windows, including picture windows. Internally Ranch houses often exhibit an open floor plan in the public rooms, which create multi-functional spaces. They display a variety of siding types and detailing. Chimneys are broad and occur on the interior or endwall. Lastly, they typically incorporate an attached carport or garage.

*The Ranch House – plan type.* The Ranch house plan is an open floor plan, where the dining and living rooms or kitchen and dining rooms may be combined. The kitchen was typically small with two entrances or a “pass-through” to the dining area. Bedrooms were typically aligned along a hallway, rather than centered on a small vestibule, as in WWII-era houses. This was the era in which the family room made an appearance as well. The garage or a carport was typically integrated with the house, but could be separated from it by a breezeway.

#### **Ranch house – form types**

*L-shaped Ranch house.* The L-shaped Ranch house typically has a garage towards the front of the lot with a front or side entrance. The “L” may also, however, be formed by a wing with a gable or hip roof. This is one of the most common configurations for the Ranch house.

*U-shaped Ranch house.* The U-shaped Ranch house has a recessed entry located between two projecting wings. These wings, which may be quite shallow, can have a gable or hip roof. If one wing is composed of a garage, the recessed entry often acts as a front porch and covered walkway from the garage to the front door. Another popular form, based on southern California models, is one in which the rooms are arranged around a courtyard, which may also be open along one side.

*The Rambler.* The Rambler is a Ranch house in which the wings of the house project at oblique angles from the center portion of the house. These wings take advantage of the site by conforming to the topography or having an orientation toward important views. The form of the Rambler is often reflected in a telescoping roof where the ridgeline ‘steps’ up or down, reflecting changes in the plan.

*Split-level Ranch house.* The Split-level and Split-entry Ranch house were both popular post-war styles. A Split-level house typically has one two-story wing and one one-story wing, with the entry occurring in the one-story wing. Here the main entry usually opens onto the main floor with its public rooms, and the bedrooms are usually on a second level above a family room and garage at a lower level. A Split-entry Ranch house is two stories, with the central main entry at an intermediate level between the two floors. The architectural detailing and finishes of the Split-level houses are often similar to the Ranch style. Colonial-influenced features are popular for Split-entry homes.

#### **Ranch house – styles**

Ranch house styles are organized into three different categories here. The first two categories – the Traditional Ranch and the Contemporary Ranch – reflect ‘authentic’ styles that are singular to the Ranch house. The third category of Character Ranch houses (sometimes called Storybook Ranch houses) reflects a category of homes in which various stylistic details derived from other architectural styles have been adapted to the Ranch house. These include such styles as Tudor Revival, Spanish Colonial Revival or Mediterranean, Colonial Revival, and “Chalet.”

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compositions. Use of natural materials such as stained wood and stone is common. Natural colors are often used but may be accented with bright, primary colors.

*Post-and-beam.* The modern post-and-beam house reflects a construction method rather than a style per se, but certain stylistic features are associated with the post-and-beam house. The open floor plan of the modern house required interior posts and beams for structural support. This left exterior walls free, which was expressed in extended beams supporting deep overhangs and expanses of glass to the eaves of the house. Post-and-beam houses are further characterized by low-pitched gable roofs; extensive use of wood, often with a vertical grain; and plain or rustic details.

*International Style.* The International Style reflects some of the same characteristics as a Modern house, but in residential design the overall building form takes on a horizontal aspect. The International Style is typified by an asymmetrical composition; a flat roof with no eaves; planar surfaces and smooth finishes; minimal or plain detailing; and expansive or expressionistic use of glass, whether in full-height glass curtain walls or ribbon windows.

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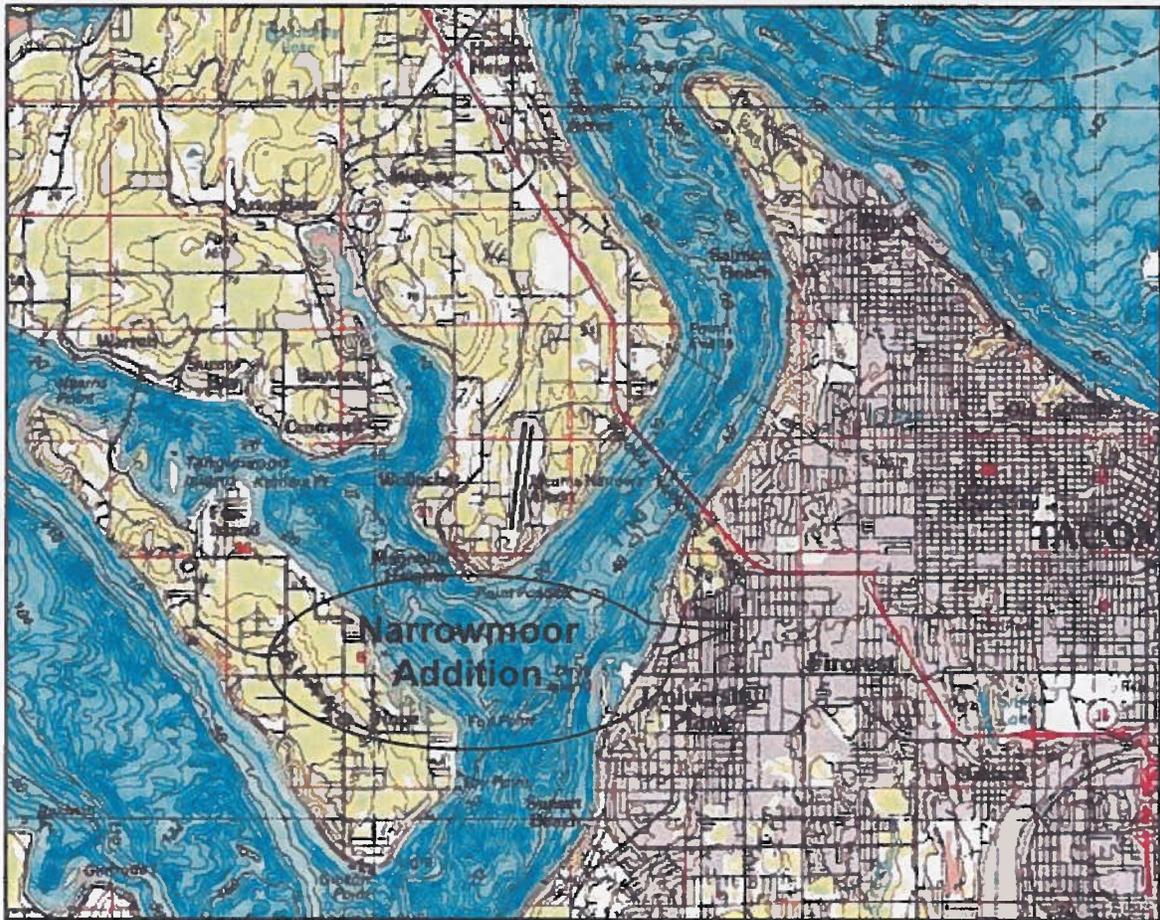
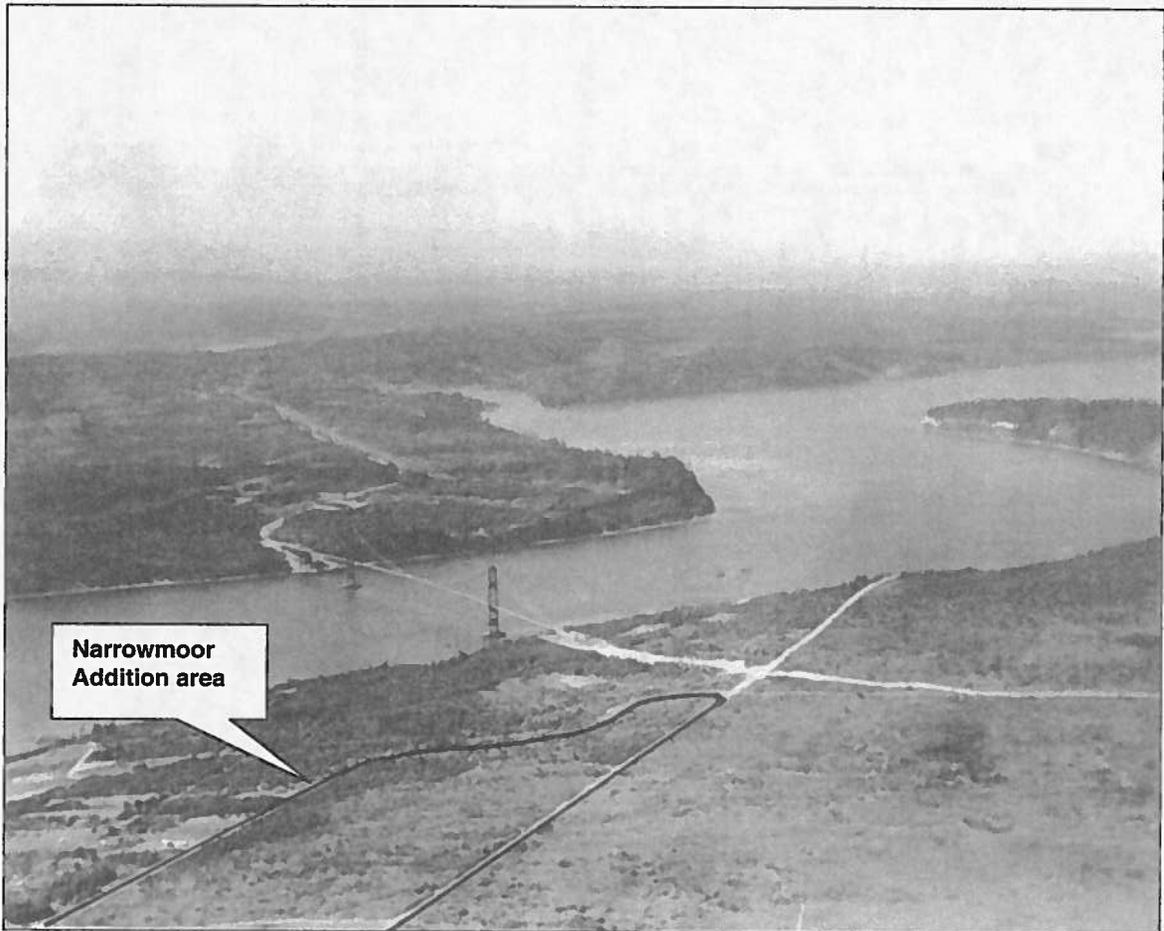


FIGURE 1: REGIONAL LOCATION MAP



*Courtesy Washington State Historical Society*

**FIGURE 3: NARROWMOOR ADDITION AREA IN 1940**



FIGURE 5: GRADING FOR THE NARROWMOOR ADDITION IN 1947

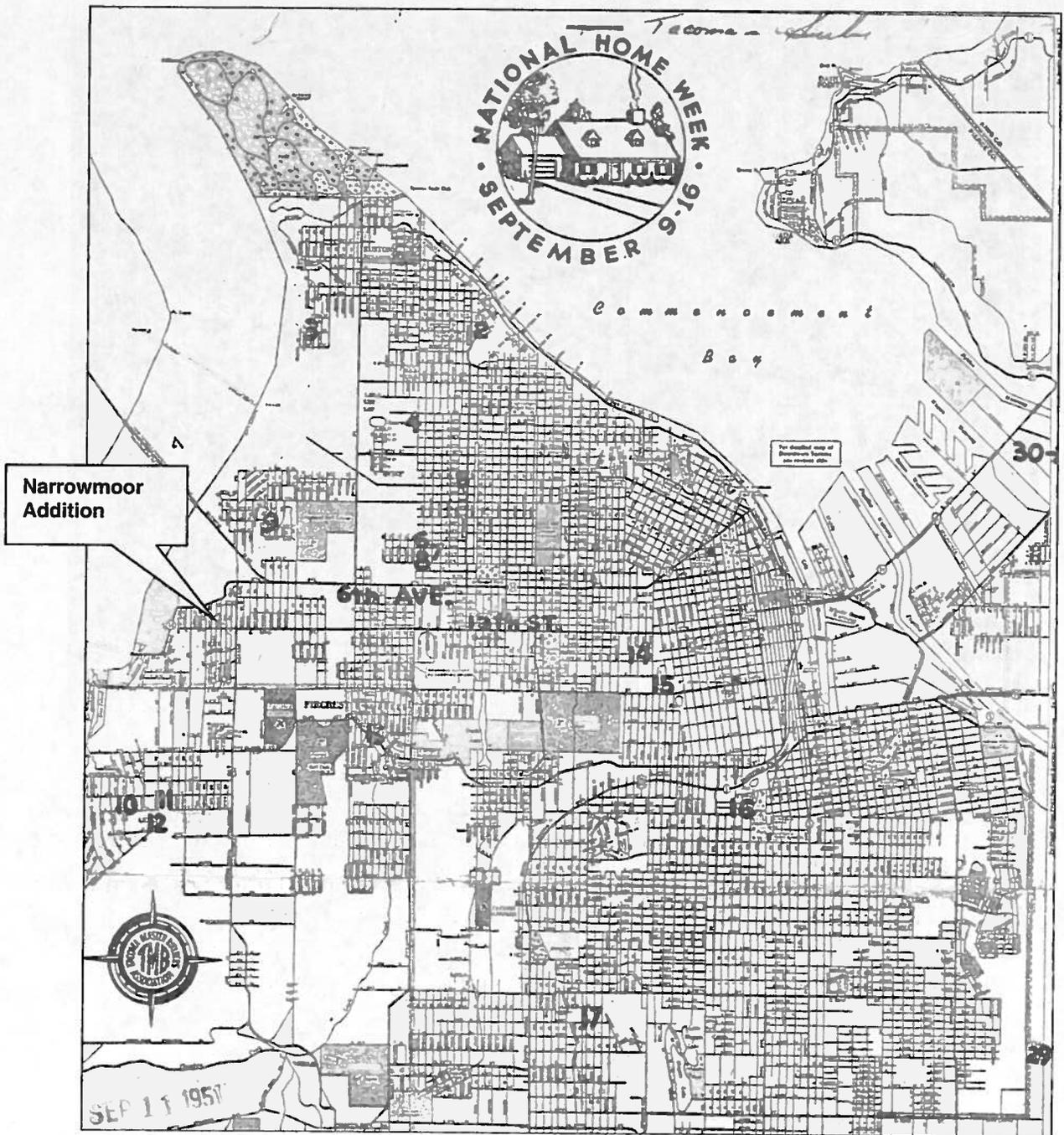


FIGURE 7: TACOMA NEIGHBORHOODS IN 1951



*Courtesy Tacoma Public Library*

FIGURE 9: THE NARROWMOOR ADDITION IN 1951 – VIEW 2



*Courtesy Tacoma Public Library*

**FIGURE 11: DEVELOPMENT OF THE WEST SLOPE NEIGHBORHOOD IN 1966**

APPENDIX A –

LIST OF SURVEYED PROPERTIES AND CONTRIBUTING PROPERTIES

*FORTHCOMING*

## COVENANTS FOR THE NARROWMOOR ADDITIONS

### First Addition

Recorded March 13, 1944 by Eivind and Aslaug Anderson, D. H. White, Registered Civil Engineer.

- A. No structure shall be erected, altered, placed or permitted to remain in on any residential building plat other than one detached single family dwelling not to exceed two stories in height, and a private garage. Nor shall any bill boards or other commercial advertising signs or displays be permitted within said subdivision.
- B. No building shall be located nearer to street or road lot line than 30 feet, nor nearer than 7 feet to any side lot line, except otherwise shown by building setback line on the recorded plat, provided however, wherever necessitated by grade conditions at the site a detached private garage may be located within ten feet of the street line. A garage so located shall be of masonry or stucco exterior construction. Note: Exception may be made to the setback line requirements where special grade conditions so require changes as to setback line requirements may be made provide written permission therefore is previously obtained from Eivind Anderson and file of record in the County Auditor's office.
- C. No residential structure shall be erected or placed on any building plot, which plot has an area of less than 9,000 square feet, or a width of less than 60 feet frontage. No dwelling, costing less than \$5,500.00 shall be permitted on any lot in block number one, and on lots one to ten, inclusive in block 2. No dwelling, costing less than \$6,000.00 shall be permitted on lots 11 to 19, inclusive, in block 2. No dwelling, costing less than \$5,000.00, shall be permitted on any of the remaining lots in the subdivision. The minimum cost as heretofore said minimum cost on January 1, 1940. The ground floor area of the main structure, exclusive of one story open porches and garages, shall not be less than 1100 square feet, in case of one store structure, nor less than 980 square feet for 1 ½ or 2 story structures. That any dwelling or structure or alteration placed or erected on any lot in this subdivision shall be completed as to external appearance, including finished painting, within 6 months from date of commencement of construction and, unless public sewers are available, shall be connected to septic tank and field tile disposal system installed therewith, in accordance with the regulations of the Department of Public Health and Local Authority.
- D. Easements affecting lots nos. 5 and 6, Block no. 1 are reserved, as shown on the recorded plat, for utility installation and maintenance.
- E. No trailer, tent, shack, barn or other outbuilding shall be erected, permitted or maintained in the subdivision, nor used as a residence temporarily or permanently.
- F. No swine, goats, cattle or horses, poultry, rabbits or any species of livestock shall be kept or maintained on any lot for commercial purpose or otherwise. This is not intended to include household pets, no calculated to become and not becoming a nuisance to owners of, or inhabitants of said subdivision. Except that poultry and rabbits may be kept for private use.
- G. No part or parcel of land or improvement thereon shall be rented or released to or used or occupied, in whole or in part, by any person of African or Asiatic descent, nor by any person not of the white or Caucasian race, other than domestic servants domiciled with an owner or tenant and living in their home.
- H. No noxious or offensive trade or activity shall be carried on upon any lot nor shall anything be done thereon which may be or become an annoyance or nuisance to the neighborhood.

### Third Addition

Recorded August 8, 1947 by Eivind and Aslaug Anderson, Burton W. Lyon and Virginia K. Lyon Jr., and Francis E and Eloise M. Ash. D. H. White Registered Civil Engineer.

- A. Except as otherwise herein specifically stated, no structure shall be erected, placed or permitted to remain on any residential building plat other than one detached single family dwelling not to exceed two stories in height, and a private garage.
- B. No barns, coops, shacks, tents, trailers or Quonset type of construction shall be permitted within the subdivision. Nor shall any species of livestock, such as goats, cattle, swine, horses, poultry or rabbits be kept or maintained for commercial purposes or otherwise. This is not intended to include household pets not calculated to become and not becoming a nuisance to owners, or inhabitants of said subdivision.
- C. No residential building shall be located nearer than 30 feet to the city street line at Fairview Drive, Fernside Drive, and Ventura Drive, nor nearer than 20 feet to street line at Aurora Ave. or Karl Johan Ave. Building setback line on Suspension Drive and on Sunray Drive shall be not less than 15 feet. Any other building setback not covered herein shall be as provided by City ordinance. Wherever necessitated by natural contours of grade conditions of the site, a private garage may be located 10 feet of the street line. A garage so located shall be of masonry, exterior construction and finish in light colored stucco, unless constructed from standard clay brick.
- D. No tall growing trees, such as Southern Poplar, Maple or any other similar species that would obstruct the panoramic view of the sound shall be planted or permitted to grow west of Fairview Drive, nor shall any commercial billboard be so located.
- E. All construction in Blocks No's. 2,3,4,8,9,10 shall be limited to one residential dwelling and a private family garage upon each lot, together with such lot fencing and other garden novelties as the owner may elect, not in conflict with specific restrictions here.

For the purposes of further community interest and protection, no dwelling structure having less than 1200 square feet of ground floor space, exclusive of open porches and garage, shall be erected or placed on the following residential lots: Lots 1,2,3 and 4 of Block two (2), all of the lots in Block three (3), lots 5,6 and 7, of Block nine (9), lots 1 and 8 of block ten (10) and lots 1 and w of Block fifteen (15). No dwelling structure having less than 1280 square feet of ground floor space, exclusive of open porches and garages shall be erected or placed on any lot of Block four (4), or lots 1, 2, 3 and 4 of Block nine (9), or lots 1 and two of Block fourteen (14). No dwelling structure having less than 1150 square feet of ground floor space, exclusive of open porches and garage, shall be erected or placed in Blocks one (1) and seven (7) or lots 5, 6 and 7 of Block two (2). No dwelling structure having less than 980 square feet of ground floor space, exclusive of open porches and garage, shall be erected or placed on lots 2, 3, 4,5,6 and 7 of Block ten (10), or lot 3 of Block fourteen (14). No dwelling structure having less than 1100 square feet of ground floor space shall be erected or placed on any of the remaining lots in the subdivision. The minimum representation cost of residential dwellings as herein referred to shall be estimated on basis of construction cost of similar structure in the year of 1940 as follows: 1280 sq. ft. zone - \$6,500; 1200 sq. ft. zone - \$6,000; 1150 sq. ft. zone - \$5,799; 1100 sq. ft. zone - \$5,200; and 980 sq. ft. zone - \$4,800. Any residential dwelling erected in the subdivision shall be completed within 6 months from date of commencement and maintained in good repair at all times thereafter, including roof and exterior painting.

