

Members

Mark McIntire, *Chair*
Bret Maddox, S.E., *Vice Chair*
Katie Chase
Edward Echtle
Ken House
Jonah Jensen
Megan Luce
Daniel Rahe
Duke York

Ross Buffington, *Wedge Neighborhood Ex-Officio*
Marshall McClintock, *North Slope Ex-Officio*

Staff

Reuben McKnight, *Historic Preservation Officer*
Tonie Cook, *Landmarks Coordinator*



Agenda

Landmarks Preservation Commission Community & Economic Development Department

Date: November 14, 2012
Location: 747 Market, Tacoma Municipal Bldg, Room 248
Time: 5:00 p.m.

LPC 83 /12

Please note assigned times are approximate. The Chair reserves the right to alter the order of the agenda.

1. ROLL CALL

2. CONSENT AGENDA

- A. Excusal of Absences
- B. Meeting Minutes – 9/26/12, 10/10/12 and 10/24/12

3. PUBLIC HEARING: ANNUAL UPDATE

- A. Landmarks Preservation Commission Rules and Regulations (administrative bylaws)
- B. Historic District Buildings Inventory Updates
- C. Wedge Neighborhood and North Slope Historic District Design Guidelines Update

4. DESIGN REVIEW

- A. 1407 North 5th Street (North Slope)
New Construction: detached garage

Cory Shumate, Property Owner 5 m

5. CHAIR COMMENTS

6. BOARD BUSINESS

- A. Officer Nominations

Reuben McKnight
Historic Preservation Officer

Next Regular Meeting: December 12, 2012, 747 Market Street, Tacoma Municipal Bldg., Rm. 248 5:00 p.m.

This agenda is for public notice purposes only. Complete applications are included in the Landmarks Preservation Commission records available to the public BY APPOINTMENT at 747 Market Street, Room 1036, or online at <http://tacomaculture.org/historic/resources.asp>. All meetings of the Landmarks Preservation Commission are open to the public. Oral and/or written comments are welcome.



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Tonie Cook, Landmarks Coordinator

draft



MINUTES

Landmarks Preservation Commission Community and Economic Development Department

Date: September 26, 2012

LPC 85 /12

Location: 747 Market Street, Tacoma Municipal Building, Room 248

Commission Members in Attendance:

Mark McIntire, *Chair*
Bret Maddox, S.E., *Vice Chair*
Ross Buffington
Katie Chase
Ken House
Megan Luce
Marshall McClintock
Daniel Rahe
Duke York

Staff Present:

Reuben McKnight
Denise Rakas
Lisa Wojtanowicz

Others Present:

Kevin Lukinbill

Commission Members Absent:

Commissioners Edward Echtle, Jonah Jensen and Duke York

Chair Mark McIntire called the meeting to order at 5:00 p.m.

1. CONSENT AGENDA

A. Excusal of Absences

Commissioners Edward Echtle and Jonah Jensen were excused.

B. Minutes

The meeting minutes of September 12, 2012 was approved.

C. Summary of Administrative Reviews

The Administrative Review Summary listing projects approved from September 6, 2012 through September 19, 2012 was accepted.

2. DESIGN REVIEW

A. 908 North Ainsworth (North Slope)

Mr. Reuben McKnight read the Staff Report into the record as follows.

Built in 1907, this bungalow is a contributing structure in the North Slope Historic District. The current proposal is a retroactive application to demolish the existing detached garage located on the property.

On June 25, 2012 City of Tacoma Public Works was issued a Warrant of Abatement for the garage because of deterioration and rot, resulting in a declaration of public nuisance. Over the time period from approximately March 2012 through August 31, 2012, the notices of enforcement, public nuisance, correspondence and meetings with the homeowner, concluded in the abatement decision issued to City of Tacoma by Superior Court Judge Chushcoff.

A list of activity and dates on the nuisance/code enforcement is enclosed with the application.

On September 4, 2012, the City Code Enforcement staff submitted an application to the Landmarks Preservation Commission for the demolition of the garage on behalf of the owner. It was the City's intent to have the garage removed following approval by the Landmarks Commission. The application was scheduled for review on September 12, 2012. However, staff was subsequently notified that on September 5, the owner demolished the garage himself without obtaining permits. Mr. Reuben McKnight added that the application was pulled from the September 12 agenda.

According to Sanborn maps and aerial photos, the garage was built sometime after 1912 and before 1931. It had a hipped roof and retained its sliding track door.

Staff analysis to be considered.

1. The Landmarks Preservation Commission has jurisdiction to review and approve, or not approve, changes to this building. As an accessory structure in the North Slope Historic Special Review District, demolition is reviewed as a normal Certificate of Approval per TMC 13.05.048 (meaning that it is not treated as a demolition review).
2. The home on the property is historically significant as a contributing structure in the North Slope Historic District; it was constructed in 1907; the detached garage is a secondary accessory structure that appears to be of a similar age as the main home. As part of the North Slope the property is listed on the Tacoma, Washington and National Registers of Historic Places.
3. For the local historic overlay, garages and other accessory structures are not inventoried and are treated in the code with less protection than principal structures on the lots (houses). The Commission has approved several garage removals and replacements in the past for various reasons (poor condition, too small, etc). However, the garage was listed as a contributing structure in the National Register nomination.
4. Photographs from the exterior of the garage show a significant amount of deterioration to the roof structure; interior condition is unknown.

Staff recommended adoption of the analysis as findings and recommended retroactive approval of the demolition by the Commission.

Ms. Lisa Wojtanowicz, Supervisor of the Code Enforcement Section, Public Works, described the history on this nuisance complaint that resulted in the City Public Works' receipt of a Superior Court Judge's decision to remove the detached garage and the subsequent unknown involvement by the owner who removed it prior to obtaining the required permits, including review by the Landmarks Preservation Commission. She also described improvements made by code enforcement to confirm a property's historic status, if any, either an individual landmark or its location within a historic district. She reported about the city's return to court to authorize the collection of costs incurred for legal, asbestos survey and inspection staffing from the property owner.