Where public sewers are not available, sanitary disposal shall be made by septic tank and field tile disposal system in accordance with the regulations of the City Department of Public Health. The zoning restrictions and regulations of this paragraph are not intended to preclude, subject to the approval of City authorities from Blocks 7, 15, 5, 6, 11 and 12 such structures of semi-residential designs known as duplexes, apartments and apartment courts, or such other structures commonly adopted to community centers, provided, however, that no such construction shall be placed or permitted

APPENDIX C –

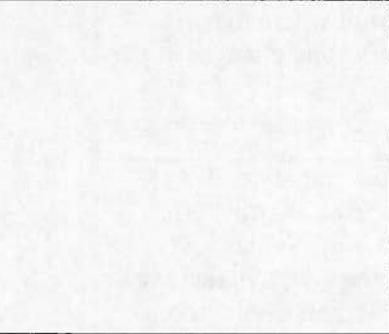
LETTER FROM WEST SLOPE NEIGHBORHOOD COALITION

**APPENDIX D –**

**PUBLIC MEETING HANDOUTS AND PRESENTATION**

and ramblers. They are characterized by low-pitched hip and gable roofs; deeper eaves than on the earlier, WWII-era styles; a variety of footprints; and open floor plans in the public areas of the house. They typically have large expanses of horizontally-oriented windows, of which fixed and casement windows were the most popular in the 1950s. They display a variety of siding types and detailing. Chimneys are broad and occur on the interior or endwall.

**The Ranch House – plan type**



The Ranch house plan is an open floor plan, where the dining and living rooms or kitchen and dining rooms may be combined. The kitchen was typically small with two entrances or a “pass-through” to the dining area. Bedrooms were typically aligned along a hallway, rather than centered on a small vestibule, as in WWII-era houses. This was the era in which the family room made an appearance as well. The garage or a carport was typically integrated with the house, but could be separated from it by a breezeway.

**Ranch house – form types**

**L-shaped Ranch house**



The L-shaped Ranch house typically has a garage towards the front of the lot with a front or side entrance. The “L” may also, however, be formed by a wing with a gable or hip roof. This is one of the most common configurations for the Ranch house.

**U-shaped Ranch house**



The U-shaped Ranch house has a recessed entry located between two projecting wings. These wings, which may be quite shallow, can have a gable or hip roof. If one wing is composed of a garage, the recessed entry often acts as a front porch and covered walkway from the garage to the front door. Another popular form, based on southern California models, is one in which the rooms are arranged around a courtyard, which may also be open along one side.

	<p>century, such as open concrete block screens and Populux details such as canted windows or entry features.</p>
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**Character Ranches**



Character Ranch houses can take on a variety of styles. They may reflect Spanish Colonial or Mediterranean influences with stucco walls, tile roofs, and round-arched arcades. A Tudor Ranch might have false half-timbering on the upper facades over a brick base. A Colonial Ranch might have a row of columns or posts with caps supporting the front porch roof, but more often recalls Colonial influences with shutters and a formal entry. The Chalet style was also a popular adaptation to the Ranch style, seen in broad false gables with shaped fascia boards extending toward the ground.

**Modern houses**



Modern houses are often architect-designed and, in contrast to the Ranch style, take on a variety of forms, shapes, and overall expression. Modern homes typically have an open floor plan in the public areas of the house, but are screened from the public street. Roofs typically have a low pitch and may include gable, shed or flat roofs, or more expressionistic roof forms. Common characteristics include an emphasis on asymmetrical two-and-three-dimensional compositions and an expansive use of glass contrasted with clerestories above solid screen walls. Use of natural materials such as stained wood and stone is common.

**Post-and-beam**



The modern post-and-beam house reflects a construction method rather than a style per se, but certain stylistic features are associated with the post-and-beam house. The open floor plan of the modern house required interior posts and beams for structural support. This left exterior walls free, which was expressed in extended beams supporting deep overhangs, and expanses of glass to the eaves of the house. Post-and-beam houses are further characterized by low-pitched gable roofs; extensive use of wood, often with a vertical grain; and simple or rustic details.

## **ANNEX B**

### **Community Outreach Summary**

Summary listing of WSNC contacts with community and  
the City of Tacoma

## **ANNEX B**

### **Summary of Public Outreach and contact with the City of Tacoma by the West Slope Neighborhood Coalition**

#### **Exploring the possibility of an Historic District Designation –**

In 2006, Mr. Tom Rickey, a WSNC Board Member and local realtor, brought to the board's attention that the Narrowmoor Area might well meet the criteria for an Historic District and if so, could provide an improved means to protect the views and character of the area. The WSNC subsequently hosted a series of special membership meetings with Mr. Reuben McKnight, Historic Preservation Officer from the City of Tacoma, who explained the process entailed. As a result of the discussions, the City of Tacoma contracted with Painter Preservation and Planning, Inc., to conduct an appropriate survey of the Narrowmoor Area.

Completed in 2010, the Painter study, while recognizing many unique qualities and design features of Narrowmoor, did not find that it met the Secretary of the Interior's criteria for an Historic District. The study did, however, recommend that the area be considered as a stand-alone conservation district wherein the neighborhood could tailor protections without incurring the more restrictive requirements of an historic district.

#### **Pursuit of designation as a conservation District –**

At its regular annual meeting of October 3, 2010 the WSNC membership unanimously voted to support the City's proposed changes to the Comprehensive Plan allowing for the creation of stand-alone Conservation Districts. WSNC representatives testified at various levels in this regard, including the Landmarks Commission, Planning Commission, and City Council. The WSNC also provided a letter to the City of Tacoma to that effect. (See Appendix 1 to this annex).

At a WSNC general membership meeting, October 16, 2011, that followed the city's approval of the amendment to the comprehensive plan, the membership attending voted to initiate an application for a conservation district and formed a Conservation District Project Committee to undertake the necessary tasks and report to the WSNC Board as appropriate.

On July 18, 2012 the WSNC held a public meeting at Titlow Lodge to inform property owners involved of the potential of a conservation district. Prior to the meeting notices and supportive information was mailed to all property owners in Narrowmoor Area. The mailing included a survey requesting residents' response as to the desirability of a conservation district and any comments, questions or concerns they would like to offer. An example of

## **ANNEX B**

the mailing packet dated June 16, 2012, (Mailing packet #1) is provided at Appendix 2 to this annex. A subsequent mailing (Mailing packet #2) was sent out July 1, 2012 providing additional information. (Appendix 3 to this annex.)

Minutes of the public meeting are provided at Appendix 4 to this annex. It should be noted that while there were a number of questions and comments, the response to the survey and the opinions expressed at the public meeting indicated a strong majority consensus in support of the proposed conservation district.

At the WSNC annual meeting of October 7, 2012, the Conservation District Project Committee provided a progress report was made to the members. The membership voted to continue the effort to moving forward with a conservation district application.

On Nov. 14, 2012, the WSNC held a second public meeting at the new Geiger Montessori School to provide updated information and obtain further comments from Narrowmoor residents on the draft proposed conservation district protections that had been developed by the project committee. Meeting notices were mailed, with support information, to all property owners in Narrowmoor. A copy of the notice (Mailing packet #3) dated Nov. 1, 2012, is provided at Appendix 5 to this annex.

The public meeting was recorded and transcribed. A summary of the meeting minutes is provided at Appendix 6 to this annex. The great majority of those in attendance indicated they were in favor of establishing a conservation district for Narrowmoor.

Since then the WSNC Co-Chair, Dean Wilson, and the Conservation District Project Committee chair, Mr. Mike Fleming, have met repeatedly with Mr. Reuben McKnight and other City of Tacoma staff members, to clarify conservation district requirements and the specific items required for the application. Subsequently, the proposed protections have been refined and approved by the WSNC board.

The WSNC will work with the City to continue the public outreach to all property owners involved as the conservation district application proceeds through the applicable review and approval process.

**APPENDIX 1 to ANNEX B**

**WSNC Letter to the City of Tacoma**  
(Support of amendment to the Comprehensive Plan)



## WEST SLOPE NEIGHBORHOOD COALITION

P.O. Box 64321 Tacoma, WA 98464-0321  
<http://www.westslopeWSNC.com>

### WSNC BOARD

#### Co-Chairmen

David Zurfluh 460-3372  
1253 S. Fernside Ave.  
Dean Wilson 719-7912  
1401 So. Sunset Drive

#### Vice-Chair

Nancy Fleming 565-3698  
1520 S. Fairview Dr.

#### Secretary

Nancy Brodigan 565-1299  
1437 Weathervane Dr.

#### Treasurer & Neighborhood Disaster Preparedness

Mike Fleming 565-3698  
1520 S. Fairview Dr.

#### Membership Chair

Gail Cline 460-6786  
7535 Hegra Road

#### Newsletter & Website

Nancy Draper 460-5612  
1306 S. Mt. View Ave.

#### TRUSTEES (Area Reps)

##### Narrowmoor 1

Tom Cline 460-6786  
7535 Hegra Road

##### Narrowmoor 2

Nancy Draper 460-5612  
1306 S. Mt. View Ave.

##### Narrowmoor 3

Marianne Russell 566-8711  
1746 S. Karl Johan

##### Narrowmoor 4

Vacant

##### Mt. Narrowmoor

Jerry Brodigan 565-1299  
1437 Weathervane Dr.

##### Sunset & Titlow Area

Ron Talcott 564-9779  
1320 S. Sunset Drive

##### At-Large, Crime Watch & Westslope Historic District

Tom Rickey 318-0036  
1522 S. Fernside Drive

##### Associate Members

Narrows Homeowners Assoc.  
President 565-6961  
7910 North 11th Street

May 17, 2010

Mr. Eric A. Anderson  
City Manager  
747 Market Street  
Tacoma, WA 98402

Re: Tacoma West Slope Historic District Development Project  
And Historic Resource Survey Report, January 2010.

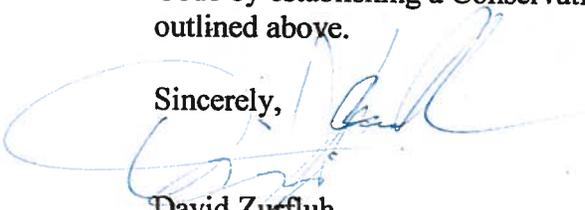
The purpose of this letter is to request that the City proceed with the Report's recommendations to create a Conservation District for the Narrowmoor area in Tacoma's West End.

We thank the City for authorizing and conducting this study in response to our original request regarding historic district possibilities; letter dated 01/25/2007. And, we appreciate the time and efforts of Rueben McKnight, Historic Preservation Officer, for conducting multiple public meetings, plus evening updates with us. His assistance is appreciated.

Our board carefully reviewed the Report's findings and conclusions. We found the expertise of the consultant, Diana J. Painter, PhD to be very helpful and enlightening regarding the preservation of our neighborhood, its views and uniqueness, together with certain other features such as site size, orientation, landscaping, building form, height, and scale. It is our belief that Design Guidelines also incorporating these important elements into an adopted Conservation District would provide added protection, stability and enhancement measures for this well defined mid-century neighborhood of Tacoma.

Therefore, we respectfully request the City to proceed with the next steps to amend the Comprehensive Plan and Land Use Regulatory Code by establishing a Conservation District for our neighborhood, as outlined above.

Sincerely,

  
David Zurfluh  
WSNC Chairman

cc: Mayor and  
Members of the City Council

cc: Ginny Eberhardt, Chair  
West End Community Council

cc: Ryan Petty, Director, Community and  
Economic Development Department

WEST SLOPE NEIGHBORHOOD COALITION  
**Narrowmoor Conservation District Application**

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**APPENDIX 2 to ANNEX B**

**WSNC Public Mailing #1**

West Slope Neighborhood Coalition  
Narrowmoor Conservation District  
Public Meeting #2

**Meeting Agenda**

**Pre- Meeting:** Paula Bond, Principal, Geiger Montessori School

- I. Administrative announcements**
- II. Introductions**
- III. Review of Rationale for Conservation District**
- IV. Background**
- V. Purpose of Meeting**
- VI. Process for the Meeting**
- VII. Comments from Audience on Draft Protections**
- VIII. Q & A**
- IX. Financial Report**
- X. Wrap –Up**



**WEST SLOPE  
NEIGHBORHOOD  
COALITION**

P.O. BOX 64321 Tacoma, WA 98464



**Mailing Packet #1**

**June 16, 2012**

**Important information for Narrowmoor residents**



# WEST SLOPE NEIGHBORHOOD COALITION

P.O. BOX 64321 Tacoma, WA 98464

<http://www.westslopeWSNC.com>

## WSNC BOARD – 2012

### OFFICERS

#### Co-Chairmen

David Zurfluh davidzurfluh@msn.com  
460-3372 1253 S. Fernside Ave.

Dean Wilson dewilson064@gmail.com  
312-2858 1401 S. Sunset Drive

#### Vice-Chair

Nancy Fleming mnflaming@netzero.net  
565-3698 1520 S. Fairview Dr.

#### Recording Secretary

Marianne Russell russellzurfsell@aol.com  
566-8711 1746 S. Karl Johan

#### Treasurer & Leader of local CERT (Citizen Emergency Response Team)

Mike Fleming mnflaming@netzero.net  
565-3698 1520 S. Fairview Dr.

#### Membership Chair

Gail Cline clineg@comcast.net  
460-6786 7535 Hegra Road

### TRUSTEES (Area Reps)

#### Narrowmoor 1 (6<sup>th</sup> Ave to S 12<sup>th</sup> St) & WSNC Rep on West End Council

Tom Cline clineg@comcast.net  
460-6786 7535 Hegra Road

#### Narrowmoor 2 (S 12<sup>th</sup> to Suspension)

Joan Christensen jochris@nventure.com  
565-4565 1205 S Fairview Dr.

#### Narrowmoor 3 (Suspension to S 19<sup>th</sup>)

Marianne Russell russellzurfsell@aol.com  
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#### Narrowmoor 4 (SR16 to 6<sup>th</sup> Ave)

Ted Turner ted.turner@weyerhaeuser.com  
(cell) 541-912-6664 636 N. Fairview Dr

#### Mt. Narrowmoor (East of Jackson St)

Vacant

#### Rep At-Large & Crime Watch

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#### Sunset & Titlow (West of S. Mt. View)

Ron Talcott ron@talcott.org  
564-9779 1320 S. Sunset Drive

### CONTRIBUTING WSNC MEMBER

#### Newsletter & Website

Nancy Draper nancyd@harbormet.com  
460-5612 1306 S. Mt. View Ave.

June 16, 2012

Dear Neighbor,

We are seeking your involvement in an exciting new opportunity for the Narrowmoor area – a *conservation district* to protect and preserve our views as the developer originally intended. (See Narrowmoor map on back side.)

We propose to craft view protection standards that address the height, bulk, scale, roof pitch, building orientation, as well as provide uniform restrictions on tall-growing trees and vegetation.

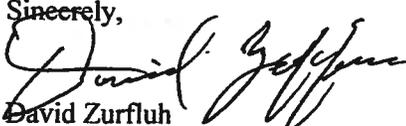
Most importantly, a conservation district would mean that the city would enforce these provisions, instead of citizens having to pursue civil lawsuits to enforce existing covenants.

To make this happen, we need a broad consensus of support from the Narrowmoor neighbors. Therefore we are asking you to:

- Review the enclosures and respond to the attached questionnaire with any concerns or comments;
- Attend a community meeting at Titlow Lodge, Wednesday July 18<sup>th</sup>, 7 PM.
- Kindly make a contribution to help us with the necessary expenses.

We look forward to seeing you July 18<sup>th</sup>!

Sincerely,

  
David Zurfluh  
Co-Chair

  
Dean Wilson  
Co-Chair

Enclosures (3)

## Notice to Narrowmoor residents about a proposed Conservation District within our neighborhood

**As a matter of background**, West Slope Neighborhood Coalition (WSNC) has been a neighborhood activist organization that is vitally concerned about where we live. It's members, at their October 16, 2011 annual meeting, voted unanimously to pursue designation by the City of Tacoma, of a large portion of the West Slope area known as Narrowmoor, as a *Conservation District*. The WSNC's current membership constitutes a majority of households in Narrowmoor. WSNC has served the West Slope area residents for 25 years, and is open to all neighborhood property owners. Participation is voluntary and desirable. Annual dues of \$20 pay for normal operating expenses, including printing, postage, meetings and a website.

The organization came about as a result of neighborhood character issues such as view obstruction due to building height & vegetation, lot segregations and character "fit". WSNC remains active and those issues continue today. Historically, these matters were thought to have been addressed by the private covenants. However, our covenants lack an administrative structure and are prone to ineffective enforcement. They are only enforceable through individual property owner's efforts and expense, usually via Court action. For information purposes, our WSNC bylaws prohibit using dues money to help one neighbor litigate against another neighbor to enforce covenants. But in support, WSNC does send folks "reminder" letters about their covenants, helps disputing parties negotiate, and makes mailings for neighbors seeking support.

The City of Tacoma has established a potential new "preservation" mechanism that would benefit our neighborhood enormously. It allows the establishment of a Conservation District. Conservation Districts control land use and development, in conjunction with existing zoning standards. But unlike the more restrictive standards in typical Historic Districts, the standards for Conservation Districts are not as rigid, and are much more flexible. For example, it could be OK to update your old single pane windows to double pane insulated windows. Also, it allows the creation of new City Regulations intended to preserve and protect certain desirable neighborhood characteristics. Some examples for further regulatory consideration are view protection provisions that address building height for new or remodeled homes, their roof pitch and orientation, building bulk and scale, and may include controls on vegetation and lot size, etc. It allows design standards to be tailored to a neighborhood to foster style continuity with existing homes.

**Most of Narrowmoor area has potentially qualified for this added layer of protection** according to a City of Tacoma's in depth study and findings report. (It's available upon request or visit WSNC website.)

**What's in it for us residents, you might ask.** If a Conservation District is adopted for our neighborhood, **IT WILL BECOME A CITY OF TACOMA ZONING LAW, ENFORCABLE BY THE CITY.**

The private covenants mentioned earlier will remain intact and stay enforceable through the Civil Courts. So the benefit is proactive, consistent administration by the City, which will include review of proposed building and remodeling plans for compliance with design standards before issuing permits. Thereafter they will necessarily be administered by the City with enforcement orders/letters of compliance issued to offending property owners when appropriate. Our neighborhood's unique character and qualities, including our views, would therefore be better preserved and protected.

**We all know why we live in the West Slope area, and now we can have access to a tool like no other in preserving the neighborhood attributes that are so important to us.**

*Continued over ....*

# Examples of Preservation Issues in Narrowmoor

**Following is only a sampling of typical preservation issues that neighbors have encountered.**

**House on S. Ventura Drive, between Sunray and South 19<sup>th</sup>** was torn down, and the new owner planned to build a massive "Mac Mansion" in its place. It would have devastated the views of several uphill neighbors. Those folks on Karl Johan rallied other neighbors to their support at a community meeting at Narrows Glen. Over 100 people attended and made it clear to the new owner they opposed his plans and would contribute to a legal fund to fight him in Court. Realizing the neighborhood collectively might have "deeper pockets", he begrudgingly scaled back his building plans, but still blocked a considerable span of several neighbors' marine view. Owner said he intended to reside here for years to raise his family, but he sold this home soon after satisfying the residency requirement to avoid paying capital gains taxes. He took the money and ran, leaving his neighbors with an anguished experience, diminished views and a loss of value in their properties.

*If proposed Conservation District protections were in effect, the City's Landmarks Commission would likely not have approved a structure so out of character with the neighborhood, or that raised the new roofline well above the old roofline - if doing so diminished views. Consequently, the City would likely not have issued a building permit to allow its construction (until redesigning it to comply with the proposed design standards).*

**Vacant lot** was purchased which ran from Jackson to S. Fairview, located between Suspension and Sunray. The new owner filed papers to subdivide the lot into 2 building sites. WSNC was notified and sent a letter informing the property owner that subdividing [without approval of Eivind Anderson or his heirs or assigns] would be violating existing covenants, and attached a copy. It says: "Except as otherwise therein specifically stated, no structure shall be erected, placed or permitted to remain on any residential building plot other than one detached single-family dwelling...". (Over the years, many others have inquired about subdividing their lots, but didn't do it after becoming aware of the covenants.) In this instance, the property owner's attorney wrote back stating they interpreted the covenant provisions differently. Then, the owner subdivided the plot, sold one lot, and 2 new homes were built on the property. This owner can be taken to court at any time to seek a court order to remove one of the two homes, - if one or more neighbors initiate and pay for legal fees. In past cases, if the court orders a structure be modified or removed, offenders usually appeal the ruling in an attempt to salvage their investment. Typically, such proceedings have spanned years, were costly and very emotionally trying for all parties involved. Court-ordered "remedies" can compound these experiences.

*If proposed Conservation District protections were in effect, it is likely the City would not have approved the owner's request to subdivide this typical sized Narrowmoor lot, and thus, likely would not have issued two different building permits for the two separate single-family dwellings now constructed on the original plot.*

**Vegetation Control** is the most frequently occurring preservation issue among neighbors. Included are tall growing trees which diminish panoramic views, and shrubbery which impacts peripheral views and traffic safety. Certain species of tall growing trees are prohibited by covenants within two of the four Narrowmoor subdivisions (and not at all in adjacent areas). Control of a species being planted, or dealing with prohibited ones that have already been planted, may be pursued in the Courts. Seeking enforcement is at the expense of neighbor(s) who's view will be, or is being affected. In a State Supreme Court Case involving neighbors in Narrowmoor 3, the judge ruled a property owner's "trees cannot exceed the height of the roof peak", and then ordered the offending property owner to prune his accordingly. Over the years, vegetation continues to grow in height and breadth. An offending property owner who neglects to prune theirs, and ignores requests to do so, must be taken to Court, and again, enforcement is at the expense of the affected neighbor(s).

*If proposed Conservation District protections were in effect, the Landmarks Commission would review building site landscaping plans (for new vegetation to be planted), and the City would enforce compliance. To deal with existing trees that infringe on neighbors' views, requires expert research for ordinances other municipalities use successfully. Authorizing this work depends on your input and financial assistance.*

*Continued over....*

# Questionnaire

Do you agree that it is important to preserve the views and character of our neighborhood?

Yes     No     Undecided

What specific factors do you think are in need of protection and preservation?

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What concerns, if any, do you have regarding the establishment of a Conservation District for our neighborhood?

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Other comments or questions?

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*Continue on back if more space is needed for your responses or questions. Please return by June 30th.*

Name(s) \_\_\_\_\_

Address \_\_\_\_\_ Phone \_\_\_\_\_

## CONTRIBUTION OPTIONS

We have calculated that a fair-share contribution to the fund the work necessary to develop and implement a conservation district for our neighborhood would be \$100 per residence, but we are happy to accept more or less depending on what you feel you can offer. (Please make checks payable to: WSNC) Remember that your small investment in a conservation district now could reap very significant savings in the future, e.g., avoiding litigation costs while preserving your views and property values. *(The first contribution received was from a family residing outside the "qualified" area, but who - in the future - may qualify and benefit.)*

Please indicate your desire below:

- Contribution enclosed     I pledge to contribute \$ \_\_\_\_\_ by \_\_\_\_\_ (date)
- I choose not to contribute     Check back with me after \_\_\_\_\_ (date)

Please use the enclosed preaddressed envelope to return your questionnaire response/contribution.

**West Slope Neighborhood Coalition  
Attn: Conservation District Committee  
P. O. Box 64321  
Tacoma, WA 98464-0321**

WEST SLOPE NEIGHBORHOOD COALITION  
**Narrowmoor Conservation District Application**

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**APPENDIX 3 to ANNEX B**

**WSNC Public Mailing #2**

**Mailing Packet #2**

**July 1, 2012**

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**WEST SLOPE  
NEIGHBORHOOD  
COALITION**

P.O. Box 64321 • Tacoma, WA 98464-0321



# WEST SLOPE NEIGHBORHOOD COALITION

P.O. Box 64321 Tacoma, WA 98464-0321

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Vacant

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#### **Sunset & Titlow (West of S. Mt. View)**

Ron Talcott [ron@talcott.org](mailto:ron@talcott.org)

564-9779 1320 S. Sunset Drive

### CONTRIBUTING WSNC MEMBER

#### **Newsletter & Website**

Nancy Draper [nancyd@harbormet.com](mailto:nancyd@harbormet.com)

460-5612 1306 S. Mt. View Ave.

July 1, 2012

Dear Neighbor,

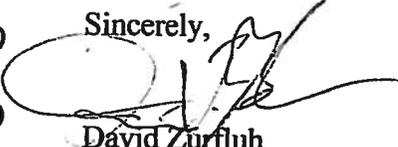
Several weeks ago, you and your neighbors received a packet of materials announcing a proposed Conservation District for the Narrowmoor area. The packet contained background information, a questionnaire, and a meeting notice.

Although we've received many responses, it is important that we hear from as many residents as possible. If you have not yet returned your questionnaire, please do so no later than July 9<sup>th</sup>, so that we can compile the response prior to our upcoming meeting.

We also want to thank those who have made a contribution to defray the costs of this effort, but we are yet to meet our goal. Please consider helping and include a check with your response, or at the meeting.

We will be recapping the responses, providing a draft outline of the proposed standards, and address questions and concerns at our **community meeting on July 18<sup>th</sup>, 7:00 PM, at Titlow Park Lodge, 8425 6<sup>th</sup> Avenue.** Please plan to attend and participate.

Sincerely,

  
David Zurfluh  
Co-Chair

  
Dean Wilson  
Co-Chair

Enclosures (2)

## Narrowmoor Development – Recap of Preservation Efforts

**1940's** Eivind Anderson purchased and developed tracts of land between Bantz Boulevard (now SR-16) to South 19<sup>th</sup> Street, and between Jackson Street and Mt View/Linden/N Karl Johan. His development has four subdivisions, which are commonly known as Narrowmoor 1, 2, 3 and 4. It is not the typical "tract" however.

To ensure all homes to be built in Narrowmoor subdivisions conformed to their "vision", the developers established covenants. Then they built and sold homes, or reviewed and approved blueprints and site plans of other proposed custom-designed homes, before allowing individual lot owners to commence construction.

**1950s-1970's** As the developers passed on, so did their practice of "screening" building and site plans. This placed a burden on individual property owners to deal with neighbors' compliance with the covenants, and if unable to resolve, then resort to suing - initiate and pay for covenant enforcement through the courts.

**1980's** A "two story" home on the West side of South Jackson was remodeled adding a third level to it. Its construction sparked a court case and an appeal which cost the involved parties over \$50,000 in total. The neighbors won the original case. The owner won an appeal. It set a precedent for allowing three story homes along covenant perimeters. In this widely publicized court case in Tacoma (and in a similar case in Seattle in 2005, Bauman vs Turpen), the definition of the term "story" was at the center of these disputes.

**1987** West Slope Neighborhood Coalition (WSNC) was formed as a voluntary "home owners association". Activities included neighborhood-wide efforts such as operating watch patrols; spearheading the LID project to underground all the overhead lines for power, phones and TV; and working with the City on traffic safety.

Residents increasingly sought assistance in addressing covenant compliance (mostly view issues) between neighbors. However, WSNC has no "official" powers of enforcement. Consequently, if negotiations fail, home owners' last resort is litigation in the courts, which can be expensive and very trying on families. **Finding a less combative and less costly way to deal with our preservation issues has been an ongoing effort within Narrormoor for nearly 25 years. Progress toward a solution has been slow but steady.**

**1990's** In cooperation with other neighborhood groups also grappling with view preservation issues, and at our collective request, the City of Tacoma created a **View Sensitive Overlay Zone**. This "zoning" reduced allowable building height from 35 feet to 25 feet in view areas. It applies to about 10% of land in Tacoma.

The City's View Zone study found the average home height was only 18 feet in Narrowmoor subdivisions. This 7 foot "gap" from 25 foot limit proposed was noted but not addressed. (Lowering home building height limit was a contentious political hot potato; strongly favored by most owners of view homes, but vehemently opposed by many real estate and building industry groups.) Adopting an even lower building height limit for the Narrowmoor area – consistent with heights of existing homes – just wasn't politically viable at the time.

**2000's** WSNC continued to search for other possible solutions. For example, we looked into the possibility of modifying covenants to update them, and also to clarify court-contested terminology, such as "a story". Unfortunately, no provision exists in our original covenants to allow a majority vote of property owners to adopt changes. So, per state statute, 100% of residents must vote in support of all proposed revisions to legally change our existing covenants. This requirement makes it virtually impossible to successfully update them now. Also, the original covenants do not name which "heirs or assigns" are empowered to carry on the developer's practice to review owners' proposed building and site plans, and legal right to approve or reject.

Meanwhile, Tacoma's building permit criteria for **2-story** homes evolved and measurements used changed. In the 1940s, a daylight basement was a "story" if the ceiling was over 6.5 feet high, and a floor covered the dirt. Today, an 8 foot-high lower level is not counted as a story, if over 50% of the wall area is underground. Examples: a newer 3-level home on South Fairview and (initially) the new tri-level at S. 12<sup>th</sup> and Jackson. Our covenants often differ from current City Code in other ways, such as, in allowing subdividing large lots.

*Continued over...*

**APPENDIX 4 to ANNEX B**

**Minutes of Public Meeting**  
July 18, 2012

## West Slope Neighborhood Coalition

### MEETING MINUTES

July 18, 2012

Titlow Lodge

This was a Public Meeting concerning the Narrowmoor neighborhood in the West End of Tacoma. It was conducted by the West Slope Neighborhood Coalition (WSNC) made up of volunteer property owners in Narrowmoor. The Officers are non-paid and elected by the membership.

#### Key persons in Attendance:

##### West Slope Neighborhood Coalition Officers

Dean Wilson, Co-Chair

David Zurfluh, Co-Chair

Mike Fleming, Conservation District Coordinator/Facilitator

##### Baseline Engineering and Planning

Kevin Foley, AICP

Meeting was called to order by Dean Wilson at 7:00 pm. There were approximately 75 persons in attendance, and there was a sign in sheet for attendees. Wilson explained the purpose of the meeting to discuss a potential Conservation District application to the City of Tacoma for the Narrowmoor neighborhood. As background information, a meeting Notice, summary information, and a Questionnaire soliciting comments was sent to all property owners prior to the meeting. Wilson explained that this meeting was to actively involve the neighborhood. It also was to provide additional information, and obtain property owners comments, concerns, and suggestions concerning a possible Conservation District for the neighborhood. There are about 275 properties in the proposed Narrowmoor Conservation District.

Mr. Wilson noted that the WSNC is a non-profit neighborhood organization established many years ago as a result of view protection issues and other neighborhood matters. Annual dues are \$20.00 and used for mailings and other related neighborhood things as they arise. The neighborhood at large is well represented and currently there are 190 active members. Annual membership meetings have been held at the Tacoma Outboard Association meeting hall off 6<sup>th</sup> Avenue. WSNC Board meetings of elected Officers and Area Reps are regularly held. At the October, 2011 annual meeting, it was unanimously voted to pursue a Conservation District application with the City. At the Oct 7, 2012 annual meeting, Wilson provided a summary of activities thus far, and that an additional public meeting would be held to obtain further comment from property owners.

It was further explained that a Conservation District, if approved by the City, essentially would be a zoning overlay district tailored to preserving and protecting Narrowmoor's character, and views of the water and mountains. The process will take about one year and involves an application requesting that a Conservation District be established. It will include the important neighborhood elements, and neighborhood protections being recommended. There would be public hearings by the Landmarks Preservation Commission, the Planning Commission and City Council. Once the Conservation District is established, it would become the body of regulations that would necessarily be enforced by the city. While there are protective covenants on the Narrowmoor plats, they are enforced by private property owners and settled in the civil courts. The covenants would remain in force as well.

There was an explanation regarding the original intent of Mr. Einvind Anderson in platting Narrowmoor 1, 2, 3, and 4 Additions in the 1940's and 1950's. He placed covenants on the

land to ensure a cohesive neighborhood; views being paramount and the principal feature. Lots and streets were laid out to take advantage of the view, and Narrowmoor developed as such. More recently there has been concern about remodels, reconstruction, and tear downs with new homes being built. Current day protections are needed to maintain the neighborhood character and the views. Mr. Anderson left a neighborhood legacy and that needs preservation and protection.

A summary of the comments received on Questionnaire was provided. 50 written comments were received and 49 appeared to favor establishing a Conservation District to preserve the character of the Narrowmoor neighborhood. The main comments were about views being blocked or impaired by new construction, trees, and vegetation. Also mentioned as problems and concerns were: style and size of new construction, building footprints, invasive plant materials, rocks as landscaping, large "McMansions", unattended yards with blackberry bushes, and other similar concerns. Splitting properties into more than one lot was also considered to be an issue. The character and feel of the neighborhood was important to keep, and property values need to be maintained.

There were several questions and comments made by persons in attendance. Some property owners present were along Jackson Avenue, some were on Sunset Street, and some were on No. Karl Johan; most were from throughout Narrowmoor. Much of the comments made at the meeting were similar to the comments received on the questionnaire, but there were additional questions about process, time length involved, and other related matters. One person was in favor of lowering to 20 ft., the building height allowed in the existing View Overlay zoning district and let existing covenants do the job, not a Conservation District. Another person stated that he was not in favor. The large majority of those in attendance were in favor of the idea, and moving forward with a Conservation District for the neighborhood.

The request for some funding had been made and some have been received; additional monies are needed. The funds are to be used for printing, mailing, and technical/professional assistance from Baseline Engineering. This help is needed principally through the application preparation and city processes. Most of the effort is from volunteer neighborhood property owners, which is anticipated to continue.

It was announced that all information received, including this public meeting input, would be reviewed and discussed by the WSNC Conservation Committee, and the WSNC Board. A draft of proposed neighborhood protections would be prepared and sent to the property owners. Another public meeting, to be announced, would be held to further obtain property owner comments and concerns prior to proceeding to the actual application phase.

Meeting adjourned at 8:30 PM.

Minutes Approved by:  
WEST SLOPE NEIGHBORHOOD COALITION BOARD

**APPENDIX 5 to ANNEX B**

**WSNC Public Mailing #3**



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**WEST SLOPE  
NEIGHBORHOOD  
COALITION**

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P.O. Box 64321 • Tacoma, WA 98464-0321

Mike & Nancy Fleming

1520 S Fairview Dr.

Tacoma WA 98465-1314

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November 1, 2012

Mailing Packet #3



# WEST SLOPE NEIGHBORHOOD COALITION

P.O. Box 64321 Tacoma, WA 98464-0321

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## WSNC BOARD – 2012

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Ron Talcott ron@talcott.org  
564-9779 1320 S. Sunset Drive

### CONTRIBUTING WSNC MEMBER

#### Newsletter & Website

Nancy Draper nancyd@harbormet.com  
460-5612 1306 S. Mt. View Ave.

November 1, 2012

**Subject:** Proposed Protections for Narrowmoor  
Conservation District

Dear Narrowmoor Neighbor,

As you know, the City of Tacoma recently adopted the concept of "stand-alone" conservation districts to give neighborhoods the opportunity to tailor protections for their area. The WSNC is now pursuing a *Narrowmoor Conservation District* as a means to preserve the special character of our view neighborhood.

We started with the original covenants put into place by the developer to ensure every resident would be afforded a view of Puget Sound and the Olympic Mountains. Then, after considering the comments received from our neighbors, we developed *proposed protections* to address the primary concerns of residential height, tall-growing trees, and other key aspects of the neighborhood character.

A "Chart of Covenants and Proposed Protections" is enclosed, with further explanation on the reverse of this letter. These draft protections will be the basis for further discussion at our next public meeting, to take place at the new Geiger Montessori School on Wednesday, November 14<sup>th</sup>, at 7:00pm.

If you can't attend, but want to provide any comments or suggestions, please mail them to the WSNC post office address above, Attention: Conservation Project Team.

Thank you for your continued support of this important effort for our neighborhood.

Sincerely,

David Zurfluh  
Co-Chair

Dean Wilson  
Co-Chair

Enclosure

# CHART OF COVENANTS AND PROPOSED PROTECTIONS FOR NARROWMOOR CONSERVATION DISTRICT

(See back of cover letter for an explanation of columns, below.)

Existing Covenants Applicable to Narrowmoor Additions	Residents' Comments	Intentions and Proposed Protections
<p><b>COMMON TO ALL ADDITIONS (1<sup>ST</sup>, 2<sup>ND</sup>, 3<sup>RD</sup>, &amp; 4<sup>TH</sup>)</b>                      One single family dwelling to not exceed two stories in height.</p> <p><i>Historical Note:</i>                      When Covenants went into effect day light basements were considered a "story" as evidenced by homes built with a maximum of 2 levels and an average height of 18 feet.</p> <p><i>View Sensitive Regulations set height limits to 25 ft.</i></p>	<p><b>Building Heights</b></p> <ul style="list-style-type: none"> <li>Do not allow increase in existing home height.</li> <li>Preserve existing footprints &amp; heights and encourage remodeling instead of demolishing to preserve views.</li> <li>Maintain house heights at existing "average" levels, i.e., a remodel can not be higher than the average of say 3 to 5 adjacent houses.</li> <li>Every block and lot was designed like a puzzle to allow each house the best possible view. 1 to 2 feet makes a big difference on most blocks.</li> <li>Limit the heights of remodels to no higher than original house; views of the Narrows were lost due to rebuilds being several feet higher.</li> <li>City's View Sensitive Overlay Zone doesn't provide adequate protection for this area where average height of homes is only 18 feet.</li> <li>If someone wants to remodel a house that has no bearing on anybody else's view then I would be in favor of letting them.</li> </ul>	<p><b>THE INTENT IS VIEW PRESERVATION AND PROTECTION</b>                      Marine, Narrows Bridge, and mountain views in Narrowmoor are high priorities and obstruction of existing views need paramount protection and enforcement, whether it be for new homes, remodels, additions, and/or reconstructions, in order to maintain views and neighborhood character.</p> <p><b>PROTECTIONS</b>                      Building heights in the Narrowmoor Additions shall be restricted to no taller in height than the existing ridge(s) and/or roofline(s) for reconstruction, remodels, and additions. New construction shall be no higher than the average adjacent properties roof lines. Exceptions to the height limit may be possible through the city's stringent variance application process.</p>
<p><b>Common to 1st, 2<sup>nd</sup> and 3<sup>rd</sup> Additions</b>                      Except as otherwise therein specifically stated, no structure shall be erected, placed or permitted to remain on any residential building plot other than one detached single-family dwelling and a private garage.</p> <p><b>Unique to 1<sup>st</sup> Addition (Mar 1944)</b>                      No residential structure shall be erected or placed on any building plot which is less than 9,000 square feet, or a width of less than 60'.</p> <p><b>NO REFERENCE TO MINIMUM PLOT SIZES: 2<sup>ND</sup>, 3<sup>RD</sup> OR 4<sup>TH</sup> Unique to 3<sup>rd</sup> Addition</b>                      All construction in Block No's 2, 3, 4, 8, 9, 10 and 14 shall be limited to one residential dwelling &amp; a private family garage upon each lot.</p>	<p><b>Subdividing</b></p> <ul style="list-style-type: none"> <li>Maintain lot size and existing separation between houses.</li> <li>Lot size (no subdivision)</li> <li>Keeping lots from being short platted or subdivided</li> <li>View preservation is most important. Then next is no subdivision of lots.</li> <li>View protection and not allowing the subdivision of lots.</li> <li>Preserve the large street to street lots.</li> </ul>	<p><b>THE INTENT IS TO PRESERVE LARGE LOT SIZES</b>                      Narrowmoor was platted and originally developed to maximize the views, by having large lots street to street, terraced down and parallel to the view. These neighborhood characteristics and lot sizes are to be preserved, and are a high priority.</p> <p><b>PROTECTIONS</b>                      No subdivisions of parcels/lots in Narrowmoor shall be allowed, including individual existing lot Assessor Segregations, short plats or re-plats.</p>

**Existing Covenants Applicable to Narrowmoor Additions**

**Residents' Comments**

**Intentions and Proposed Protections**

**Streetscape/Landscaping**

COMMON TO ALL ADDITIONS (1<sup>ST</sup>, 2<sup>ND</sup>, 3<sup>RD</sup>, & 4<sup>TH</sup>)  
 Nor shall anything be done thereon which may be or become an annoyance or nuisance to the neighborhood.

- Maintenance requirements for vegetation of some sort (including lawn) on street right of way (i.e. area between curb and property line)
- Unattended yards with blackberry bushes extending onto roads.
- Maintenance of yards/landscaping, i.e., lawns mowed and weeds pulled in and around residences.
- I would support some type of mandatory yard maintenance requirements such as clean it up or pay with a levy.
- We are very unhappy with our neighbors failing to maintain their yards street to street.
- That there be requirements for vegetation of some sort (including lawn) on street right of way, i.e., area between curb and property line, fully realizing xeriscape is becoming increasingly popular.
- Please mow your lawn, bring in your garbage cans from the street, etc.
- Inappropriate dumping of yard waste between street and fences or hedges; misc. dumping.

THE INTENT IS TO MAINTAIN A PLEASING, LOW-DENSITY URBAN CHARACTER FOR THE NEIGHBORHOOD  
 Neighborhood characteristics and compatibility/consistency is important to the original development concept, including streetscape and visual amenities. These principles need to be maintained, preserved, and fostered. It is intended to minimize impacts between neighbors, allowing open space for recreational activity and enhancing pedestrian enjoyment /activity, together with including landscaping and vegetation, without obstructing views.

**PROTECTIONS**

Vegetation, low lying landscaping, hedging, and other native low lying plant materials, including lawn and small scale features are preferred instead of rocks and gravel, and the like. Invasive plant materials are prohibited by city code.

COMMON TO MOST ADDITIONS (1<sup>ST</sup>, 2<sup>ND</sup>, 3<sup>RD</sup>, & 4<sup>TH</sup>)  
 Ground floor of the main structure, exclusive of one story open porches and garages, shall not be less than 1100 square feet for one story structures, nor less than 980 square feet for 1 ½ or 2 story structures

- Homes that are appropriately sized for lots.
  - Prohibit Mc Mansions in our neighborhood.
- Note: No minimum or maximum sizes were identified by residents attending neighborhood public meetings, or in responses to questionnaire mailed to all Narrowmoor homeowners.*

THE INTENT IS TO MAINTAIN EXISTING DEVELOPMENT PATTERNS  
 Narrowmoor was planned and developed with low profile, horizontal type homes/aspects having mostly low pitched roofs and some very limited flat roofs, with exterior wall variations and asymmetry. These neighborhood characteristics and development patterns should be retained, and promoted as much as possible and feasible.