At a future Commission meeting, she will be presenting code improvements that are being recommended to address dangerous buildings so there is increased flexibility in cases of historic properties.

Commissioner Marshall McClintock asked about the random act of the property owner to remove the garage without obtaining the property permits.

Reuben McKnight affirmed the garage was demolished by the owner without permits despite the good communication between city departments; he talked about the improvements being made including relevant printed information on city materials for property owners in code enforcement cases.

There was a motion:

"I move that we, the Landmarks Preservation Commission, approve the retroactive application for demolition of the garage at 908 North Ainsworth"

MOTION: Maddox
SECOND: Luce
MOTION: Carried

B. 901 North K Street (North Slope)

Mr. Reuben McKnight read the staff report as follows.

Built in 1892 and designed in the Queen Anne style, this house is a contributing structure in the North Slope Historic District. The current proposal is a retroactive application to remove and replace three windows and one door on the upper rear level, as follows:

- 1) Removal of one rear non historic slider-type window and replace with one double hung wood clad Marvin window in the existing opening; the removal and replacement of one non historic window and replace it in a traditional style is appropriate and exempt from review.
- 2) Removal of one rear side and one rear double hung windows and replace with two double hung wood clad Marvin windows in the existing openings.
- 3) Removal of one second level rear nonhistoric door and replace with metal 9-lite exterior Jeldwen door. The existing door opening was covered until a second story deck and stairway was installed, after design review and approval by the Commission in 2008.

Staff requested information on the condition of the two original windows prior to removal.

North Slope Historic District Design Guidelines to be considered.

#6, Exterior Materials. Goals: Use compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope Neighborhood were sided with shingles, or with lapped, horizontal wood siding of various widths. Subsequently, a few compatible brick or stucco-covered structures were constructed, although many later uses of these two materials do not fit the character of the neighborhood. Additions to existing buildings should be sided with a material to match, or be compatible with, the original or existing materials. New structures should utilize exterior materials similar to those typically found in the neighborhood.

#7. Rhythm of Openings. Goals: Respect the patterns and orientations of door and window openings as represented in the neighboring buildings. Typically, older buildings have doors and transoms that matched the head height of the adjacent windows. Doors also tend to be paneled or contain glazed openings. Windows are vertically oriented. Large horizontal expanses of glass are created by ganging two or more windows into a series. Most windows are either single or double hung, with a few casement windows being incorporated into the designs. Many of the buildings had the upper sash articulated into smaller panels, either with muntin bars, leaded glazing, or arches. Most older windows were also surrounded with substantial trim pieces or window head trim.

Analysis to be considered.

1. The home on the property is historically significant as a contributing structure in the North Slope Historic District; it was constructed in 1892. As part of the North Slope it is listed on the Tacoma, Washington and National Registers of Historic Places.

Mr. Reuben McKnight added that the residence was built by Lemuel T. Root and designed by architect William Bullard for Allen C Mason; it is one of a set of houses called the "twelve apostles" and has been featured in the North Slope Historic District walking tours.

2. The Landmarks Preservation Commission has jurisdiction to review and approve, or not approve, changes to this building including new construction per TMC 13.05.047, prior to those changes being made, by virtue of its status as a City Landmark.
3. The removal and replacement of one slider style window with a traditional style window and the one non historic door replacement are exempt per the Administrative Review Bylaws.
4. The removal and replacement of two original double hung windows was completed without review by the Landmarks Preservation Commission as required by TMC 13.05.047. Since the installation, the owner has applied for the building permit and the current design review.
5. A retroactive proposal to remove existing wood windows and install wood clad windows does not appear to meet North Slope Special Review District Guideline #6 Exterior Materials, specifically, *"Use compatible materials that respect the visual appearance of the surrounding buildings..."*
6. The installation of a traditional style of double hung windows in the existing original openings does appear to meet NSHD Guideline #7. Rhythm of Openings, specifically, *"Respect the patterns and orientations of door and window openings as represented in the neighboring buildings...windows are vertically oriented...most windows are either single or double hung..."*
7. The two windows are located on the side rear and rear elevations which may appear to reduce the visibility of the windows from the right of way, however the home is located on a corner, therefore, the side and rear elevations are more visible to the street.
8. The Commission has approved fiberglass wood clad windows on rear elevations.

Staff recommended approval of the analysis as findings and recommended approval of the retroactive application by the Commission.

The property owner Mr. Kevin Lukinbill offered an apology for not taking the proper steps to obtain a permit and, in the future, will follow the design review process for window replacements.

Commissioner Marshall McClintock asked if the original windows, that had been removed, were on site; Mr. Kevin Lukinbill stated that he thought two of the original windows remained on site.

Mr. Reuben McKnight and the owner clarified that the upper and lower sashes were most likely on site.

Commissioner Marshall McClintock asked about the condition of the original sashes; the owner stated that the sashes were weathered. Mr. McClintock proposed the Commission examine the sashes to understand the ability to repair and re-install the original windows.

There was a motion:

"I move that we, the Landmarks Preservation Commission, postpone a decision on the retroactive design review application at 901 North K Street, pending the Historic Preservation Officer's review on the condition and feasibility of the original windows sashes"

MOTION: House
SECOND: Luce
MOTION: Carried

Mr. Reuben McKnight asked the Commission if there was clarification needed to understand what prompted the removal and replacement of the windows by the owner. Mr. Kevin Lukinbill stated that the purpose of the replacement was due to the drafty condition of the windows and his concern for warmth for his young daughters.

Mr. Kevin Lukinbill stated that he would leave the windows on the front porch of the property for review by Mr. Reuben McKnight.

3. CHAIR COMMENTS

There were no comments.

4. BOARD BUSINESS/PRESERVATION PLANNING

A. Whitman Elementary (1120 South 39th Street) – National Register of Historic Places

Commissioner Katie Chase asked for recusal from the agenda item, Whitman Elementary.

Mr. Reuben McKnight presented the notice that the Tacoma Public Schools nominated Whitman Elementary School for listing on the National Register of Historic Places. He explained that the State of Washington solicits comments from Certified Local Government commissions, and, in this case, Tacoma Landmarks Preservation Commission, regarding nominations of buildings within their respective jurisdictions to the National Register of Historic Places.