**PROTECTIONS** – None proposed.

**Structures**

**Existing Covenants Applicable to Narrowmoor Additions**

Residents' Comments	Intent and Proposed Protections
<b>Building Schedules</b>	
<p><u>COMMON TO ALL ADDITIONS (1<sup>ST</sup>, 2<sup>ND</sup>, 3<sup>RD</sup>, &amp; 4<sup>TH</sup>)</u>                      All structures or dwellings will have completed exteriors including finished painting within 6 months from date of commencement of construction or remodel.</p>	<p><u>THE INTENT IS TO MAINTAIN NEIGHBORHOOD TRANQUILITY</u>                      Construction, reconstruction, additions and exterior remodels are anticipated over time. Since Narrowmoor is essentially a built neighborhood, it is important that projects affecting residents and the neighborhood do not linger and extend over a long period of time.</p> <p><u>PROTECTIONS</u> – None proposed</p>

<b>Signage &amp; Commercial Activity</b>	
<p><u>Common to 1st, 2nd and 4th Additions</u>                      No bill boards or other commercial advertising signs or displays.</p> <p>No noxious or offensive trade or activity shall be carried on upon any lot nor shall anything be done thereon which may be or become an annoyance or nuisance to the neighborhood.</p>	<p>There were no comments made.</p> <p><u>THE INTENT IS TO MAINTAIN THE EXISTING NEIGHBORHOOD CHARACTER</u>                      Narrowmoor is a single family residential community having an individual long established neighborhood character devoid of any type of signage.</p> <p><u>PROTECTIONS</u> – None proposed.                      Prohibition of commercial signs are covered in city code</p>

<b>Livestock &amp; Pets</b>	
<p><u>COMMON TO ALL ADDITIONS (1<sup>ST</sup>, 2<sup>ND</sup>, 3<sup>RD</sup>, &amp; 4<sup>TH</sup>)</u>                      No swine, goats, cattle or horses, poultry, rabbits or any species of livestock shall be kept or maintained on any lot for commercial purpose or otherwise. This does not include household pets. Poultry and rabbits may be kept for private use.</p>	<p>No farm animals, chicken coops, etc. Animal control would be a plus.</p> <p><u>THE INTENT IS MAINTAIN A SUBURBAN RESIDENTIAL NEIGHBORHOOD CHARACTER</u>                      Narrowmoor is a single family residential community having an individual long established neighborhood character that is not rural in any way, and should remain as such.</p> <p><u>PROTECTIONS</u> – None proposed                      Regulations governing animals and fowl are covered in city code.</p>

**CALENDAR REMINDER: Public Meeting on Narrowmoor Conservation District:  
Wednesday, Nov. 14th, 7:00 PM, Geiger Montessori School, 7401 S. 8<sup>th</sup> Street\***

Please join us for discussion of the *proposed protections* for the views and character of Narrowmoor that will become the basis for our application to the city.

\*Come through main entry and follow hallway, then left and enter the Multi-purpose/Lunch Room on the right. Coffee and cookies will be available. Limited parking is available at the entrance. Overflow parking is available only on the street.

**APPENDIX 6 to ANNEX B**

**Summary of Minutes of Public Meeting**  
(Nov. 14, 2012)

**Summary of Discussions\***  
**Narrowmoor Conservation District**  
**Public Meeting #2**  
**11/14/2012**

- 1) Dean Wilson, WSNC Co-Chair, gave a brief presentation outlining the purpose of the proposed Conservation District and the intent of the proposed protections. He also explained the charts that were handed out, listing the original covenants, the comments received from a previous survey, and the proposed protections as developed by the conservation district project committee.
- 2) The question was asked, "How would the protections be enforced?" Joe Quilici explained that they would be enforced by the city either through the normal review and permitting processes or in response to a neighbor's complaint.
- 3) The question was asked, "Why not just codify the existing covenants?" There was extended discussion on this, and Mr. Wilson explained that in some cases the covenants were inconsistent across the four additions of Narrowmoor, some were out of date or not applicable because of current city code that addressed the issue (e.g., building setbacks). Another example was the inadequate 25' height restriction in Narrowmoor even though it was designated a view sensitive area. He also explained that many covenants became unenforceable due to precedents set where no action was taken on a violation.
- 4) An audience member asked if the tall trees growing east of Fairview would have to be cut down. Mr. Wilson explained that that would remain to be seen, i.e., depending on the final proposed protections and if the city saw fit to grandfather such cases or not.
- 5) An audience member asked about the calculation of allowable building height. Mike Fleming explained that the proposal is to limit remodeled building height the current structure's height, and in the case of new construction, to use the average of adjacent building heights as a standard. So long as the height did not significantly impact the view of upslope neighbors, a person could still seek a variance.
- 6) A question regarding subdividing was responded to by Mike Fleming who explained the intent was to maintain the original size of lots as envisioned by the developer, Mr. Anderson.
- 7) There was extensive discussion regarding the possibility of restricting the parking of RV's, boats, or other large vehicles, and/or imposing a requirement to screen them from the street. It was clear from the audience discussion that no one favored "neighborhood association" types of restrictions and that outbuildings, to include RV sheds, should comply with the other, proposed height restrictions and applicable city code.
- 8) A gentleman who said he was a land use attorney cited several portions of the Tacoma Municipal code claiming that the WSNC conservation district would have to comply with Historic District standards. Mr. Wilson said the WSNC would check that further, but believed the proposal would be in accordance with the new city requirements.

\*Extracted from an audio recording and notes prepared by Ted Turner, 11/14/12.

## **ANNEX C**

### **Survey of Narrowmoor Addition 4**

# BASELINE ENGINEERING, INCORPORATED

*Land Development Professional Services*

September 26, 2012

Mr. Reuben McKnight  
Historic Preservation Officer  
Community & Economic Development Department  
747 Market Street  
Tacoma, WA 98402

West Slope Neighborhood  
Narrowmoor 4 Addition

Dear Mr. McKnight:

The purpose of this letter is to provide the necessary documentation related to our Conservation District Application and the inclusion of the Narrowmoor 4 Addition in that overall effort. Below you will find the Background, West Slope Neighborhood Coalition (WSNC) Survey Process and Findings, as well as Conclusions of the documented development pattern of Narrowmoor 4. All four Narrowmoor Additions are shown on the attached map. Also included is a plat map of Narrowmoor 4 showing all properties.

## Background

The Narrowmoor area is a large single family residential area located in the West End of Tacoma and contains a preponderance of mid-century homes having a distinct community character. Views and community character are a central aspect of this overall neighborhood area. Because of these important and prevalent features, the properties were platted with this in mind. Development began in 1944, and continued forward with the majority being constructed in the late 1940's and 1950's. Strict land use controls were placed via privately drafted and recorded Restrictive Covenants. It was the intent that each recorded subdivision insured a residential community with long lasting character having defining features and qualities.

In 2007 the West Slope Neighborhood Coalition, a long standing recognized community organization, requested that the City conduct a study of the Narrowmoor area. As part of the City's historic survey efforts, the Painter Preservation & Planning firm was engaged to prepare the Tacoma West Slope Historic District Development Project: Historic Resource Study (Painter Study). A comprehensive assessment and evaluation was completed and accepted by the City, January 2010. The study focused on Subdivision design, Architectural Design, Historic Qualities and Neighborhood Integrity. The Painter Study recommended that Narrowmoor 1, 2, and 3 Additions explore the option of a Conservation District in conjunction with the City's preservation and regulatory efforts underway at that time. Narrowmoor 4 was not reviewed in depth by the Painter Study. The West Slope Neighborhood Coalition and Baseline Engineering later preformed an assessment concluding that most of Narrowmoor 4 should be part of the proposed Conservation District (see also letter dated February 24, 2012 to Peter Huffman and others).

### Survey Process and Findings

The City of Tacoma, in 2011, modified its Comprehensive Plan and regulatory code by including policy and zoning regulations concerning Conservation Districts. This was utilized as the foundation for Narrowmoor 4 survey methods, process, and evaluation.

A survey of Narrowmoor 4 was conducted in 2012 using a prescribed format. Each property was reviewed, significance and character evaluation was done, and findings were prepared. The attached Site Assessment Form was utilized and completed for each property, a photograph was included; detailed findings are shown on the attached May 22, 2012 Assessment Summary. It was found that for the greater part of the properties, there is a long established existing character and development pattern consistent with the overall Narrowmoor area discussed in the Painter Study. The general appearance and character of the area studied and defined below is essentially the same as Narrowmoor 1, 2, and 3 Additions. Please refer to the attached map entitled "Proposed Narrowmoor 4 addition to the Conservation District Boundary". It is to be noted that a distinct portion of properties in Narrowmoor 4 did not reflect the character and time period, and are not proposed to be included; namely, six properties along Jackson Ave, and several properties west of North Karl Johan Ave.

### **Narrowmoor 4<sup>th</sup> Addition Boundary**

#### **To be Included in the Narrowmoor Conservation District**

*Those Narrowmoor 4 properties east of North Karl Johan and north of 6<sup>th</sup> Ave.,  
Except the six properties north of 6<sup>th</sup> Ave. between North Fairview Ave. and Jackson Ave.*

### Conclusions

Having worked closely with the WSNC, and as a qualified and experienced urban planning consultant, it is my professional opinion and conclusion that the process, content, evaluation, and recommendations clearly support the above findings. Therefore the above identified Narrowmoor 4 properties should be included with Narrowmoor 1, 2, and 3 Additions in the Conservation District Application.

If you would like any further information, please contact me. Thank you.

Attachments: (6)

cc: Peter Huffman, Assistant Director

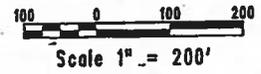
  
Kevin Foley, AICP

**BASELINE Engineering, Inc.**  
1910 - 64th Ave. West  
Fircrest, WA 98466  
Office: 253.565.4491 Fax: 253.565.8563  
Cell: 253.377.7486  
[kfoley@baselinetacoma.com](mailto:kfoley@baselinetacoma.com)  
[www.baselinetacoma.com](http://www.baselinetacoma.com)

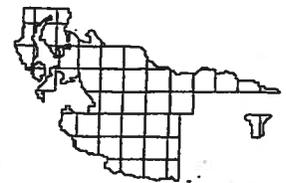
# NARROWMOOR 4 PLAT

Showing all properties in Plat

NW03-T20N-R02E



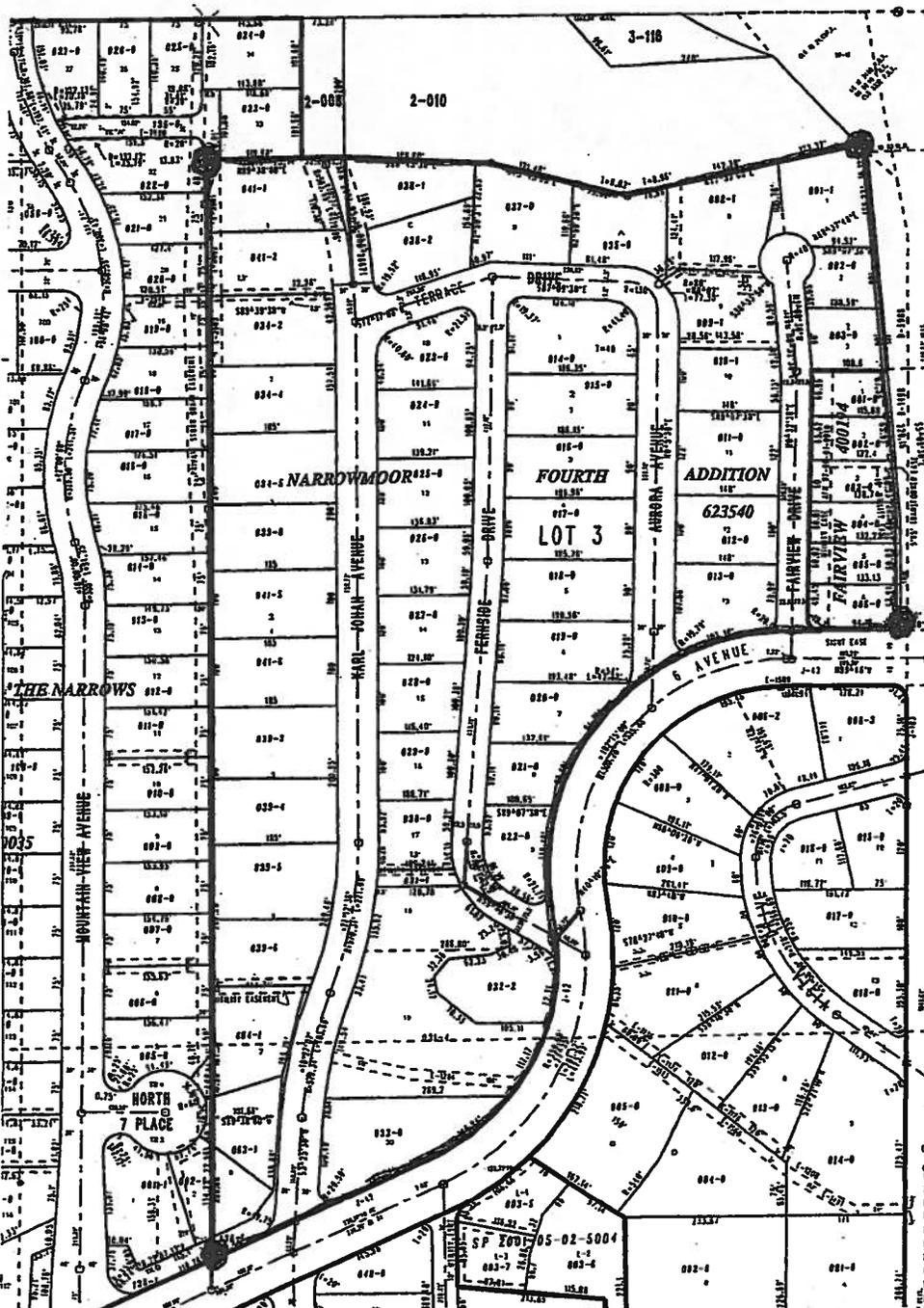
SE03-21-02	S031-21-02	SE31-21-02
NE01-20-02	NE03-20-02	NE21-20-02
SE01-20-02	S003-20-02	SE03-20-02



DATE OF MAP PRODUCTION: 08/03/10  
02-20-03-2

Public Services Building  
2401 S. 35th Street, Room 142  
Tacoma, Washington 98408

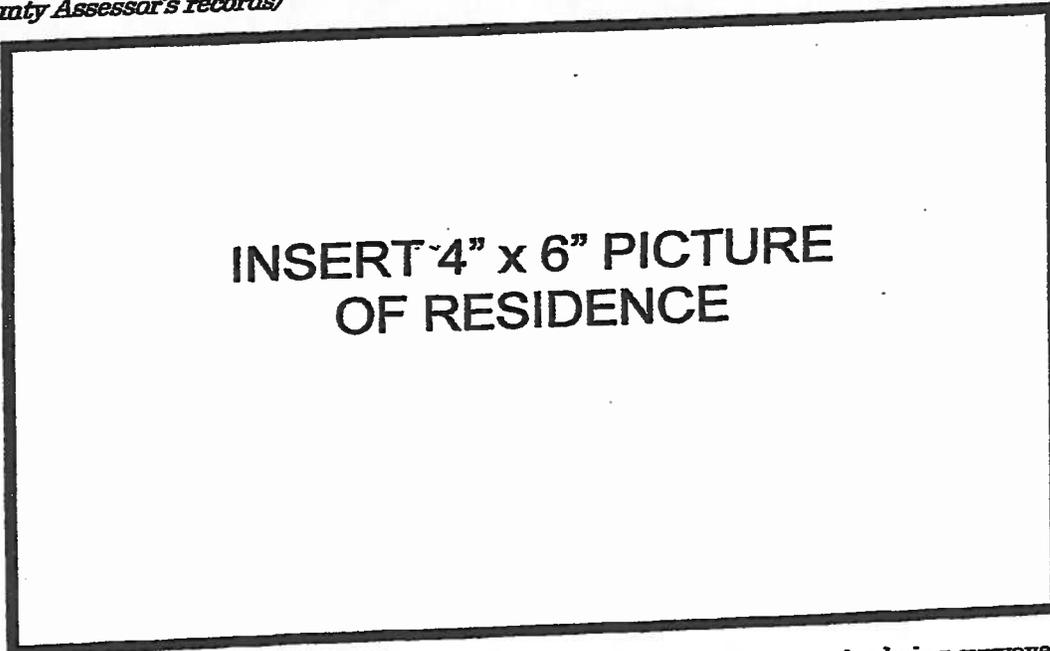
Washington State Plane Feet, South Zone, Datum: NAD83-91.



# SITE ASSESSMENT FORM

This is a survey form only and is intended to be used for information purposes concerning the establishment of a Conservation District for the Narrowmoor area; please refer to the Conservation District Criteria text on the reverse side for further details.

Parcel No.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Owner(s) of Record: \_\_\_\_\_  
 Building/Year Built: \_\_\_\_\_  
 (per Pierce County Assessor's records)



Below are characteristics or attributes of selected residential properties being surveyed to assist in determining if they potentially may be included in Narrowmoor Conservation District designation considerations.

- |    |   |   |
|----|---|---|
| 1. | Mid-century residential style? <i>(i.e. flat or low pitched roof, broad chimneys, etc.)</i> | <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Maybe |
| 2. | Building age generally 50 years before the present?   | <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Maybe |
| 3. | Part of prevailing, long standing architectural character?                                  | <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Maybe |
| 4. | Custom/individually designed home?  | <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Maybe |
| 5. | Large, sloping terraced through lot?  | <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Maybe |
| 6. | Lot/home has westerly marine and mountain view?   | <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Maybe |
| 7. | Lot access and building close to the front lot line?  | <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Maybe |
| 8. | Lot contains large, tall possibly view obstructing trees?                                   | <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Maybe |

Site Assessment completed (date) \_\_\_\_\_

By (name): \_\_\_\_\_

Additional Remarks:  Yes  No \_\_\_\_\_

*Additional remarks are to be noted on the reverse side of this sheet.*

North Fairview Drive			1: MC Style	2: Age (50)	2a: 1969 (PS)	2b: Built	3: P. Arch	4: Custom	5: T-Lot	6: W. View	7: Lot front	8: Trees
Addr.	Parcel	Owner										
602	6235400130	Victor Odey	Yes	58	Yes	1954	Yes	Yes	Yes	Yes	Yes	No
614	6235400120	Leonard and J. Wright	Yes	59	Yes	1953	Yes	Yes	Yes	Yes	Yes	No
622	6235400110	William Eddy	Yes	61	Yes	1951	Yes	Yes	Yes	Yes	Yes	Yes
630	6235400101	M. & F. Sekeramayi	Yes	44	Yes	1968	Yes	Yes	Yes	Yes	Yes	No
635	6235400030	Neil & Olga Smith	Yes	53	Yes	1959	Yes	Yes	Yes	M	Yes	No
636	6235400091	Ted Turner	Yes	56	Yes	1956	Yes	Yes	Yes	Yes	Yes	Yes
643	6235400020	Doris Bayha	Yes	44	Yes	1968	Yes	Yes	Yes	Yes	Yes	No
644	6235400081	Diane Sinding	Yes	54	Yes	1958	Yes	Yes	Yes	Yes	Yes	Yes
651	6235400011	Richard and M. Larson	Yes	56	Yes	1956	Yes	Yes	Yes	Yes	Yes	No
601	4001940060	James Pham & L. Hoang	No	10	No	2002	No	M	M	M	Yes	No
609	4001940050	Edward & P. Barloon	No	10	No	2002	No	M	M	M	Yes	No
615	4001940040	Meyerdirk Family Prop.	No	14	No	1998	No	No	No	M	Yes	No
619	4001940030	Roger Bergstrom	No	14	No	1998	No	No	M	M	Yes	No
623	4001940020	Thomas Tull	No	10	No	2002	No	M	No	M	Yes	No
629	4001940010	Tom & Delores Hayes	No	14	No	1998	No	M	Yes	M	Yes	No