Chair Mark McIntire offered information on his familiarity with the building and his support for the nomination. The Commission agreed with supporting the approval of the Whitman Elementary nomination to the Washington State Advisory Council on Historic Preservation.

B. McMenamins

Mr. Reuben McKnight reported on the proposed changes to the 1937 north addition of the Elks Temple Building, which is now being incorporated into use by McMenamins; the change results in the remodel of that addition once approved for demolition. The addition will be retained and preserved.

He explained the Landmarks Preservation Commission's authority to review proposed changes to this building versus the city's downtown design standard.

He presented copies of the design plans and highlighted the proposal to install a skylight structure for the purpose of bringing light into the Elks Temple building and replacement with wood windows in the existing window openings of the north Annex facade.

Mr. Reuben McKnight provided clarification on the Commission's options to approach the design review on this building, which includes consideration of these changes as minor revisions without the presence of the design team at Commission meetings and/or the Portland, Oregon team can be contacted to attend the next meeting on October 10, 2012.

Commissioner Katie Chase asked for recusal from this agenda item, Elks Temple/McMenamins' design plans.

Commissioner Megan Luce stated that she supported the design report whereby it does not detract from the historic Elks Temple.

Commissioner Ken House also expressed his support that the use of the building is a success, confirming agreement on the replacement windows; his only concern was the addition of the skylight and asked about the ability to hide it behind the parapet.

There was discussion on the building's symmetry, specifically regarding the proposed skylight and slope.

Vice Chair Bret Maddox summarized the changes (i.e. windows) presented on the north annex, which appear to be appropriate for administrative review; in addition, the proposed skylight on the main Elks Temple Building can be reviewed administratively if it is lowered to view line of the parapet level or redesigned to be bilaterally symmetrical, to complement the symmetry of the building.

There was consideration of the one window on the annex that was not in alignment; the Commission asked Mr. Reuben McKnight to follow-up on the purpose of this window's location and alignment.

There was a motion:

"I move that we, the Landmarks Preservation Commission, approve the modifications to the North Annex Building and defer the window fenestration to future review"

MOTION: Maddox
SECOND: Raye
MOTION: Carried

There was clarification the motion was for the North Annex building.

Mr. Reuben McKnight stated that he would report on the feedback regarding the skylight proposed on the Elks Temple Building and the annex window that is out of alignment.

"I move that we, the Landmarks Preservation Commission, delegate to Administrative Review, the recommendation to reduce the proposed Elks Temple Building's skylight structure height or change in shape and, the window fenestration arrangement on the northside of the annex"

MOTION: Maddox
SECOND: House
MOTION: Carried

C. Annual Amendments to the Administrative Procedures (Bylaws) and Inventory.

Mr. Reuben McKnight discussed scheduling the dates for the upcoming amendments and public hearing and, public informational meeting, specifically, on the amendments to the design guidelines.

There was a motion:

"I move that we, the Landmarks Preservation Commission, schedule a public hearing on annual amendments on November 14, 2012, at 747 Market Street, Room 248, at 5:00 p.m. and the public informational meeting on October 18, 2012"

MOTION: Maddox
SECOND: House
MOTION: Carried

D. Other

Commissioner Megan Luce asked for information on the Nash Building, 933 Market Street which is on the pending project list. Mr. Reuben McKnight stated that he briefly reported on the history and condition of the building at a previous meeting and will be providing a staff report in the future.

Commissioner Daniel Raye announced that the Northwest Historic Railway Association is offering a walk and will send out a notice on the date and time to Commissioners.

The meeting was adjourned at 6:04 p.m.

Submitted as True and Correct:

Reuben McKnight
Historic Preservation Officer

Members

Mark McIntire, *Chair*
Bret Maddox, S.E., *Vice Chair*
Katie Chase
Edward Echte
Ken House
Jonah Jensen
Megan Luce
Daniel Rahe
Duke York

Ross Buffington, Wedge Neighborhood Ex-Officio
Marshall McClintock, North Slope Ex-Officio

Staff

Reuben McKnight, Historic Preservation Officer
Tonie Cook, Landmarks Coordinator

draft



MINUTES

Landmarks Preservation Commission Community and Economic Development Department

Date: October 10, 2012

LPC 86/12

Location: 747 Market Street, Tacoma Municipal Building, Room 248

Commission Members in Attendance:

Mark McIntire, *Chair*
Ross Buffington
Katie Chase
Edward Echte
Ken House
Megan Luce
Marshall McClintock
Daniel Rahe
Duke York

Staff Present:

Reuben McKnight
Tonie Cook
Lisa Wojtanowicz

Others Present:

Kevin Lukinbill, Annette Lukinbill, Michael Sullivan,
Thomas McCarthy, Dan Swanberg, Carol Magelssen

Commission Members Absent:

Commissioners Jonah Jensen and Vice Chair Bret Maddox

Chair Mark McIntire called the meeting to order at 5:00 p.m.

1. CONSENT AGENDA

A. Excusal of Absences

Commissioners Jonah Jensen and Bret Maddox were excused.

B. Summary of Administrative Reviews

The Administrative Review Summary listing projects approved was accepted.

2. DESIGN REVIEW

OLD BUSINESS**A. 901 North K Street (North Slope)**

Mr. Reuben McKnight read the staff report as follows. This is a retroactive application for:

- 1) Removal of one rear non historic slider-type window and replace with one double hung wood clad Marvin window in the existing opening; the removal and replacement of one non historic window and replace it in a traditional style is appropriate and exempt from review.
- 2) Removal of one rear side and one rear double hung windows and replace with two double hung wood clad Marvin windows in the existing openings.

3) Removal of one second level rear nonhistoric door and replace with metal 9-lite exterior Jeldwen door. The existing door opening was covered until a second story deck and stairway was installed, after design review and approval by the Commission in 2008.

At the Commission discussion on 9/26/12, it was determined that the original sashes may still be on site. The Commission deferred the decision on the application and instructed staff to visit the property and assess the condition of the original sashes.

Following the meeting, the property owner informed staff that the window sashes were no longer on his property (apparently were stolen from beside the garage where they had been left since removal).

Standards to be considered.

North Slope Special Review District Guidelines

#6, Exterior Materials. Goals: Use compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope Neighborhood were sided with shingles, or with lapped, horizontal wood siding of various widths. Subsequently, a few compatible brick or stucco-covered structures were constructed, although many later uses of these two materials do not fit the character of the neighborhood. Additions to existing buildings should be sided with a material to match, or be compatible with, the original or existing materials. New structures should utilize exterior materials similar to those typically found in the neighborhood.

#7. Rhythm of Openings. Goals: Respect the patterns and orientations of door and window openings as represented in the neighboring buildings. Typically, older buildings have doors and transoms that matched the head height of the adjacent windows. Doors also tend to be paneled or contain glazed openings. Windows are vertically oriented. Large horizontal expanses of glass are created by ganging two or more windows into a series. Most windows are either single or double hung, with a few casement windows being incorporated into the designs. Many of the buildings had the upper sash articulated into smaller panels, either with muntin bars, leaded glazing, or arches. Most older windows were also surrounded with substantial trim pieces or window head trim.

Analysis to be considered.

1. The home on the property is historically significant as a contributing structure in the North Slope Historic District; it was constructed in 1892. As part of the North Slope it is listed on the Tacoma, Washington and National Registers of Historic Places.
2. The Landmarks Preservation Commission has jurisdiction to review and approve, or not approve, changes to this building including new construction per TMC 13.05.047, prior to those changes being made, by virtue of its status as a City Landmark.
3. The removal and replacement of one slider style window with a traditional style window and the one non historic door replacement are exempt per the Administrative Review Bylaws.
4. The removal and replacement of two original double hung windows was completed without review by the Landmarks Preservation Commission as required by TMC 13.05.047. Since the installation, the owner has applied for the building permit and the current design review.
5. A retroactive proposal to remove existing wood windows and install wood clad windows does not appear to meet North Slope Special Review District Guideline #6 Exterior Materials, specifically, *"Use compatible materials that respect the visual appearance of the surrounding buildings..."*
6. The installation of a traditional style of double hung windows in the existing original openings does appear to meet NSHD Guideline #7. Rhythm of Openings, specifically, *"Respect the patterns and orientations of door and window openings as represented in the neighboring buildings...windows are vertically oriented...most windows are either single or double hung..."*

7. The two windows are located on the side rear and rear elevations which may appear to reduce the visibility of the windows from the right of way, however the home is located on a corner, therefore, the side and rear elevations are more visible to the street.

8. The Commission has approved fiberglass wood clad windows on rear elevations.

9. At the Commission discussion on 9/26/12, it was determined that the original sashes may still be on site. The Commission deferred the decision on the application and instructed staff to visit the property and assess the condition of the original sashes.

10. However, following the meeting, the property owner informed staff that the window sashes were no longer on his property (apparently were stolen from beside the garage where they had been left since removal).

Staff recommended approval of the analysis as findings and recommended approval of the retroactive application by the Commission.

There was a motion:

"I move that we, the Landmarks Preservation Commission, accept the analysis as findings and approval of the retroactive application for installation of the fiberglass wood clad windows on the property at 901 North K St"

MOTION: Chase

SECOND: Echtle

MOTION: Carried

Mr. McKnight stated the written decision will be issued and the owners can apply for permits.

B. Elks-McMenamins Project Revisions

This is an update and follow up on the Elks-McMenamins project revisions.

Mr. Rebuen McKnight read the staff report as follows. On October 5, 2010, the Landmarks Preservation Commission issued an approval for exterior renovations related to the proposed Elks-McMenamins project, including repair, refabrication or replacement of certain elements, canopies, ADA access, signs and related elements. A related approval by the Commission allowed for the demolition of the annex, which is a 1937 addition to the main temple that housed, among other things, a handball court. This approval was issued separately, because the two structures sit on different parcels that were under different ownership. The annex was to be removed as a part of the Elks On Broadway mixed use development, which would have bordered the Elks Temple and included structured parking and hotel rooms.

The Elks-McMenamins project is currently in the permitting process. Since the 2010 approval by the Landmarks Preservation Commission, several things have changed. The Elks On Broadway project is no longer proposed, and the 1937 annex will not be removed. Instead, hotel rooms will be included within the Elks Temple, necessitating several interior changes to the structure, which will affect the exterior appearance.

On September 26, staff sought guidance for several of these alterations, as follows:

- Addition of a shed-roofed skylight in the center of the roof to allow for daylight into the upper floors of the temple
- Addition of windows to the north wall of the annex

The Commission provided the following guidance to staff:

- The skylight should be lowered to parapet level or be redesigned to be bilaterally symmetrical, to complement the symmetry of the building.
- There were no concerns with the proposed windows, except for a single window on the 4th floor of the annex, which appeared to be out of alignment with the other windows in its column.

The Commission indicated that if these items were addressed, the changes would be suitable for administrative review.

Since the previous meeting staff has discussed the changes with the design team, and updated drawings are included in the Commission packet.

Skylight: the overall height of the skylight has been lowered substantially, and is now symmetrical with a ridged roof, per the Commission's feedback.

Window: the window that is out of "alignment" is an existing window, as are the other fourth floor windows. The windows on the lower floors are in a different alignment due to a code required egress stair at the end of the corridor onto which the hotel rooms open. The location of the stair well was dictated by the 1) the need to access the Commerce level lobby, 2) a desire to avoid interrupting the window patterning on the front elevation of the annex. It is possible to relocate the existing window to be in alignment with the new windows, if it is an issue.

This information is provided as an update as well as to provide a clarification on some of the issues discussed on 9/26/12. If there are no additional concerns, no action is required.

Commissioner Megan Luce stated that she appreciated the redesign of the skylight.

Commissioner Edward Echtle stated that the window configuration is a reasonable accommodation to make the building code compliant and does not significantly impact the appearance on that elevation.