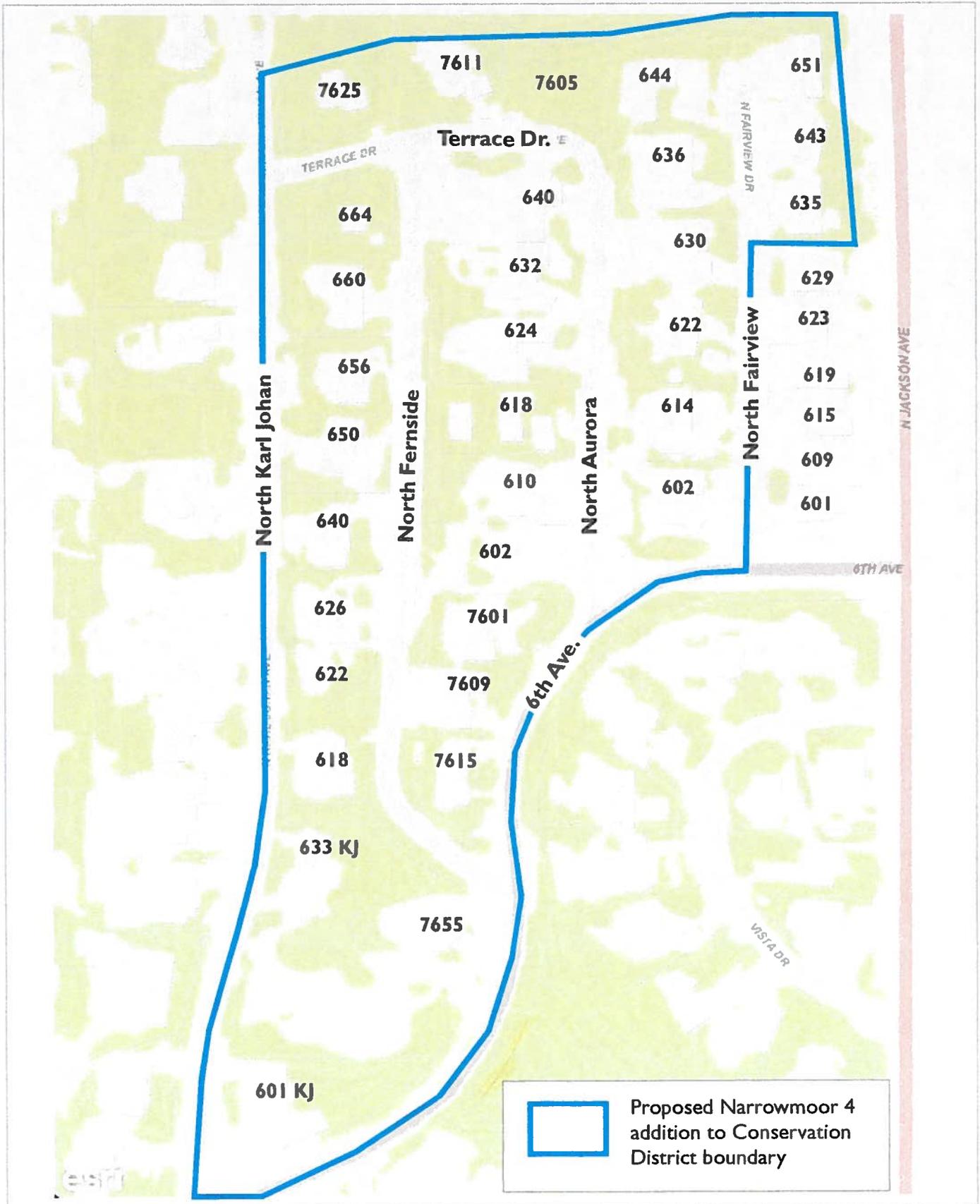
North Aurora Drive			1: MC Style	2: Age (50)	2a: 1969 (PS)	2b: Built	3: P. Arch	4: Custom	5: T-Lot	6: W. View	7: Lot front	8: Trees
Addr.	Parcel	Owner										
602	6235400190	Lissa Grannis	Vacant lot									
610	6235400180	Lynell Burmark	Yes	53	Yes	1959	Yes	Yes	Yes	Yes	Yes	No
618	6235400170	Eric & Nikki Zimmerman	Yes	53	Yes	1959	Yes	Yes	Yes	Yes	Yes	M
624	6235400160	Jeffrey Okey & P. Franke	Yes	53	Yes	1959	Yes	Yes	Yes	Yes	Yes	M
632	6235400150	Tobias Benton	Yes	57	Yes	1955	Yes	Yes	Yes	Yes	Yes	No
640	6235400140	Ethel Victor	Yes	54	Yes	1958	Yes	Yes	Yes	Yes	Yes	Yes

North Fernside Drive			1: MC Style	2: Age (50)	2a: 1969 (PS)	2b: Built	3: P. Arch	4: Custom	5: T-Lot	6: W. View	7: Lot front	8: Trees
Addr.	Parcel	Owner										
618	6235400300	Joseph Willhoft	Yes	61	Yes	1951	Yes	Yes	Yes	Yes	Yes	Yes
622	6235400290	William Parker & Janet	Vacant lot									
626	6235400290	William Parker	No	35	No	1977	M	Yes	Yes	Yes	Yes	Yes
640	6235400270	Edward Fitzgerald & D M	Yes	51	Yes	1961	Yes	Yes	Yes	Yes	Yes	Yes
650	6235400260	Christopher Keay	Yes	47	Yes	1965	Yes	Yes	Yes	Yes	Yes	Yes
656	6235400250	Lois Donion	Yes	52	Yes	1960	Yes	Yes	Yes	Yes	Yes	Yes
660	6235400240	S. McDougall & B. Salvador	M	45	Yes	1967	M	Yes	Yes	Yes	M	Yes
664	6235400230	James McGowan	No	34	No	1978	No	Yes	Yes	Yes	Yes	M

Terrace Drive			1: MC Style	2: Age (50)	2a: 1969 (PS)	2b: Built	3: P. Arch	4: Custom	5: T-Lot	6: W. View	7: Lot front	8: Trees
Addr.	Parcel	Owner										
7605	6235400350	Diane Sinding	Vacant lot									
7611	6235400370	Mary Johnston	Yes	50	Yes	1962	Yes	Yes	Yes	Yes	Yes	Yes
7611	2000201806	Harold Johnston Offices	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
7625	6235400382	Robert & Celine Stacy	No	34	No	1978	No	Yes	Yes	Yes	Yes	Yes

6th Ave			1: MC Style	2: Age (50)	2a: 1969 (PS)	2b: Built	3: P. Arch	4: Custom	5: T-Lot	6: W. View	7: Lot front	8: Trees
Addr.	Parcel	Owner										
7601	6235400200	Gregory Youtz	Yes	53	Yes	1959	Yes	Yes	Yes	Yes	Yes	M
7609	6235400210	Stephen Schilt	No	37	No	1975	No	Yes	Yes	Yes	Yes	Yes
7615	6235400220	Marcia Eccles-Cramer	Yes	52	Yes	1960	Yes	Yes	Yes	Yes	Yes	Yes
7655	6235400322	Helen Cofchin	Yes	57	Yes	1955	Yes	Yes	Yes	Yes	Yes	Yes

North Karl Johan Drive			1: MC Style	2: Age (50)	2a: 1969 (P5)	2b: Built	3: P. Arch	4: Custom	5: T-Lot	6: W. View	7: Lot front	8: Trees
Add.	Parcel	Owner										
601	6235400330	Richard & Cassandra Trask	No	7	No	2005	No	Yes	Yes	Yes	Yes	Yes
633	6235400314	Michael & Sally Cofchin	No	61	No	1951	Yes	Yes	Yes	Yes	Yes	Yes



Narrowmoor 4 addresses. lot boundaries, topography, and building siting

# BASELINE ENGINEERING, INCORPORATED

*Land Development Professional Services*

February 24, 2012

Peter Huffman, Assistant Director  
Community and Economic Development Department  
747 Market Street  
Tacoma, Washington 98402

Re: Narrowmoor Conservation District  
**BASELINE** Job No. 12-005

Peter:

A committee of the West Slope Neighborhood Coalition has met on a number of occasions since last October for the purpose of proposing a Conservation District for a selected area of the West Slope neighborhood. Naturally, one of our first tasks is to determine a logical boundary consistent with the designation criteria in Chapter 13.07 and the West Slope Historic Resource Survey Report (hereinafter 'Report').

Our effort to date has resulted in the boundary shown on the attached map. This map depicts a potential boundary that includes a majority of Narrowmoor Plat 1, all of 2, 3 and a majority of 4. Our question involves Narrowmoor Plat 4. It does not appear that the Report provides any criteria support to include Narrowmoor 4 in any Conservation District effort. The Report merely mentions Narrowmoor 4's location as "north of Sixth Avenue" (see first paragraph, page 25). While there might be some areas of Narrowmoor 4 that should **not** be included in the District, it appears that a good majority could, as it potentially displays characteristics consistent with the, 'Reports', common findings on Narrowmoor 1, 2 and 3, namely;

1. planned subdivision (unique design)
2. similar density (large lots)
3. distinct architectural styles/custom homes
4. protective covenants/design guidelines
5. terraced/sloping lots for permanent view protection
6. low profile/terraced homes

We would request your direction/comment on the inclusion of Narrowmoor 4 into the Conservation District at your earliest convenience. Certainly your comments on the proposed overall boundaries would be appreciated as well. It may require, as we've discussed recently, to request clarification of this issue from the authors of the Report themselves, Painter Preservation and Planning

Any assistance we can provide please let us know. As always we appreciate your attention to this important issue. Your response will help clarify boundaries for the WSNC to communicate in their pending Notice to all Involved Property Owners.

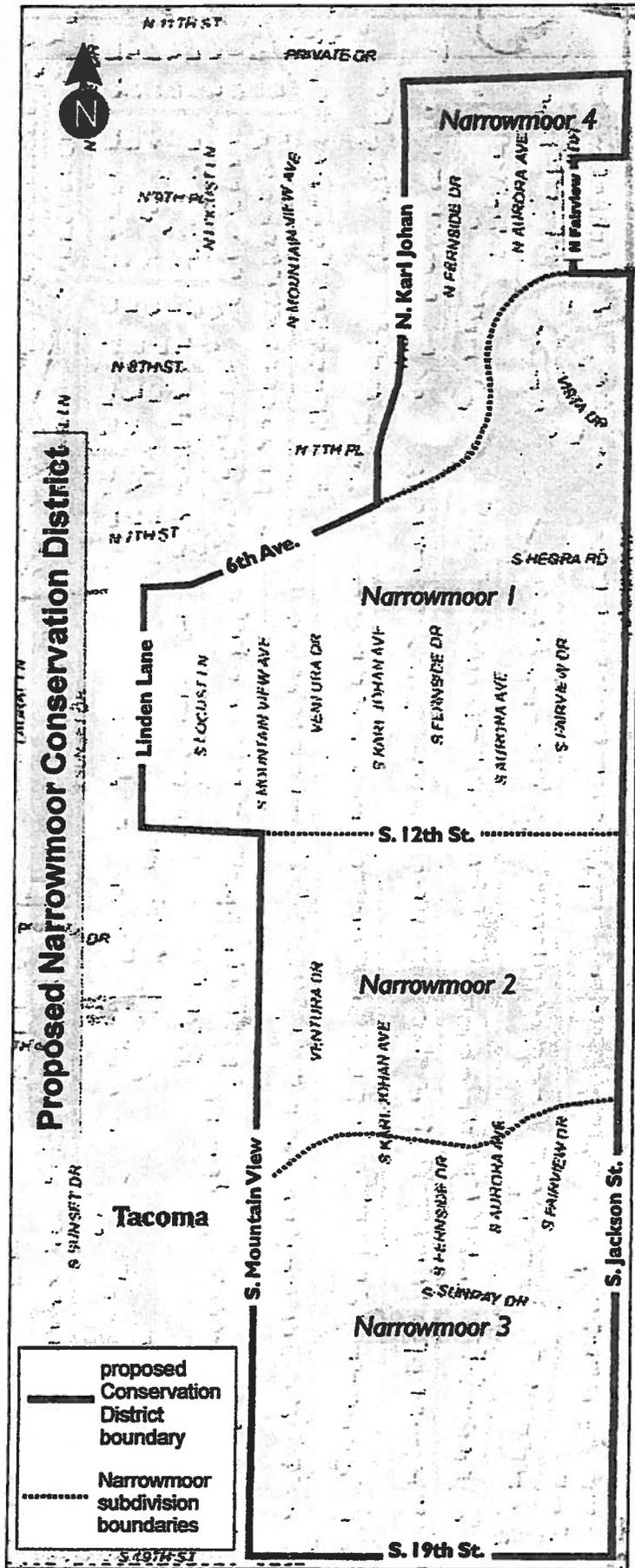
Respectfully,

  
Kevin Foley, AICP

CC: Mike Flemming  
Joe Quilici  
Reuben McKnight  
Brian Boudet

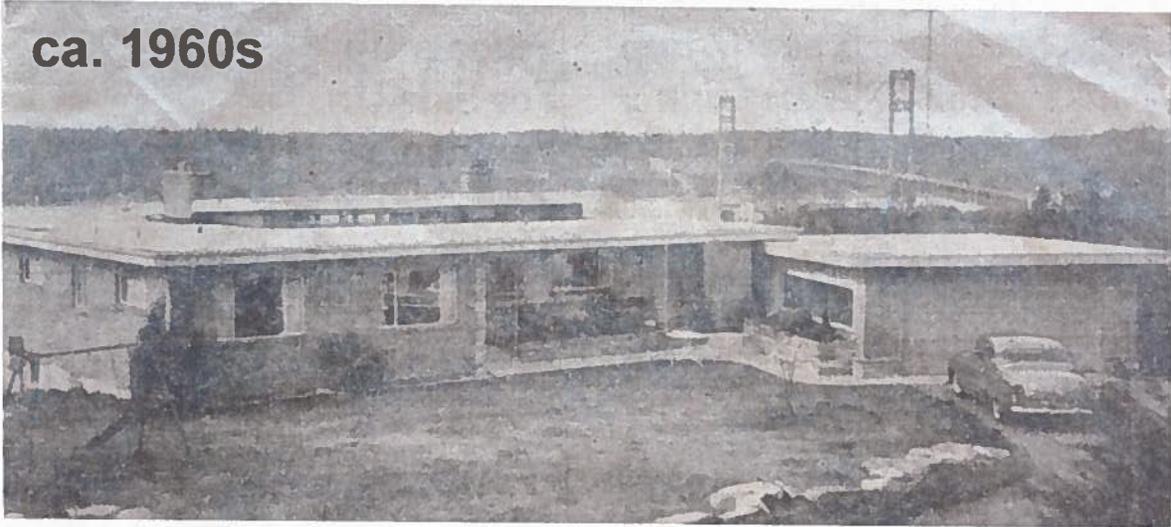
Land Planning & Use • Engineering • Surveying  
1910-64th Avenue West • Tacoma, WA 98466 • (253) 565-4491 • Fax (253) 565-8563 • Seattle (206) 824-1205

*"The industry starts here"*

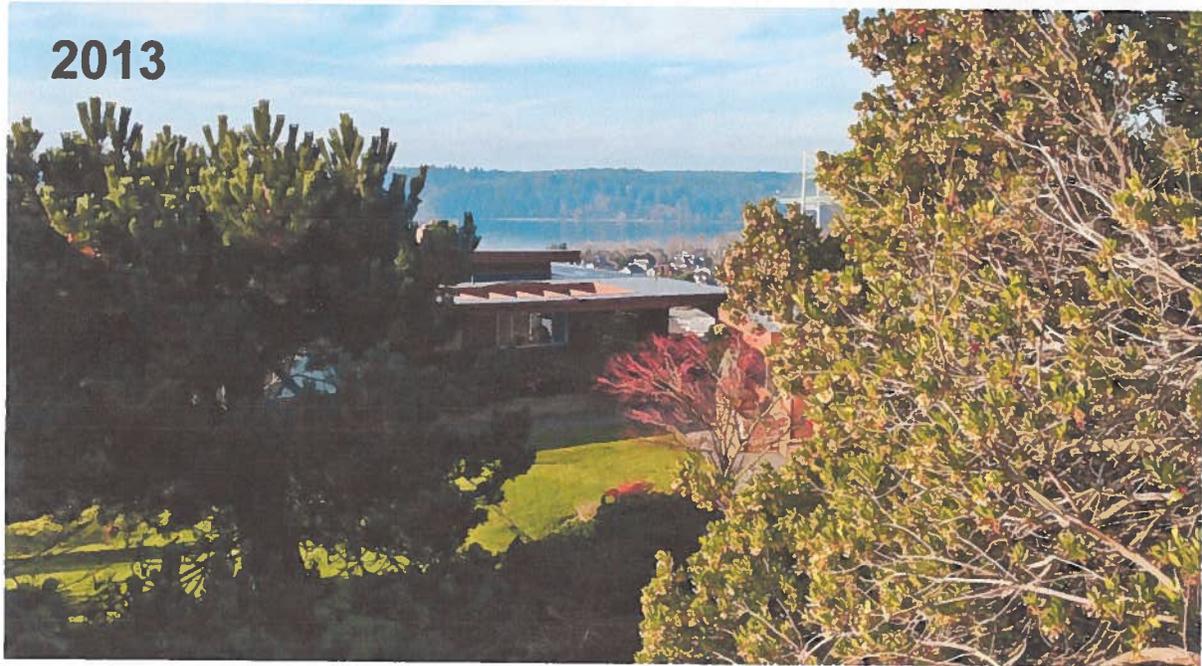


**7535 South Hegra (Narrowmoor 1)**

**ca. 1960s**

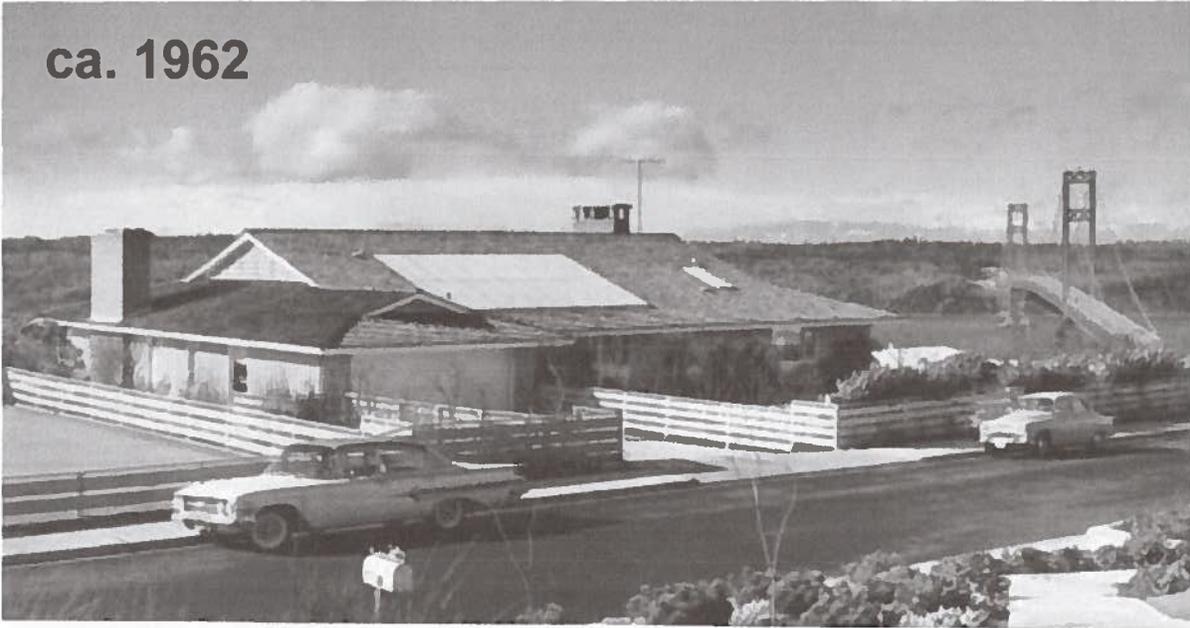


**2013**



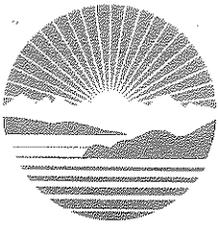
**636 North Fairview Drive (Narrowmoor 4)**

**ca. 1962**



**2012**





# WEST SLOPE NEIGHBORHOOD COALITION

P.O. Box 64321 Tacoma, WA 98464-0321

## WSNC BOARD

### Chairperson

David Zurfluh 460-3372  
1253 Fernside Ave. So.

### Vice-Chair

Nancy Fleming 565-3698  
1520 S. Fairview Dr.

### Secretary

Nancy Brodigan 564-1299  
7244 So. 17th St.

### Treasurer & Disaster Emergency Coordinator

Mike Fleming 565-3698  
1520 S. Fairview Dr.

### Membership Chair

Anna McMahon 565-1780  
4643 67th Ave Ct. W

### Crime Watch Coordinator

Rex Lester 564-3359  
7429 Geiger Circle

### Newsletter Editor

Nancy Draper 460-5612  
1306 Mt. View Ave So.

## TRUSTEES (Area Reps)

### Narrowmoor 1 & 4

Benjamin Canales 223-5649  
1202 S. Aurora Ave.

### Narrowmoor 2

Nancy Draper 460-5612  
1306 S. Mt. View Ave.

### Narrowmoor 3

Marianne Russell 566-8711  
1746 S. Karl Johan

### Mt. Narrowmoor

Jerry Brodigan 564-1299  
7244 So. 17th St.

### Sunset Drive/Titlow

Dean Wilson 565-9539  
1401 Sunset Drive

### At-Large

Karen Vialle 564-4183  
952 Fairview Dr. So.

## Associate Members

The Narrows Development  
Rick Fuller 565-6961  
7910 North 11th Street

Renaissance at Narrows Glen  
Gordon Russ 752-5583  
8201 6th Avenue

Mayor William Baarsma

January 25, 2007

Members of the City Council  
747 Market Street, Suite 1200  
Tacoma, WA 98402-3766

Dear Mayor Baarsma and Council Members,

We, the West Slope Neighborhood Coalition (WSNC), request the City's assistance in initiating the process of establishing a West Slope Historic District. This process has grown from a grass roots effort, begun two years ago; culminating in a vote at our annual October full-membership meeting that we should pursue historic designation with the city as a "Mid-Century Architecture" neighborhood. We propose that this district cover the area known as "Narrowmoor", bordered by Geiger/Meyer Streets on the east, Sunset Drive on the west, 6<sup>th</sup> Avenue on the north, and 19<sup>th</sup> Street on the south. This area encompasses about 350 Homes. (Please see map, attached)

The history of this unique residential development provides a glimpse into one of the most vital periods of the twentieth century - the years immediately following the end of World War II. In a very real way, it was the war itself that brought together the individuals who created Narrowmoor, as well as providing the aesthetic, cultural, economic, and technological setting for its realization. It is a pioneering modernist style of architecture influenced by Frank Lloyd Wright and other prominent national and local architects that should be preserved. In the past two years at least 2 homes have been demolished, the resulting new construction is totally incompatible with the existing dominant architecture of the neighborhood. We are extremely concerned about losing the character of this unique neighborhood as development pressures continue to rise.

We respectfully request a resolution authorizing the City's Historic Preservation Officer to proceed with the initial Data collection and Research necessary to establish this for the benefit of the City of Tacoma.