3. BOARD BRIEFINGS

A. Minimum Buildings and Structures Code

Ms. Lisa Wojtanowicz, Division Manager of Community Based Services/Code Enforcement, provided an overview on the update of TMC 2.02, Minimum Buildings and Structures Code, specifically, highlighting efforts to improve the code's compatibility with historic structures and the Landmarks Preservation Commission's design review process. This includes changes to definitions, procedural requirements, and code-mandated repair requirements for substandard structures that are historically designated properties.

A working draft of the code was included in the Commission's meeting packet.

Ms. Lisa Wojtanowicz reported that since the 1999 adoption of the Minimum Buildings and Structures Code, this is the first major update other than a few small changes. She showed a graphic identifying 10% of the code enforcement activity equals to about 500 annual cases of substandard, derelict, and dangerous buildings.

She stated that she is working closely with historic preservation services, including amending the language to use common definitions and terms and provisions to allow the Building Official flexibility to protect the character and integrity of historic properties.

She cited code language changes such as the provision of evidence submittal at hearings to retain historic features and cost recovery, changes to timeframes to allow repair to assets, and cited ideas for being more proactive.

Commissioners talked about the idea of using previous situations from the local community as a learning / tabletop exercise tool to become more proactive rather than by responding to enforcement [i.e. reaction to a problem]. She talked about the interest in piloting an area to see what proactive enforcement would look like. She also highlighted the need for resources.

Michael Sullivan, Artifacts Consulting, asked about using the IEBC (International Existing Building Code), which is cited in the code update; he suggested ideas about the use of power during construction versus occupancy and, supporting sustainability goals by retaining usable materials as an approach through deconstruction or zero waste.

She also talked about ideas for changing code enforcement in future amendment cycles; sustainability,

Commissioner Marshall McClintock supported the language whereby complaints can be reported anonymously to the city.

The following items were also discussed.

1. *Repair standards, specifically, window glazing and energy codes.* Ms. Lisa Wojtanowicz highlighted TMC 2.01.040, Exceptions, D. Glass Replacement. She noted the citation, specifically, "*Historic structures may require an exception*" has yet to be refined to provide for consistency and alignment with the landmarks regulations.
2. TMC 2.01.060, Administration and Process 8 Hearing Procedures, 11.
There was discussion on the percentage of the assessed value of the building used by the Hearing Officer to determine a recommendation that the building be demolished. Ms. Lisa Wojtanowicz talked about refining this to include language that considers historic properties and retaining historic character features.

B. 1239 East 54th Street – J.M. Hendrickson Homestead

Chair Mark McIntire recused himself from this agenda item.

Commissioner Ken House chaired the 1239 East 54th Street agenda item; he requested Mr. Reuben McKnight to deliver the Staff Report which follows.

This is a follow up discussion from the Architectural Review Committee's site visit on 10/3/12 to the property, regarding the proposal to short plat a portion of the agricultural space.

Key questions for discussion include:

1. Could some portion of the existing property be removed and developed, while retaining the historic character and integrity of the original farmstead?
2. If so, of the proposals shown by the applicant, is there a preferred proposal?
3. Are there other mitigation options that the Commission would request (for example, monuments marking the original boundaries of the homestead)? He added the current homestead size is not the original size of land.

The desired outcome of this discussion is guidance and direction for the property owner regarding the feasibility of proceeding with the efforts to short plat the property.

Commissioner Ken House asked for comments by Commissioners who attended the site visit.

Commissioner Duke York commented on the site visit and learned that previous to the landmark designation, subplotting is part of the history of this specific land, which is a precedent; he further commented on consideration

of the proposed Option 1 (by the owner) which retains the historic structures on the main parcel, monument marking these main corners of this parcel, and subplotting the remainder of the property.

Commissioner Ken House stated that he attended the site visit and commented on the substantial piece of property where the house, garage, and barn are sited; he further stated that he could support the change to the boundaries, noting that the ideal is to retain the entire property as a designated homestead landmark. He asked about finding a clear mechanism to make this change.

Commissioner Katie Chase also posed the issue of design review process since there is no development proposed at this point (i.e. to conduct design review).

Mr. Reuben McKnight highlighted several issues, including release of all interest as a landmark, the difficulty of reviewing a cultural landscape and masterplan development; creating a process for the Commission to support short platting, a review process for a certain amount of design and setting conditions, what outcomes the Commission would place on residential proposals.

Mr. Dan Swanberg, Home Team Northwest, who is working with the property owner, offered there is no proposed design plan because of the uncertainty of the landmark designation.

Commissioner Ken House noted the area of the property selected for de-listing is up to the owner to propose.

Mr. Reuben McKnight discussed approaches, including 1) filing an amended resolution with a new property and legal description, and conducting a public hearing, or, 2) requesting a full rescission, noting there may be a need for some guidance to the owner from the Commission prior to action; he stated that he has not heard in these discussions by the Commission support for removal of the entire listing.

Commissioner Edward Echtle posed that this process could become a model for future cases where the landscape context is part of the significance of the site with interpretive signage and marking the corners, in cases where additional land is needed for other purposes than its landmark status.

Commissioner Ken House stated that he was supportive of changing the boundaries and retaining some of the property on the Tacoma Register of Historic Places.

Mr. Reuben McKnight stated that he will work with the property owner to amend the boundaries, (i.e. the portion of the parcel with structures), de-marking the landmark boundaries, and return to the Commission with a proposal including a recommendation for a public hearing date.

Commissioner Ross Buffington asked if there had been any discussion with the city attorney; he talked about using economic hardship outlined in the rescission code as the approach to de-list this property; he expressed concern on how to go about a partial boundary amendment.

Mr. Reuben McKnight talked about rescission as a procedure closest to a process for this type of request; he discussed rescission in cases of economic hardship, in which a request for a certificate of approval application must be denied and then an economic hardship request can be submitted; he added, in this case, there is no application proposal before the Commission.

Commissioner Ross Buffington talked about the situation of the owner who wants to sell the property and the development proposal would be submitted on a date after the sale, therefore, in this situation, a request for a certificate of approval on a proposal cannot be denied for this property owner.