Respectfully,

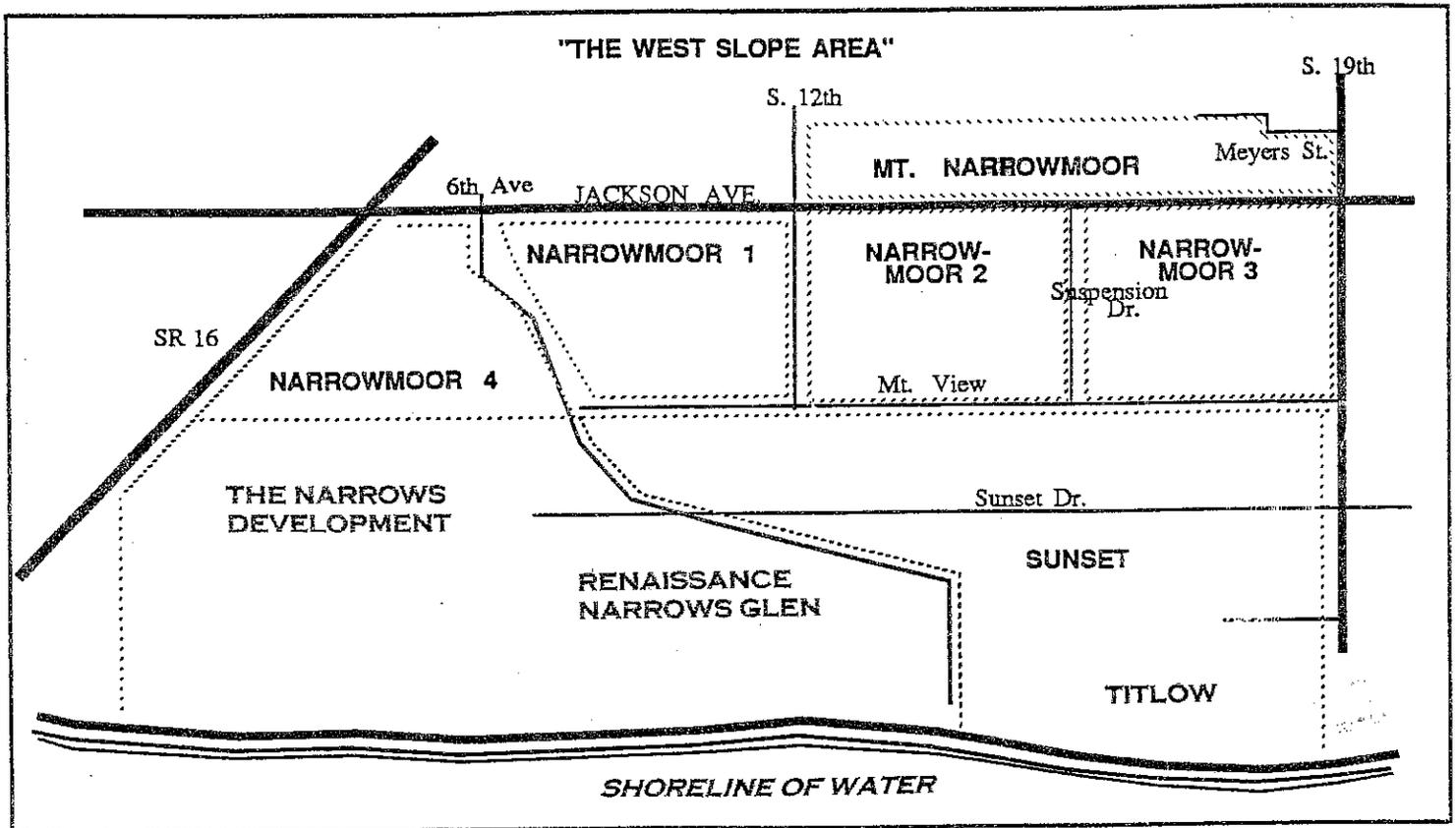
David Zurfluh  
Chairman, WSNC

encl: Map

RECEIVED

JAN 31 2007

The Mayor/Council Office





**Landmarks Preservation Commission**  
Planning and Development Services Department



747 Market Street ♦ Room 1036 ♦ Tacoma WA 98402-3793 ♦ 253.591.5220

**APPLICATION FOR DESIGN REVIEW**  
**COMMERCIAL AND MULTIFAMILY**

Please include ALL of the following information with your application. Insufficient application materials will result in a delay in processing of your application. If you have any question regarding application requirements, or regulations and standards for historic buildings and districts, please call the Historic Preservation Officer at 253.591.5220.

**PART 1: PROPERTY INFORMATION**

Building/Property Name	_____
Building/Property Address	<u>727 Commerce Str. Suite #200</u>
Landmark or Conservation District	<u>Theater District</u>
Applicant's Name	<u>Patricia Leay Davis</u>
Applicant's Address (if different than above)	<u>1121 Ct. JAA Tacoma, WA. 98402</u>
Applicant's Phone	<u>253.576.4006</u>
Applicant's Email	<u>dajmaker77@gmail.com</u>
Property Owner's Name (printed)	<u>FLT Properties Planner and Associates</u>
Property Owner's Address	<u>1142 Fawcett #101</u>
Property Owner's Signature	_____

\*Application must be signed by the property owner to be processed. By signing this application, owner confirms that the application has been reviewed and determined satisfactory by the owner.

<b>APPLICATION FEE</b>	
Please see the fee schedule on page 2.	
Estimated project cost:	<u>\$450 -</u>
Application fee enclosed (please make payable to City of Tacoma):	<u>\$17500</u>

The Landmarks Preservation Commission (LPC) is the designated review board to approve or deny proposed changes to designated historic buildings and districts. Review criteria are available at the Planning and Development Services Department (253) 591-5220 and on the city website. Information on standards and guidelines can be found in Tacoma Municipal Code 1.42 (Landmarks Preservation Commission) and 13.07 (Special Review Districts).

**PART 4: APPLICATION CHECKLIST** (For sign or awning applications, please go to PART 5).

**General Requirements**

- Twenty copies of the application and all supporting documents for distribution
- Property owner/manager consent

Check here to certify that you have contacted the Permit Counter to resolve any potential code or zoning issues with your project.

Check here to certify that there are NO PENDING APPLICATIONS FOR A VARIANCE related to this application. If there are any pending variances related to this application, you MUST notify the Historic Preservation Office.

**Narrative Description Checklist**

- General overview of project, including quantities and dimensions of elements such as signs (i.e. "one proposed 24 X 60" sign, with 12" extruded plastic letters, to be located on the south façade sign band...)  
*see diagram*
- LIST of features to be removed, replaced or added (if application includes removal or replacement of material)  
*nothing removed or replaced only sign added*
- Specification or product sheets for materials and finishes, if applicable  
*see diagram text*
- Program of work for large-scale or complex projects, if applicable (i.e. scope of work for masonry restoration and cleaning)  
*NA*

**Attachments**

Plans and graphics submitted for permitting may be used for Landmarks Review if materials, products and finishes are clearly indicated on the plans.

- Site plan/locational map INCLUDING adjacent buildings and streets (for any additions or new construction). Note that Building and Land Use Services also often requires a site plan for a Building Permit. See Information Sheet B1 Site Plans (available at the Permit Counter).
- MEASURED floor plans, CLEARLY identifying new and existing features (if applicable)
- MEASURED elevations, CLEARLY identifying new and existing features
- Details of method(s) of attachment for signs, awnings and canopies (if applicable)  
*see diagram text*
- COLOR photographs of existing conditions (digital is fine as long as it is clear)

**Other Requirements**

Material and hardware samples (in some cases specification or cut sheets may suffice)  
*see diagram text*

True color paint and/or finish samples, where required by ordinance  
*NA*

## Part 5: SPECIAL REQUIREMENTS FOR SIGNS AND AWNINGS

### Instructions for Signs and Awning Applicants

Please include the following with your application:

- Twenty copies of the application cover sheet and narrative description (pages 1 and 2 of this form)
- Twenty copies of supporting attachments
- Graphic rendering of proposed sign (to scale with dimensions indicated, and including any conduits)
- Photograph of existing building
- Details of attachment
- Single set of material samples (if necessary)

Please answer the following questions (if applicable):

1. Are there existing signs on the building?       No
2. If so, will they be removed or relocated?       —
3. Sign Material \_\_\_\_\_
4. Sign Dimensions \_\_\_\_\_
5. Logo or typeface and letter size       Gothic 2.5" tall Salon 3/4" tall
6. Lighting Specifications \_\_\_\_\_
7. Describe the method of attachment and underlying material \_\_\_\_\_



Lettering size -

Embellen 2.5" tall  
3/4" tall

part 3

**CATEGORIES**

- SIGN BRACKETS AND SUPPLIES**
  - > Sign Brackets
    - > Wall Mount Sign Brackets
    - > Pole Sign Brackets
    - > Street Sign Frames & Brackets
    - > Sign Hanging Hardware
      - Stainless Steel Chain
      - Sign Bracket Hanging Hardware
    - > Ceiling Mount Sign Brackets
  - > Banner Brackets
    - > Wall Mounted Banner Brackets
    - > Post Mount Banner Brackets
  - > Banner Bracket Hardware

# 40" TORINO ELITE HANGING BLADE SIGN BRACKET

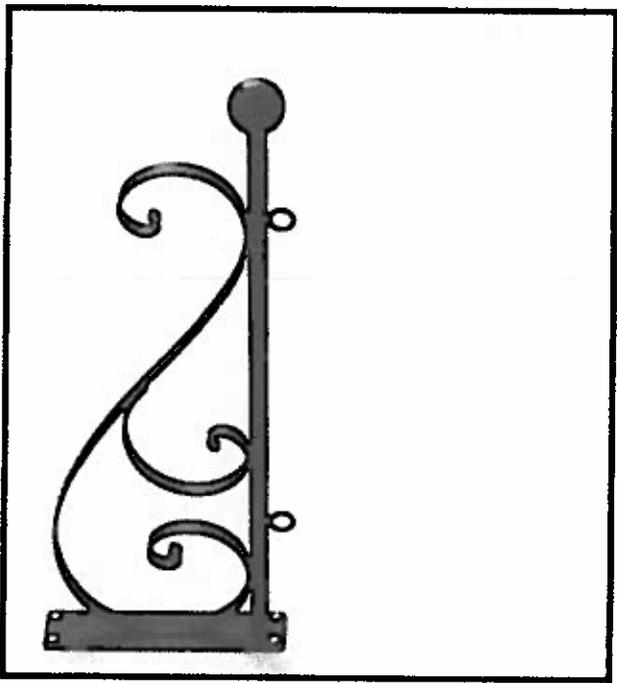
Email to a Friend  
 Be the first to review this product  
 SKU: 3708-40  
 Ships in: Usually ships in 2-3 business days.  
 Availability: In stock

## \$124.85

Quantity: 0



ADD TO WISHLIST



### QUICK OVERVIEW

Description: The 40" Torino Elite Hanging Blade Sign Bracket is with a 1" square tube steel shaft and a iron ball finial. Mounts to any flat post or wall with a heavy duty 3" back plate four mounting holes. Black Powder Coat Finish

More Views



- > Functional Brackets
  - > Wall Mount Functional Brackets
  - > Post Mount Functional Brackets
  - > Ceiling Mount Functional Hardware
  - > Interior Displays & Brackets
  - > Street Sign Functional Brackets
  - > Functional Sign Hardware
- > Blank and Display Signs
  - > PVC Sign Blanks
  - > Aluminum Sign Blanks
    - Oval Aluminum Sign Blanks

DESCRIPTION      ADDITIONAL

#### Additional Information

Availability: Usually ships in 2-3 business days.

Dimensions:  
 40" Arm  
 Overall Width: 40"  
 Suggested Sign Width: 26"-36"  
 Ring Centers: 22"





747 Market Street ♦ Room 1036 ♦ Tacoma WA 98402-3793 ♦ 253.591.5220

## APPLICATION FOR DESIGN REVIEW FOR SINGLE FAMILY RESIDENTIAL PROPERTIES

Please include ALL of the following information with your application. Insufficient application materials will result in a delay in processing of your application. If you have any question regarding application requirements, or regulations and standards for historic homes and neighborhoods, please call the Historic Preservation Officer at 253.591.5220.

### PART 1: APPLICANT INFORMATION

House Address 701 North J Street Landmark/Conservation District (if applicable) North Slope Historic Dist.

#### OWNER INFORMATION

Name (printed) Marshall McClintock & Geoff Corso Email marshalm@q.com

Address (if different than above) \_\_\_\_\_ Phone 523-627-4408

Homeowner's Signature\* Marshall W. McClintock + Geoff M. Corso

\*Application must be signed by the property owner to be processed.

#### CONTRACTOR INFORMATION

If application will be presented by a representative or contractor, please fill in the following:

Representative's Name Ron Hjelm & Tara Waits Company Phase II, Inc.

Address 8821 John Dower RD SW, Lakewood, WA

Email ron@phaseii.net or twaits1@hotmail.com Phone 253-584-0804

#### FOR OFFICE USE ONLY

PRELIMINARY PLAN CHECK

CHECKED FOR BUILDING CODE:\* \_\_\_\_\_

LAND USE/ZONING:  
VARIANCE REQUIRED? \_\_\_\_\_ CUP REQUIRED? \_\_\_\_\_

\*PRELIMINARY PLAN CHECK IS NOT AN APPROVAL OF A PROJECT. A SEPARATE PERMIT APPLICATION MAY BE REQUIRED.

#### APPLICATION FEE (please see page 2)

Estimated Project Cost, rounded to nearest \$1000 250,000.00

Application Fee Enclosed \$500.00

## PART 2: INFORMATION FOR APPLICANTS

### \*NEW\* FEE SCHEDULE

#### New Fee Schedule for 2013

On December 18, 2012 City Council approved a new general services fee schedule that includes new fees for design review and demolition review of historic buildings (Res. No. 38588). The new fees are as follows:

Estimated project cost (determined by applicant)	Application Fee
\$0 – 5000	\$175
Each additional \$1000	\$25
Maximum fee	\$500

#### PLEASE NOTE:

1. Fees are required only once per application.
2. If an application is denied by the Landmarks Commission, and a new application is submitted for the same project, new fees may apply.
3. Demolition fees are applied to cover the cost of public hearings, but may not be required for the removal of certain accessory structures.

### HOW TO USE THIS FORM

#### STEPS FOR APPLICANTS

1. **Review the Standards and Guidelines for Historic Buildings.** Many homeowners want to know whether their project will be approved by the Commission ahead of the meeting. The Landmarks Commission reviews projects according to design guidelines and the Secretary of the Interior's Guidelines for Rehabilitation. This information is available online at [www.tacomaculture.org](http://www.tacomaculture.org).
2. **Fill out this form in its ENTIRETY.**
3. **Find the correct checklist for your project, and submit the required supporting documentation.** Part 4 of this form outlines which checklist to use for your project. There are three checklists, but you only need to use one.
4. **Submit your application for preliminary review to the Permit Intake Center of Planning and Development Services. The Plans Reviewer will initial and date the cover sheet of this application.** This ensures your application meets applicable codes and will avoid delays down the road. Your application will NOT be processed without this step.
5. **Submit it to the Historic Preservation Office with the APPLICATION FEE.** The Landmarks Commission meets on the 2<sup>nd</sup> and 4<sup>th</sup> Wednesdays of each month, and applications are due to this office **TWO WEEKS** in advance. When your application has been scheduled for review, you will be notified.

#### WHERE TO GO:

Permit Intake Center  
City of Tacoma, Planning and Development  
Services Department  
747 Market Street, 3<sup>rd</sup> Floor  
253-591-5030

## **PART 3: PROJECT DESCRIPTION**

Please describe below the overall scope of work, including all proposed new construction, changes to existing buildings, and any elements to be removed and replaced.

### **I. Replicating the metal roof cresting**

This house originally had ribbed metal roof crests on both the main and addition roof peaks. Ambrose Russell's 1901 specification describes the cresting: "Make neat cresting with ribs as shown and detailed, to be No. 27 gal. iron." Since we do not have Russell's exact design and measurements for the cresting, we have had to estimate the sizes using photographs. With the 1907 addition, pictures (See Photo 2 & 4) show the same style but slightly smaller cresting was used along the new roof ridge that was perpendicular to and slighter lower than the main roof ridge. This crest was lost when the house was re-roofed around 1990. This project is to replicate and replace this cresting using a zinc product, Rheinzink "Preweathered Pro Graphite-Gray" (see sample). To determine the size, Phase II created several wood mock-ups of portions of the crests on the roof to approximate visually different sizes and a final mock-up of a portion from galvanized steel (See Photos 5 & 6). For the main roof crest, the proposed dimensions are approximately 22" height with 1.5" ribs every 14". The addition roof crest will have a 16" height with the same size ribs and spacing. A ball finial of spun zinc approximately the size of a tennis ball will decorate the two ends of each crest. Both crests will sit atop a 1" layer of black Corevent to allow venting.

For the roof shingles, we will use Certainteed Landmark TL fiberglass shingles in "Country Gray." Reroofing will require removal of all shingles on the dormers to add flashing. These will be replaced in-kind with cedar and a 5" reveal. In addition, discrete lightning rods of Number 4 copper wire will be attached to the chimneys and grounded.

### **II. Replicating the built-in gutters and cornice**

In his 1901 specification, Ambrose Russell only mentions gutters as an item under "Sheet Metal Work": "Line all gutters with No. 27 gal. iron, graded to down spouts, extending at least 3" up under shingles and turned down over outer edge of wood, and tacked on face with gal. tacks about 2" apart; all joints to be properly soldered."

In 1999, the then owners did a major remodel of the kitchen, master bath, and rear back porch designed by local architect Gene Grulich. It is not clear if LPC review this work. During that remodel, the original gutters were removed, and a wood gutter with a K-style profile was attached to the fascia. Unlike traditional wood gutters milled from a single piece of wood, these Arvid 622 wood gutters were made in three sections and glued together (See Photo 7). They were not lined or otherwise sealed, and have a top opening of only 2.5". The Arvid gutter design is inherently weak, and the glued seams in some sections began to separate by 2002 eventually resulting in rot. The gutters around the turret and the elliptical section of the front porch were sectioned and bent around those curves resulting in stress fractures. These sections around the turret eventually fell off the house. Areas where the leaders attach to the gutter also show significant deterioration (See Photo 5).

We discovered remnants of the original gutters hidden under a rather wide flashing at the roof edge installed in 1999 (See Photos 9, 10 & 11). These remnants show that the original gutter system was built into the cornice with leaders exiting through the soffit. This detail from a 1993 picture shows the original roof gutter profile and a leader emerging behind the fascia (See Photo 8). Three different size gutters were used on the house: the main roof had the largest (~3 1/2" x 5"), the porch roof had a smaller gutter (~1 1/2" x 4"), and the box window on the south façade had the smallest (~1" x 2"). Initially we attempted to determine the profile of the original gutters by analyzing the remaining portions and historic photographs. However, recently we discovered that a page of the 1907 blue prints, which had been found in an interior wall in 2002 during some electrical work, showed the gutter details the roof and porch gutters. (See Photos 12 & 13).

After considerable thought and research, we propose the following:

1. Remove the non-original existing wood gutters and backing.
2. Repair the remaining original fascia and soffit were needed.
3. Replicate the profile of the original cornice moldings for the house and porch in a fiberglass gutter produced by Plymouth Bay Fiberglass Gutter Company of Marshfield, MA, with Noble Designs of Plano, TX, creating the radius and ellipse sections (See Photos 14 & 15 for profiles).
4. Install the fiberglass gutter to the existing gutter shelf with leaders exiting through the soffit as they did originally.

Apply Rguard waterproofing beneath gutters.

5. Due to the shallowness of the porch gutter, we may need to lower the gutter shelf ~ 3/4" to create enough slope to drain the gutter and the cornice profile.
6. While the porch gutter is relatively shallow, we will mitigate any overflow with a 4' wide catch basin lined with waterproof barrier and drains to move water away from the foundation.

Several advantages recommend these fiberglass gutters:

1. They are strong, light weight, virtually seamless, and radius or ellipse sections can be easily made.
2. Any size and profile can be created, and they can be painted with regular house paint.
3. The lightweight, thin fiberglass allows for a much larger catch space, which lets the gutters and leaders handle a greater volume of storm water while replicating the original look of the cornice.
4. The fiberglass gutters use a hanger hidden inside the gutter and attaches to the existing gutter shelf.

While fiberglass gutters would generally not meet the Secretary of Interior standards, some historic districts have approved them (See Historic District Approvals pg. 9). We are removing gutter elements added in 1999 that are different in style and form from the original gutter system. We are not replacing any existing original feature or material of the house. Original material will be conserved and reused where possible. Finally, our addition of fiberglass gutters is completely reversible. They could be easily removed without damage to the original house.

### III. Removing and replacing the 1999 back porch

The 1999 changes to house included enclosing the original inset back porch to create a breakfast nook and mud porch, and then adding a new back porch (See Photos 16 & 17). However, portions of the new porch did not follow Mr. Grulich's specification. In order to correct a collapsed side sewer on the western side of the house and address several problems in the basement and with the current back porch, we propose to remove the existing 1999 back porch in order to expose a buried side sewer connection and then rebuild the porch much as it is now with several changes (See Drawings 18 & 19):

1. The area underneath the porch will have a concrete pad, waterproof membrane and final surface matching the patio to address water leakage into the below-ground garage. This is currently lacking.
2. Porch elements will better match the existing original front porch as Mr. Grulich intended: same porch ceiling height (lowering 7"), same size box rails, columns and soffit width (2' wide), and same crown molding above the triple window.
3. Move the stairs from the east side to the north side of the porch in front of the door. Add a box rail to the east side of the porch, mirroring the one on the west side. This arrangement would be somewhat more historically appropriate and more functional for back patio events.
4. Add wrought iron handrails at the sides. (There are currently no handrails.)