Mr. Reuben McKnight described the intent of the code for the rescission process, and the fact that this type of request was not anticipated when the code (on rescission) was written; and, in consideration of that history, the approach is to develop what would be the best workable procedure for use by the Commission.

Commissioner Marshall McClintock talked about an economic hardship request made without a denial of a proposal (i.e. for a certificate of approval) and to find a way to re-draw, amend the boundaries, through an economic hardship request for the section of land not in use and the case include such documentation as, lack of maintenance of the land and fines. Further, develop an economic hardship case based on those fines being accumulated and the lack of funds to provide support over long-term to maintain the property and redraw the lines on that part of the property. He stated that this may be a way for the Commission to hear the request as an economic hardship request.

Mr. Reuben McKnight discussed rescission and cited TMC 13.07.055 Rescission of Landmarks Designation, Section C. *The Landmarks Preservation Commission may itself also request removal of a property from the Historic Register in instances where: 2. The Commission finds that retaining the property on the Historic Register does not further the goals and objectives of this Chapter and the Preservation Plan.*

Commissioner Marshall McClintock commented on rescission decision-making by the Commission, in which the Commission does not take action to redraw boundary lines arbitrarily, but with clear, strong reasons and with great deliberation; the amendment to a listed property is done with careful assessment and recommended that economic hardship provides a route.

Commissioner Megan Luce talked about this request as a very singular proposal in this specific case to defend the proposal, which needs to be constructed in such a way that cannot be replicated.

Commissioner Duke York summarized the discussion, stating that the directive is clear which is to conduct more research, evaluation, set a public hearing date, and to return with a recommendation.

Mr. Reuben McKnight provided clarification on the consensus: The Commission has a desire to work with the property owner on this request, no one wants to set a random precedent, use the rescission process by approaching it as an economic argument; the Commission can base its decision on the determination of economic hardship and a determination of an amendment.

Commissioner Megan Luce preferred using the amendment route to approach the request.

Mr. Reuben McKnight provided additional clarity, in that the process should include the numbers, to understand whether the proposal is feasible to retain part of the land and release part of it; he added that this is the owner's preference also.

Mr. Dan Swanberg asked the Commission for specific conditions and how they could be met through an amendment process that is being discussed.

Mr. Reuben McKnight talked about documentation of such items as current property value, anticipated value if subdivided, accumulated fines, maintenance costs required, liens to keep it cleaned up, expected revenue, qualitative and/or quantitative personal financial information that is pertinent, to present to the Commission.

Commissioner Megan Luce agreed on the list outlined, noting that because the property owner is the same person who listed it on the register, therefore, the statement can include a description about the change in finances during that timeperiod [i.e. from initial nomination to the current proposal date]. Commissioner Marshall McClintock asked about documentation regarding some consideration of the maintenance on the house, outbuildings, and barn; the costs to maintain those buildings, including anticipated ongoing costs and deferred maintenance.

Commissioner Ken House stated that the information can include documentation on the changes the owner did not anticipate when the property was nominated.

Mr. Reuben McKnight summarized the next steps including consultation on an appropriate procedure to move forward with an amendment to the boundary with a preferred alternative, and return to the Commission with a staff report and request for a hearing date.

4. BOARD BUSINESS

A. Commission Reappointments/Vacancies for 2013

Mr. Reuben McKnight reported on the reappointments and vacancies, as follows.

The following are the expiring terms/vacancies on the Commission. These positions will be openly recruited per City Council policy, with a cutoff deadline of November 9, 2012.

Commissioner	Expiration date	Position
Mark McIntire	12/31/12	Architect #3
Bret Maddox	12/31/12	At Large #3
Ken House	12/31/12	Professional #4
Katie Chase	12/12/12	Professional #3
Edward Echtle	12/31/12	At Large #2
Vacant	12/31/14	Architect #1

B. Other

Mr. Reuben McKnight encouraged attendance at an upcoming training opportunity for Commissioners sponsored by Pierce County. The National Alliance for Preservation Commissions (NAPC) will conduct the CAMP on November 17, 2012.

The meeting was adjourned at 6:39 p.m.

Submitted as True and Correct:

Reuben McKnight
Historic Preservation Officer

Members

Mark McIntire, *Chair*
Bret Maddox, S.E., *Vice Chair*
Katie Chase
Edward Echtle
Ken House
Jonah Jensen
Megan Luce
Daniel Rahe
Duke York

Ross Buffington, Wedge Neighborhood Ex-Officio
Marshall McClintock, North Slope Ex-Officio

Staff

Reuben McKnight, Historic Preservation Officer
Tonie Cook, Landmarks Coordinator

draft



MINUTES

Landmarks Preservation Commission Community and Economic Development Department

Date: October 24, 2012

LPC 87/12

Location: 747 Market Street, Tacoma Municipal Building, Room 248

Commission Members in Attendance:

Mark McIntire, *Chair*
Bret Maddox, S.E., *Vice Chair*
Ross Buffington
Katie Chase
Ken House
Megan Luce
Marshall McClintock
Daniel Rahe
Duke York

Staff Present:

Reuben McKnight
Tonie Cook

Others Present:

Joel Chrisman, Joe Williamson, Howard Welborn,
Michael Case, Michael Sullivan

Commission Members Absent:

Commissioners Edward Echtle and Jonah Jensen

Chair Mark McIntire called the meeting to order at 5:00 p.m.

1. CONSENT AGENDA

A. Excusal of Absences

Commissioners Jonah Jensen was excused.

B. Summary of Administrative Reviews

The Administrative Review Summary listing projects approved from October 11, 2012 through October 18, 2012 was accepted.

2. SPECIAL TAX VALUATION

Ms. Tonie Cook read the staff report beginning with the overview of the local legislation authority, as follows.

WAC 254-20 enables local governments adopt local legislation to provide special valuation of historic properties that have been rehabilitated. With regard to the application review process, state law authorizes local historic review boards to determine:

1. Whether the property is included within a class of historic property determined eligible for special valuation by the local legislative authority under an ordinance or administrative rule (in Tacoma, this means properties defined as City Landmarks);
2. Whether the property has been rehabilitated at a cost equal to or exceeding 25% of the assessed improvement value at the beginning of the project within twenty-four months prior to the date of application; and

3. Whether the property has not been altered in any way which adversely affects those elements which qualify it as historically significant.

If the local review board finds that the property satisfies all three of the above requirements, then it shall, on behalf of the local jurisdiction, enter into an agreement with the owner which, at a minimum, includes the provisions set forth in WAC [254-20-120](#). Upon execution of said agreement between the owner and the local review board, the local review board shall approve the application.

Per TMC 1.42, the Tacoma Landmarks Commission is the local body that approves applications for Special Tax Valuation.

1. Properties must be listed on the Tacoma Register of Historic Places;
2. Property owner must enter into a covenant agreement with the City.

A. 732 Pacific / 731 Commerce (Davies Building)

ANALYSIS

Property Eligibility:	Contributing Property, Old City Hall Historic District
Rehabilitation Cost Claimed:	\$239,040
Assessed Improvement Value Prior to Rehabilitation:	\$583,000
Rehabilitation percentage of assessed value:	42.7169%
Project Period:	10/2009 to 10/2010 (approximately 1 year)
Appropriateness of Rehabilitation:	Exterior work included removal and installation of windows and new roofing, and interior improvements. The LPC issued a certificate of approval for the exterior work on 9/14/11.

Staff reviewed the itemized expense sheet and recommended approval of this application in the amount of \$252,121.34 (43.245% of assessed value), reflecting verification of claimed expenses, including an addition in the total amount of \$13,081.34 (43.245% of assessed value) from the original claimed amount for a transposition error (\$9999.99) and for corrected Architect fees (\$3,081.35).

There was a motion:

"I move that we, the Landmarks Preservation Commission, approve the Special Tax Valuation for 732 Pacific Avenue, in the amount of \$252,121.34".

MOTION: House
SECOND: York
MOTION: Carried

B. 1111 North 4th Street (North Slope)

ANALYSIS

Property Eligibility:	Contributing Property, North Slope Historic District
Rehabilitation Cost Claimed:	\$104,141.80
Assessed Improvement Value Prior to Rehabilitation:	\$122,200
Rehabilitation percentage of assessed value:	85.222%
Project Period:	08/04/10 to 08/03/12 (approximately 2 years)

Appropriateness of Rehabilitation:

Exterior work that occurred during 2010 through 2012 included stabilizing the foundation, installation of all wood windows, replacement of new roof and siding; in additional complete renovation of the interior, replacement of rotting joists, structural beams, electrical panels and circuits. This property was previously subject to a prolonged enforcement action under a previous owner; the current project received certificates of approval from the Commission on 9/22/10 and 7/29/11.

Staff reviewed the itemized expense sheet and recommended approval of this application in the amount of \$103,813.34 (84.953% of assessed value), reflecting verification of claimed expenses, including a deduction in the total amount of \$328.46 from the original claimed amount for taxes and insurance outside the rehabilitation time period.

There was a motion:

"I move that we, the Landmarks Preservation Commission, approve the Special Tax Valuation for 1111 North 4th Street, in the amount of \$103,813.34".

MOTION: York

SECOND: Luce

MOTION: Carried

C. One North Broadway (Edgecliff Apartments)

Commissioner Katie Chase was recused from this agenda item.

ANALYSIS

Property Eligibility:

Designated City Landmark, August 17, 2010

Rehabilitation Cost Claimed:

\$328,150

Assessed Improvement Value Prior to Rehabilitation:

\$891,400

Rehabilitation percentage of assessed value:

36.813%

Project Period:

10/02/2010 to 10/01/12 (approximately 2 years)

Appropriateness of Rehabilitation:

Exterior work that occurred during 2010-2012 included the repair and selective in-kind replacement of deteriorated windows, gutters, downspouts, and soffits; exterior wood walls repainted and brick repointed. Interior hallways and apartment units renovated. This work was approved via Administrative Review on 7/8/11.

Staff reviewed the itemized expense sheet and recommended approval of this application in the amount of \$326,597.50 (3.639% of assessed value), reflecting verification of claimed expenses, including a deduction in the total amount of \$1,552.50 from the original claimed amount for grounds planting, pruning and improvements.

There was a motion:

"I move that we, the Landmarks Preservation Commission, approve the Special Tax Valuation for One North Broadway, in the amount of \$326,597.50".

MOTION: York

SECOND: Raye

MOTION: Carried

4. BOARD BUSINESS

Mr. Reuben McKnight reviewed the proposed annual amendment of the Bylaws and Inventory as follows.

The Landmarks Preservation Commission Bylaws may be amended annually by vote at the first meeting of December. The bylaws will be reviewed at this meeting. The Commission is encouraged to provide additional proposals to the Bylaws. A public hearing is scheduled for November 14, 2012, at 5:00 pm, Tacoma Municipal Building, 747 Market Street, Room 248.

A hardcopy of the Bylaws will be available at the Commission meeting on October 24, 2012. An electronic version of the bylaws with the below proposed changes is available online at <http://tacomaculture.org/historic/resources.asp> Click on 10/24/12 packets.

He presented the following detail on the proposed amendments through October 18, 2012.

1. Conditional Use Permit: On June 20, 2012, the following amendment concerning land use issues was presented to the Commission.

Amend Section 2: Review Procedures, II. Other Review Policies, A. Variances, items 1 and 2 to read as follows (see page 10 of Bylaws):

A. Variances

1. The Commission shall not formally review or approve any project for which a variance or conditional use permit is required and has not yet been granted.

2. Applications requiring a variance or conditional use permit may be presented to the Commission for feedback in a briefing context.

2. Meeting Time: Change regular meeting start time to 5:30 p.m.

Amend Section 1: Administrative Procedures, V. Meetings Procedures, A. Public Meetings to read as follows: (see page 3 of Bylaws)

Regular public meetings of the Commission shall be held on the second and fourth Wednesday of each month at ~~5:00~~ 5:30 p.m. in a location designated by the Commission and indicated on the agenda and other public documents announcing the meeting.