Decking will be 4" tongue and groove. Steps will have 11.5" treads and 7.5" risers with rounded nosing. The cap on the box rail and plinth will be 10 3/4" wood with 10 1/2" Doric columns matching those on the front porch. Material will be vertical grain, seasoned, kiln-dried fir except for the cedar shingles with 5" reveal on box rails, lower portion of porch, and other wall areas. See the attached drawings for details.

In addition, we will expose and renovate a currently covered two-paned basement window on the west façade (See Photo 20). Security bars will be installed on the interior.

**RESIDENTIAL APPLICATION SUPPLEMENT CHECKLIST B**  
(For New Siding, Roofing, and Window and Door Openings)

CHECKLIST to include the following:\*

<input checked="" type="checkbox"/>	Elevation drawings (if new windows or doors are to be added where there no existing ones)
<input type="checkbox"/>	Photograph(s) of work area(s)
<input checked="" type="checkbox"/>	Detail illustrations of trim and casing
<input type="checkbox"/>	Material samples (if proposing uncommon or new to market material)
<input type="checkbox"/>	Paint samples (from hardware store if applicable)

In addition to the above, please provide the following information:

Proposed Material(s):	<u>See text</u>
Window types and locations:	<u>N/A</u>
Exterior cladding material(s):	<u>See text</u>

**\*ADDITIONAL TIPS**

- Drawings required for building permits can often be used for Landmarks Review, as long as information regarding finish detail, exterior materials, and windows and doors are indicated.
- Elevations should be scale drawings and should include dimensions, heights, window and door locations and trim details.
- Please include a photograph of existing examples (if the new features are to match any existing features of the house)
- For structures within the North Slope Historic District, refer to the North Slope Design Guidelines for more information about design. Contact the Historic Preservation Officer for more information.



Photo 1: The Henry & Birdella Rhodes House, ~ 2004

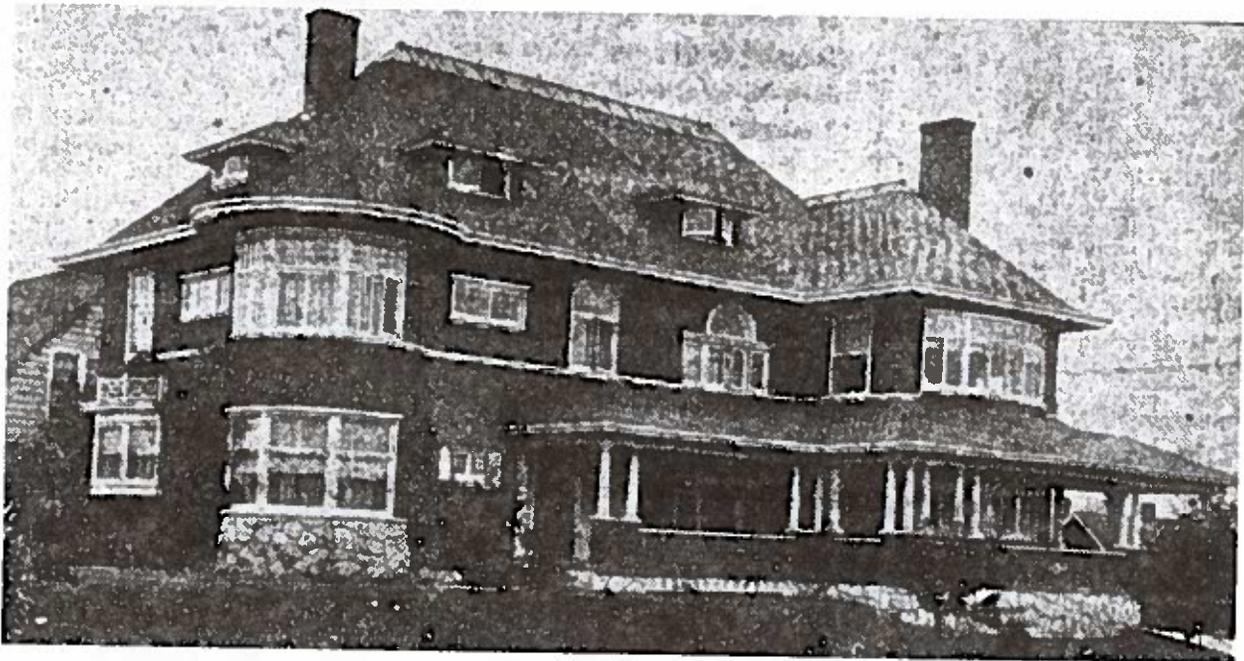


Photo 2: 1907 photo soon after the Heath addition. Note the roof crests of galvanized iron.

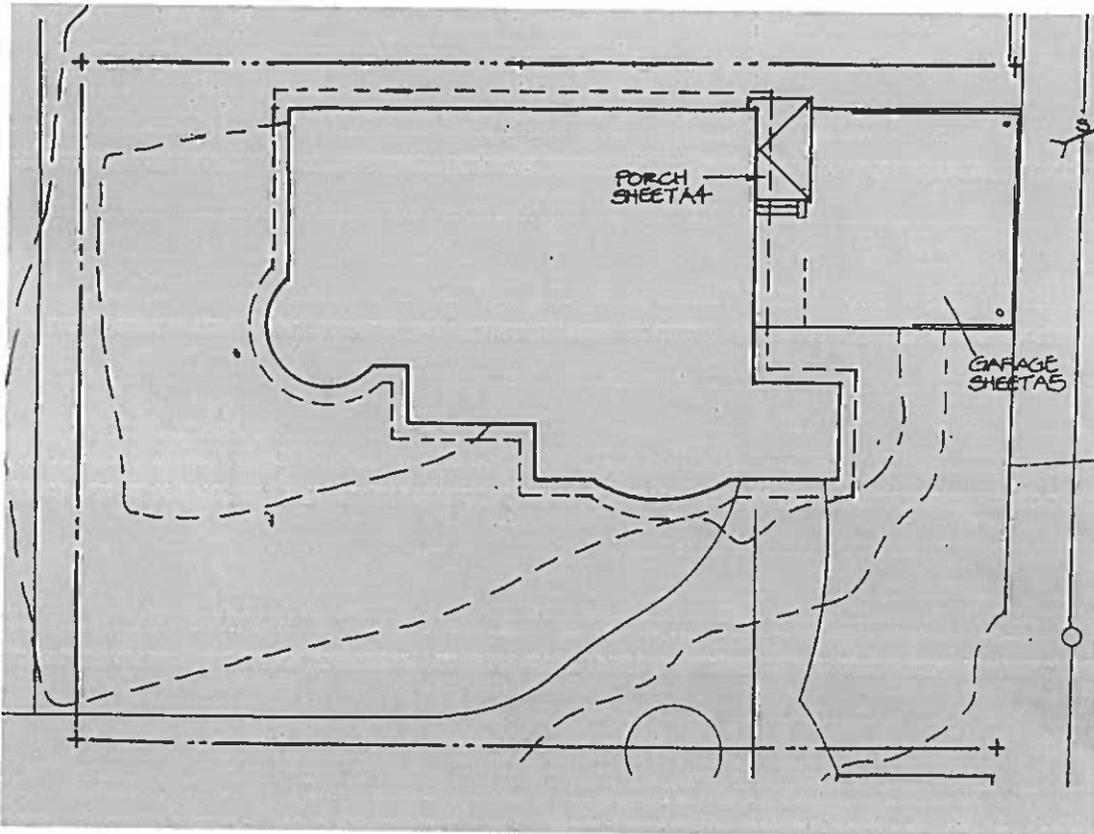


Photo 3: Site diagram. Note the sunken garage. The alley on the north side is ~15' below the house level.

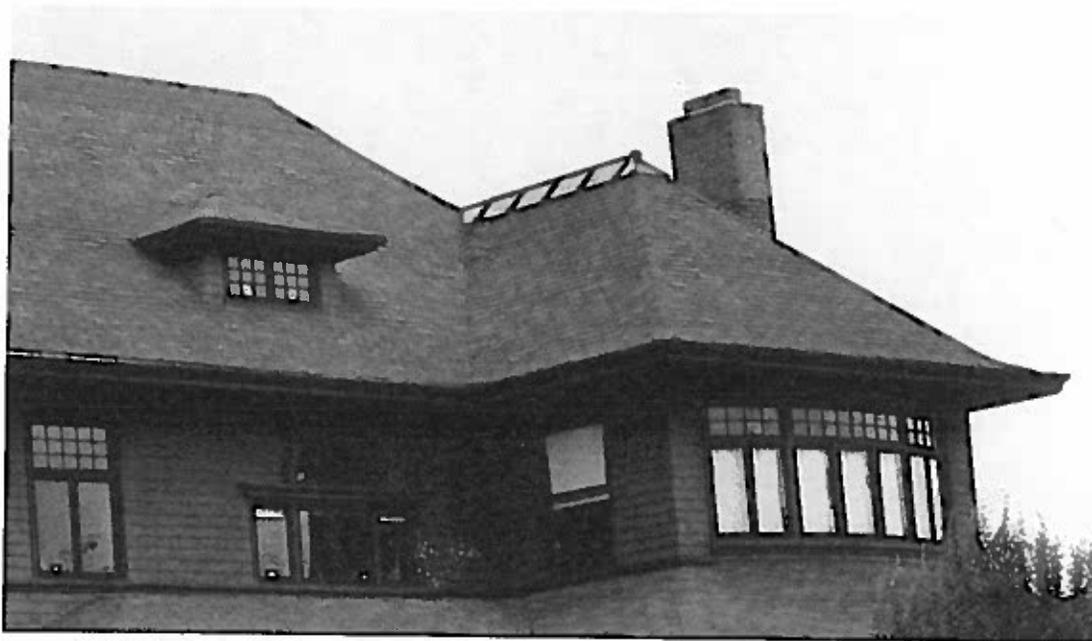


Photo 4: Detail of a remaining roof crest about 1985, which was lost in re-roofing ~1990.



Photo 5: Testing crest mock ups. Note the roof gutter loss and deterioration.



Photo 6: Crest mock-up in scrap steel. The final design will have a ball finial at each end of spun zinc.

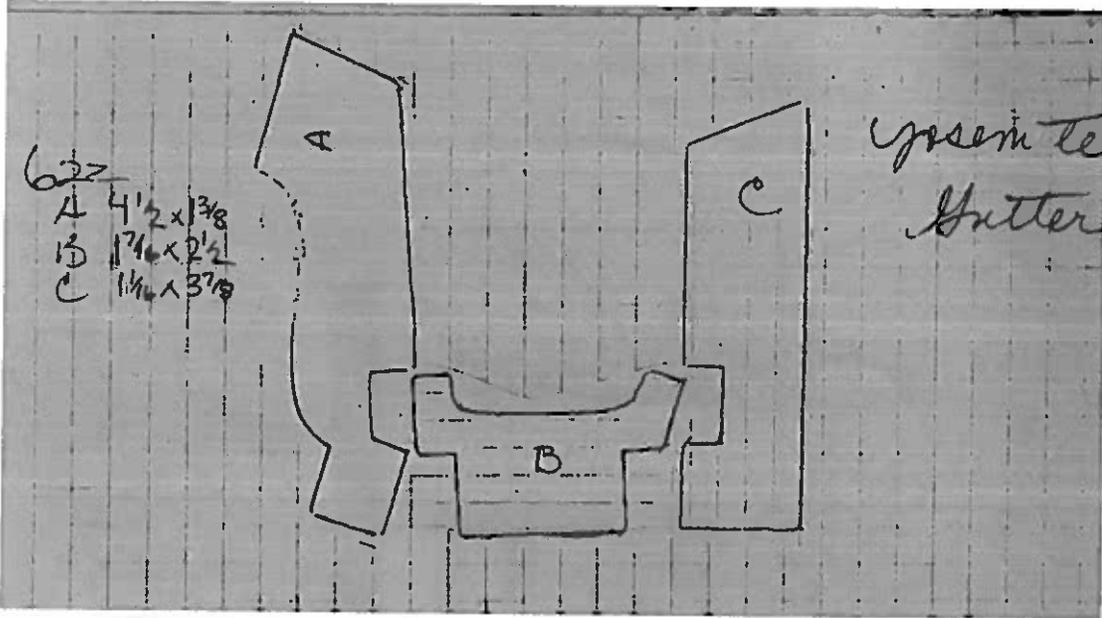


Photo 7: The Arvid 622 wood gutter



Photo 8: Detail ~1985, showing the original built-in gutter with leader exiting through soffit.

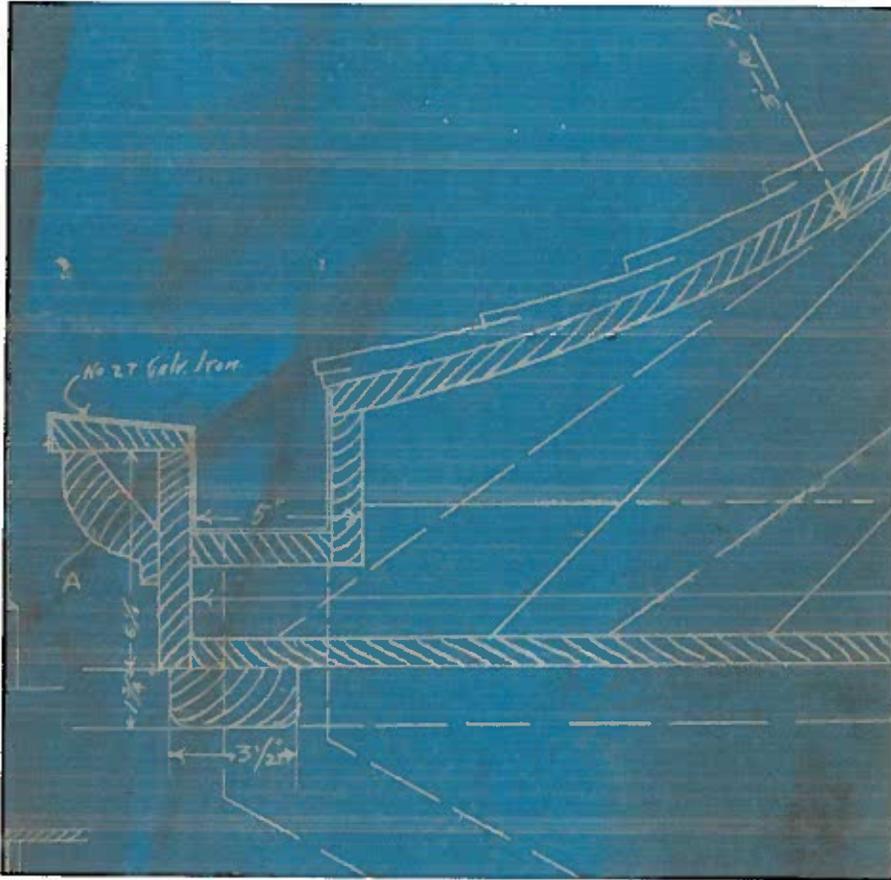


Photo 12: Heath's recently discovered 1907 main roof gutter design

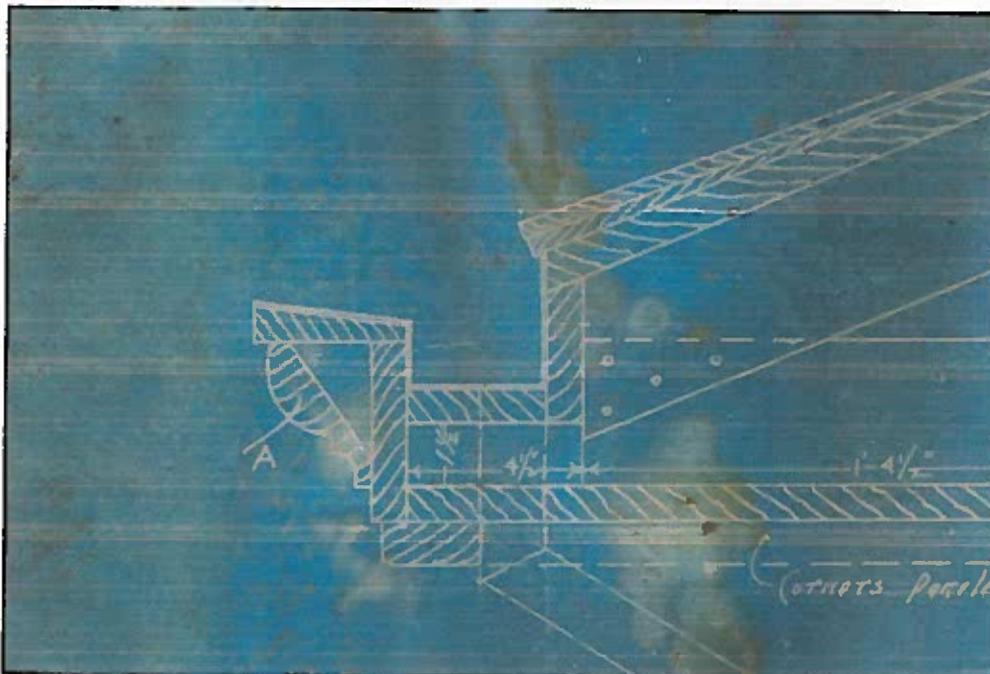


Photo 13: Heath's recently discovered 1907 porch gutter design

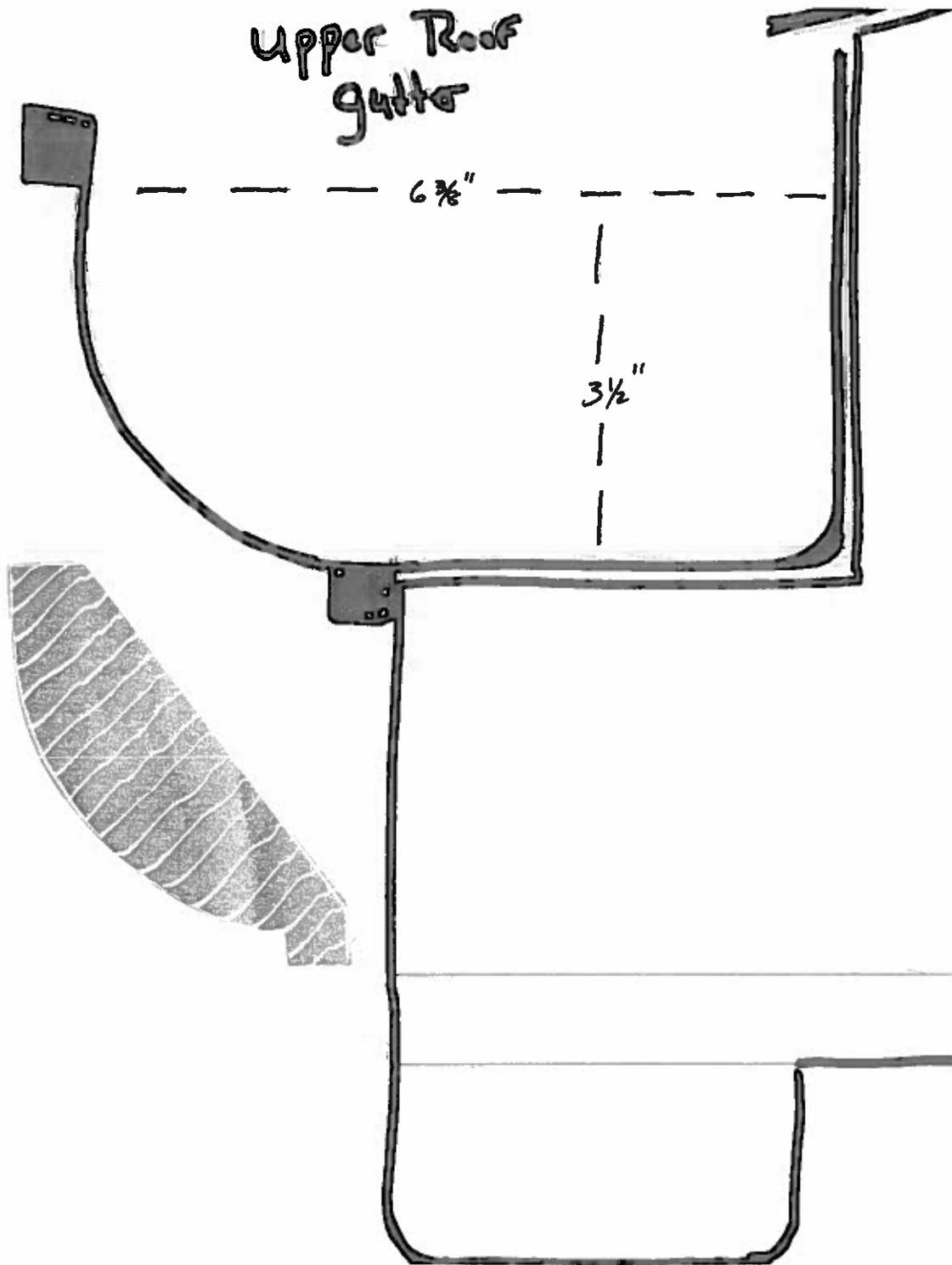


Photo 14: Proposed main roof fiberglass gutter design with the original profile alongside

# Lower Roof gutter

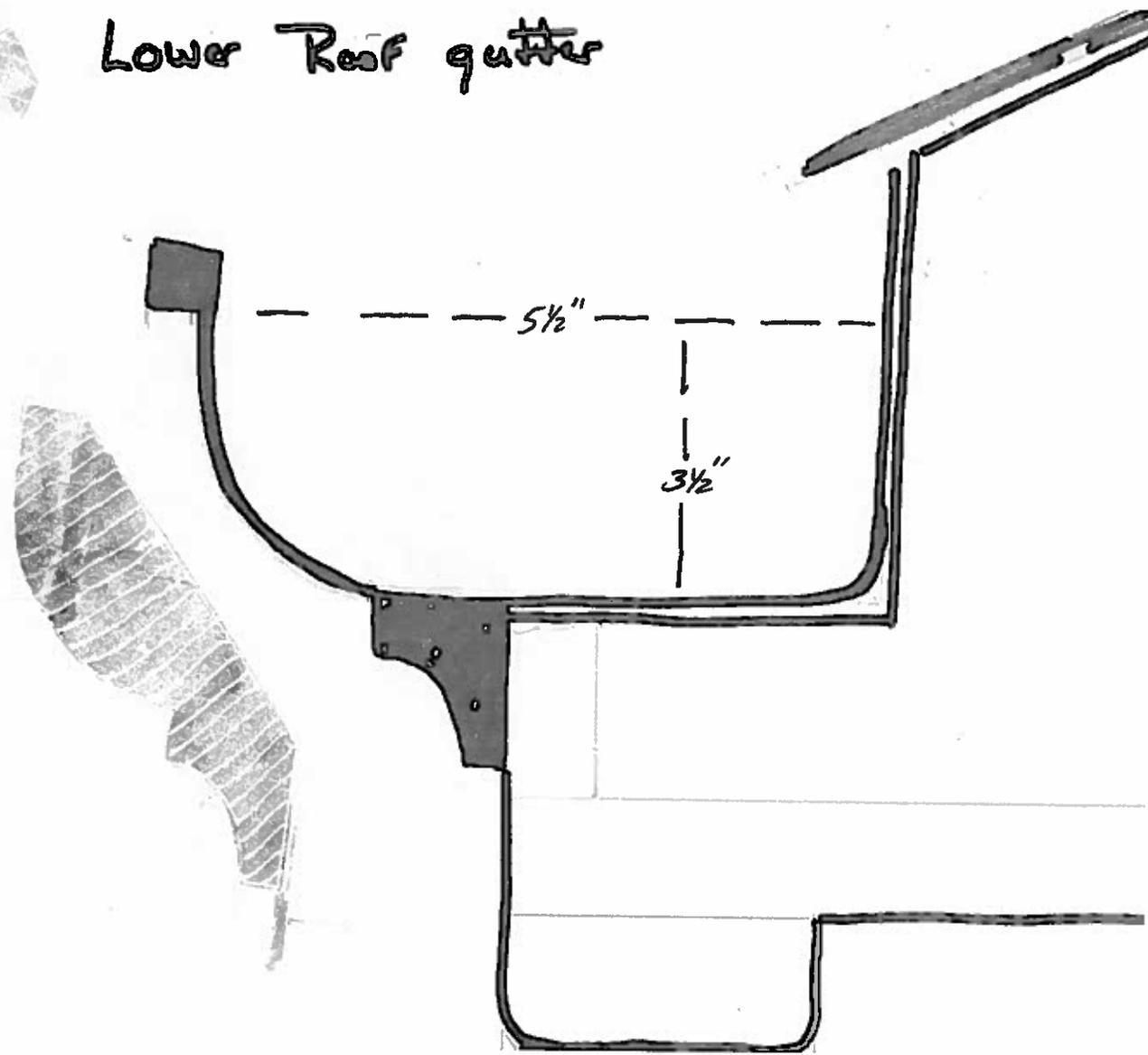


Photo 15: Proposed porch roof fiberglass gutter design with original profile alongside

Historic District Approvals

Some landmark commissions have approved fiberglass gutters as an acceptable replacement for wood gutters. Most are from New England. Here is a sample of historic districts that have approved fiberglass as an alternative material for gutters:

Arlington, MA, 2013 Annual Report, pg. 83

“Regarding gutters, the Commissions have a strong preference for preserving existing wooden gutters which typically integrate cohesively into the architectural features of older structures. However, many homeowners have found that the quality of the wood gutters available today is lower due to the unavailability of more durable material originally derived from old growth trees. As a consequence, the newer wooden gutters that are typically available for restoration or repair work simply do not last very long. In architecturally appropriate cases, we have approved the substitution of copper gutters. In other cases, under a guideline adopted in 2012, we have allowed the use of a specially-molded fiberglass gutter whose shape exactly replicates that of a wooden gutter. This gutter system installs like a wooden gutter, is paintable, has a higher internal volume thus carrying more water, and is expected to last much longer.”

Concord, MA [http://www.concordma.gov/Pages/ConcordMA\\_HDCMin/2012Minutes/S0191B4DB](http://www.concordma.gov/Pages/ConcordMA_HDCMin/2012Minutes/S0191B4DB)

Falmouth, MA <http://www.falmouthmass.us/meeting.php?depkey=hdc&number=5168>

Kennebunk, ME <http://www.kennebunkmaine.us/AgendaCenter/ViewFile/Minutes/08122013-25>

Lexington, MA <http://records.lexingtonma.gov/weblink8/0/doc/199648/Page1.aspx>

Nantucket, MA [http://www.nantucket-ma.gov%2FAgendaCenter%2FViewFile%2FMinutes%2F01312013-1049&ei=2KTaVP6iBofuoATXqoJo&usg=AFQjCNHdXQuReZe48aNczWwLc\\_Wv7lycg](http://www.nantucket-ma.gov%2FAgendaCenter%2FViewFile%2FMinutes%2F01312013-1049&ei=2KTaVP6iBofuoATXqoJo&usg=AFQjCNHdXQuReZe48aNczWwLc_Wv7lycg)

Newport, RI

Newton, MA

[http://www.newtonma.gov%2Fcivicax%2Ffilebank%2Fdocuments%2F56217&ei=L5\\_aVNmxAcurogSv4GoBw&usg=AFQjCNG-xFJzQ1WYQHGHg4\\_F\\_QLiZsDDDDQ](http://www.newtonma.gov%2Fcivicax%2Ffilebank%2Fdocuments%2F56217&ei=L5_aVNmxAcurogSv4GoBw&usg=AFQjCNG-xFJzQ1WYQHGHg4_F_QLiZsDDDDQ)

Chart outlining relative advantages of various gutter materials. Another important advantage of fiberglass relative to wood is the ease of shaping it for radius and elliptical applications.

	Fiberglass Gutter™	Aluminum	Vinyl/PVC	Wood
Overall Performance	****	**	*	***
Strength	Excellent 8 times stronger than vinyl; 3 times as strong as aluminum	Good	Fair	Excellent
Thermal Expansion	Excellent Low expansion and contraction rate assures consistent, watertight seams, splices miters and ends	Fair High expansion and contraction rate may cause seams to leak	Fair High expansion and contraction rate may cause seams to leak	Excellent Low expansion and contraction rate assures consistent, watertight seams, splices miters and ends
Impact Resistance	Excellent Withstands impact without deformation	Fair Dents Easily	Fair Difficult to Repair	Good Can Be Easily Repaired
Durability	Excellent Lifetime Warranty	Very Good Prone to corrosion in seacoast areas	Fair Difficult to Repair	Fair New Growth Wood Requires Constant Maintenance

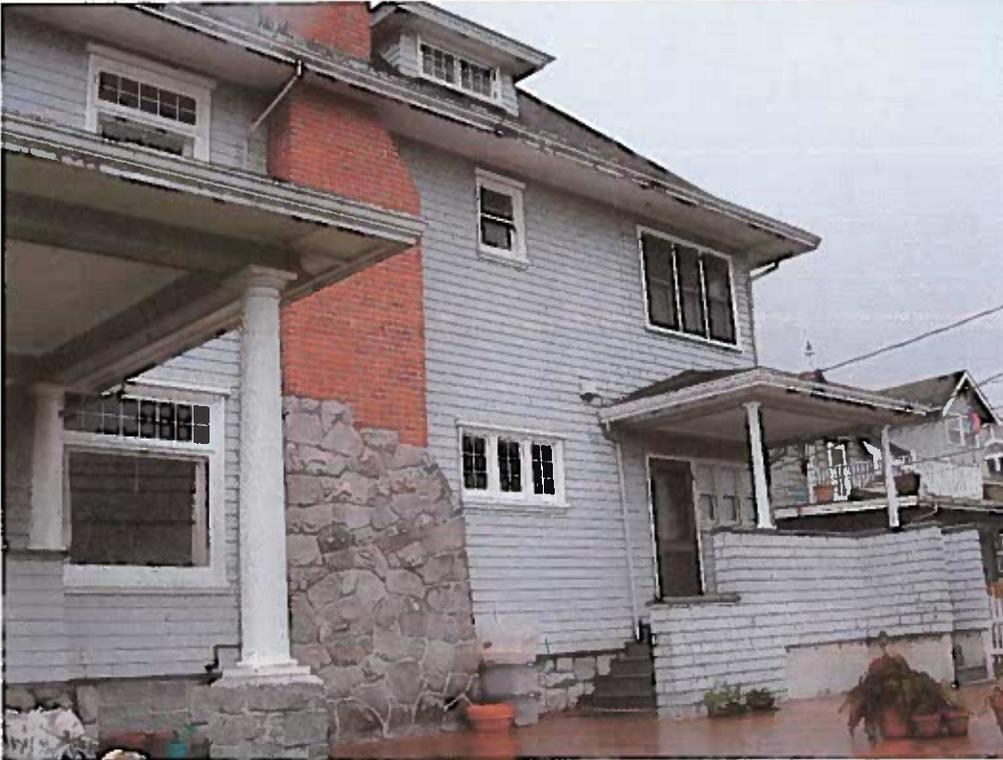
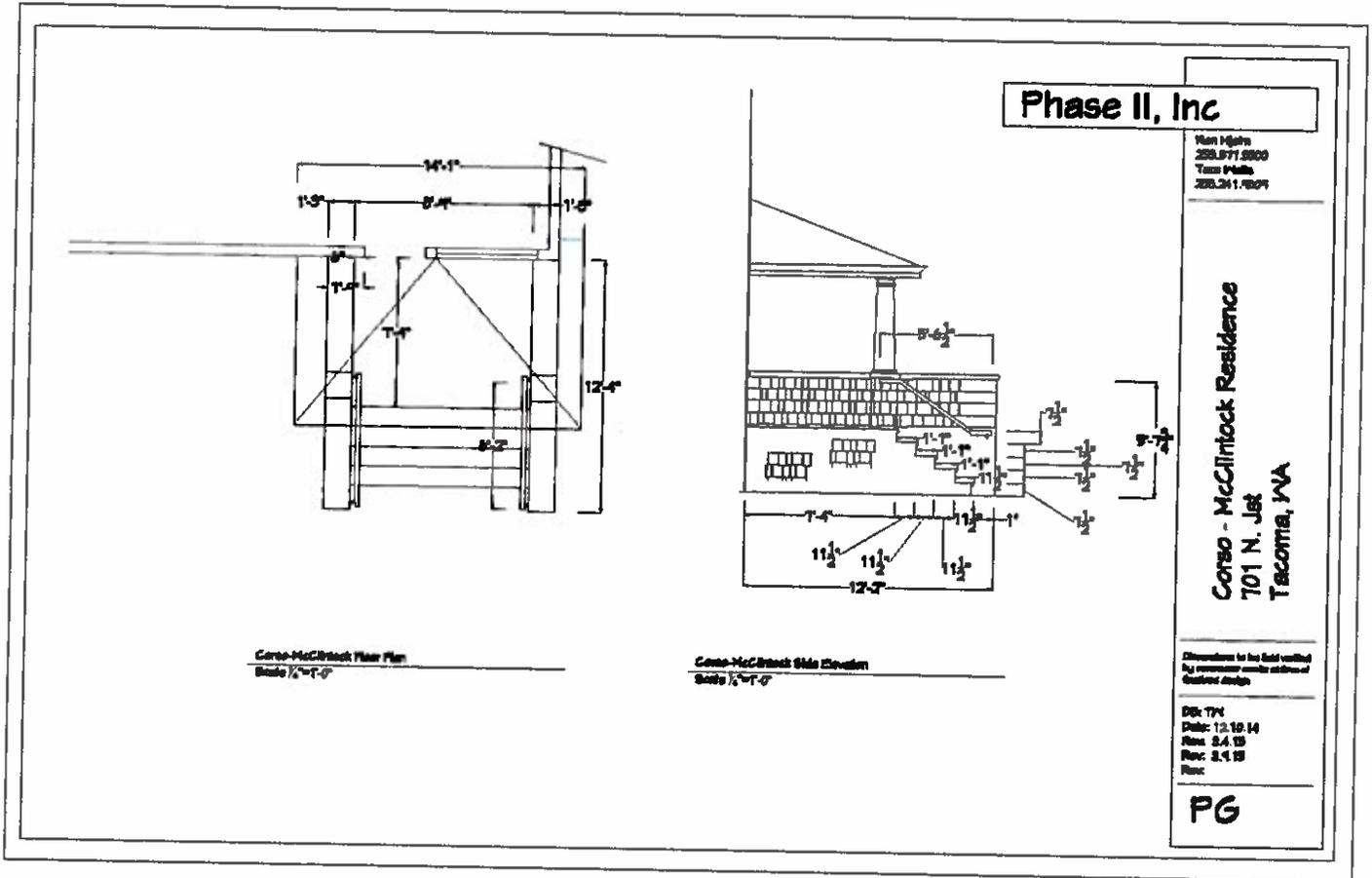


Photo 16: North façade showing 1999 back porch and patio roof of garage



Photo 17: Detail of the 1999 back porch





Drawing 19: Proposed back porch redesign, side elevation



Photo 20: Covered basement window

## History

In 1998, a local builder in Duxbury, Ed O'Donnell, and Chris Roth from Roth Bilt Boats developed the first New England-style fiberglass gutters for several custom homes in Duxbury. The premise was to have that classic look of a wood gutter with minimal maintenance and a lifetime of durability.

In 2011 we developed three profiles that were widely accepted by the historical and preservation committees in our area. Since 2011 then we have developed three more profiles and we continue to expand our product line.

We have over 35 years experience in the fiberglass industry and we are the first company to build the most common fiberglass profiles that you see on the market today. We build custom molds for arched shapes and round turrets and do custom profiles for builders, owners and architects alike. We look forward to constantly improving our products and developing new ones.



*Installation number one, Duxbury, Massachusetts*

Our mission is to provide a long lasting alternative that is still aesthetically pleasing.

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# Why Plymouth Bay Fiberglass?

## The Plymouth Bay Advantage

### High Tensile Strength

Tensile strength measures the force required to pull something to the point where it breaks. Fiberglass is a lightweight, extremely strong, robust material with high tensile strength, making for it ideal for gutters which, like fiberglass boats, are continually subjected to moisture and changing weather conditions. And like fiberglass boats, Plymouth Bay Fiberglass gutters have stood the test of time, with our earliest installations now a dozen years old. In fact, fiberglass gutters have been used for over thirty years in Holland, Denmark, Norway, Germany, Austria and other areas with severe weather conditions.

### Reliability – No Leakage

Plymouth Bay Fiberglass wood-replacement gutters are a step above any other system available today. Comprised of several layers of fiberglass, the gutters are rugged and 100% leak-proof.

### Maintenance

With mandatory annual maintenance, traditional wood gutters have an additional cost which is never-ending. Plymouth Bay Fiberglass gutters simply require clearing of debris and an occasional washing.

### Ease of Installation

Another top selling point for architects, builders, installers and property owners or managers is ease of installation. Plymouth Bay Fiberglass gutters install in about one third the time of a traditional gutter system. This ease of installation, combined with low maintenance and the assurance that the gutter system is not a threat to one's investment, make Plymouth Bay Fiberglass gutters ideal for any architect, builder, owner, manager or superintendent of a project where historic character and detail are important.



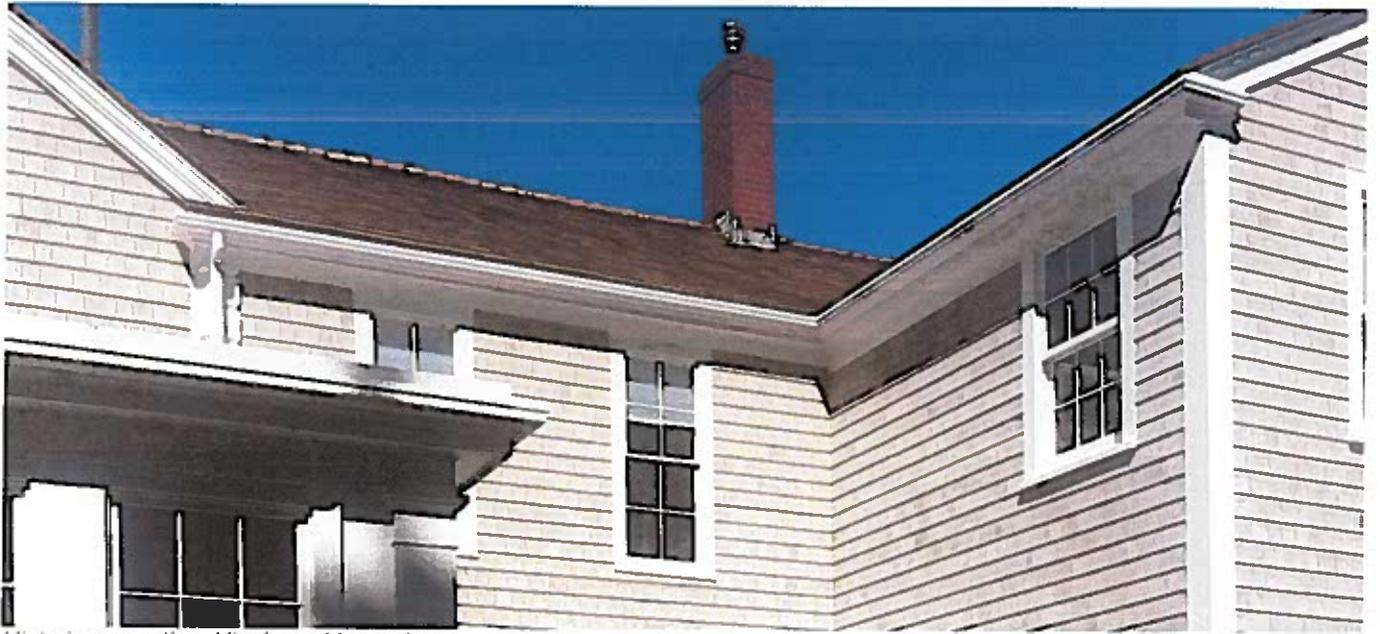
*Installation number one, Duxbury, Massachusetts*



*Installation number one, Duxbury, Massachusetts*



*Historic renovation, Hingham, Massachusetts*



*Historic renovation, Hingham, Massachusetts*



# HISTORIC PRESERVATION

MONTH 2015

**I Heart Tacoma:  
Celebrate Tacoma's  
Unique Cultural Heritage**

- **HISTORIC PRESERVATION MONTH KICK OFF:  
Historic Tacoma Postcard Exchange Event**  
FRI. MAY 1, 7 PM  
The Arts and Crafts Press  
*By Historic Tacoma*
- **HISTORIC HOMES OF TACOMA TOUR**  
SAT. MAY 2 & SUN. MAY 3  
Tickets, \$25, available at Pacific Northwest Shop, Stadium Thriftway and certain Columbia Bank branches.  
*By Tacoma Historical Society*
- **PHOTO SCAVENGER HUNT**  
SAT. MAY 2, 1 PM  
Earthwise Architectural Salvage  
*By Earthwise Architectural Salvage, The Children's Museum of Tacoma and the City of Tacoma's Historic Preservation Office*
- **CITY COUNCIL PROCLAMATION FOR HISTORIC PRESERVATION MONTH**  
TUES. MAY 5, 5 PM  
Tacoma Municipal Building  
Show support and attend this proclamation in period costume or historic preservation month shirts.  
*By City of Tacoma*
- **AMAZING PRESERVATION RACE**  
SAT. MAY 9, 11 AM  
See website for registration information  
Starts at Tollefson Plaza  
Ends at Wright Park  
*By the City of Tacoma's Historic Preservation Office in collaboration with local partners*
- **CITY OF DESTINY POETRY SLAM: HILLTOP EDITION**  
FRI. MAY 15, 6 PM  
Sure House Church  
*By Write@253, City of Destiny Poetry Slams and the City of Tacoma's Historic Preservation Office*
- **TACOMA TWEED RIDE**  
SAT. MAY 30, 10:30 AM  
Starts at Point Defiance Park Pagoda  
Ends at Wright Park Lawn Bowling Court  
*By City of Tacoma's Office of Environmental Policy and Sustainability and Historic Preservation Office*
- **PRESERVATION MONTH RECEPTION & AWARDS**  
SUN. MAY 31, 2 PM  
Foss Waterway Seaport  
*By City of Tacoma's Historic Preservation Office*



*Tacoma's past is deeply rooted. Carrying that history forward through restoration and adaptive reuse honors that legacy and supports vibrant, engaging neighborhoods.*



For more information on these  
Historic Preservation Month events, visit [cityoftacoma.org/HPM](http://cityoftacoma.org/HPM).