3. North Slope Historic District Inventory

Amend Section 5: Appendix D, North Slope Historic District

Add property to inventory: New construction in 2007 at 1116 N K St, which was not listed in the inventory, status is noncontributing property.

4. Wedge Neighborhood Historic District Inventory

Amend Section 5: Appendices, to add Appendix E, Wedge Neighborhood Historic District Inventory

5. Amendment to Design Guidelines for the North Slope Historic District / Wedge Neighborhood Historic and Conservation Districts, TMC 31.07

The draft Design Guidelines for the North Slope Historic District / Wedge Neighborhood Historic and Conservation District has been reviewed by the Commission at several committee and regular meetings in 2012, including providing a public information session on October 18, 2012.

Commissioner Ross Buffington stated that he had some questions on the Wedge Inventory; he would provide the information to staff.

The meeting was adjourned at 5:17 p.m.

Submitted as True and Correct:

Reuben McKnight
Historic Preservation Officer



STAFF REPORT

LPC 84/12
November 14, 2012

PUBLIC HEARING – Amending the Rules and Regulations (Bylaws)

NOTES ON GENERAL ORDER

The Landmarks Preservation Commission will hear public comments today regarding the annual amendment to the Rules and Regulations of the Tacoma Landmarks Preservation Commission per procedures defined in TMC 13.07.120.

The purpose of this hearing is to receive public comments regarding the proposed changes. At the close of the public hearing, the Commission shall review public testimony and take action to approve, amend, or deny the proposed changes no sooner than its next regularly scheduled meeting.

Notice was mailed to affected property owners on October 4, 2012 as well as October 31, 2012, and notice was published in the Tacoma News Tribune on November 7, 2012.

An electronic version of the bylaws with the below proposed changes has been posted online at <http://tacomaculture.org/historic/resources.asp>

A hardcopy will be available at the November 14, 2012 public hearing.

AGENDA ITEM 3A: Amending the Commission Rules and Regulations

Staff

BACKGROUND

The Landmarks Preservation Commission is required to maintain administrative rules per 13.07.070. The Commission amends its Rules and Regulations once annually by vote at the first meeting of December. This item is scheduled for Commission vote on December 12.

The following is a description of the proposed amendments.

Page 3: Amend Section 1: Administrative Procedures, V. Meetings Procedures, A. Public Meetings
references the change of the regular public meeting start time to 5:30 pm.

Page 10: Amend Section 2: Review Procedures, II. Other Review Policies, A. Variances, items 1 and 2
references the addition of conditional use permit

In addition, changes are proposed to the Design Guidelines for the Wedge Neighborhood and North Slope Historic Districts, which requires a public hearing per TMC 13.07.120.

AGENDA ITEM 3B: Historic District Building Inventory Updates

Staff

BACKGROUND

The Landmarks Preservation Commission is required to maintain building inventories for Historic Special Review Districts in Tacoma per 13.07.070. The Commission amends its Rules and Regulations once annually by vote at the first meeting of December, including Historic District Building Inventories. This item is scheduled for Commission vote on December 12.

The following is a description of the proposed amendments:

Amend Section 5: Changes to Appendix D, North Slope Historic Special Review District Inventory to add the following: 1116 N K Street property, as a non contributing property, built in 2007

Amend Section 5: Add Appendix E, Wedge Neighborhood Historic District Inventory

AGENDA ITEM 3C: Wedge Neighborhood and North Slope Historic District Design Guidelines Update

Staff

BACKGROUND

The Landmarks Preservation Commission is required to maintain Design Guidelines for Historic Special Review Districts in Tacoma per TMC 13.07.120. These guidelines may be amended once annually concurrent with the amendment of the Commission Bylaws. This item is scheduled for Commission vote on December 12.

These draft Design Guidelines for the North Slope Historic District / Wedge Neighborhood Historic and Conservation District were reviewed by the Commission at several committee and regular meetings in 2012. Staff and commissioners conducted a public information session on October 18, 2012.

Major changes include:

1. Development of new sections for common remodeling projects, including windows, siding, doors, roofs, and additions.
2. Alignment of the design guidelines with Secretary of the Interior's Standards for the Rehabilitation of Historic Properties, including the incorporation of general preservation principles.
3. Creation of new language relating to sustainability.

There are no changes regarding the authority of the Landmarks Preservation Commission or historic district requirements for review.

DESIGN REVIEW

AGENDA ITEM 4A: 1407 North 5th Street (North Slope)

Cory Shumate, Property Owner

BACKGROUND

On June 20, 2012 the Commission approved new construction of a single family residence on a vacant lot located at 1407 North 5th Street within the North Slope Historic Special Review District. The current proposal is to construct a new 15' X 20' detached garage at the rear of the property. The garage proposes a composition roof with 7:12 pitch, which is the same roof pitch as the house on the property, with an overall height of approximately 14' on the garage. The proposed exterior cladding is Hardie Plank 5 ¼ lapsiding with 4 inch exposure. The new garage will have a roll-up metal panel door with 4 upper windows and one man door.

The proposed site plan was reviewed by City of Tacoma Building, Land Use and Engineering Services. The detached garage does not require a driveway because of its close proximity to the alley nor does it cross a sidewalk. Adjacent to the garage, a 10' X 20' parking stall with two 12" wide poured concrete tire strips is also proposed.

Background prior to the Commission's approval of the single family residence on June 20:

Until the property went through a boundary line adjustment in 2007, this lot was part of the adjacent property at 1405 N 5th Street; the residence was originally constructed in 1901. Until 2007, the existing adjacent house was one of two residences that had been combined for use as an office/medical center from the 1940's to 1960's. In 2007, the non-original additions were approved for removal, as well as subsequently infilling the openings created by the demolition. Since that time, both homes adjacent to this lot have gone through rehabilitation for residential use.

STANDARDS

North Slope Historic Special Review District Guidelines

1. Height. Goal: Balance the overall height of new construction with that of nearby structures. In the rehabilitation of existing buildings, the present height of the structure should remain intact. New buildings should step down to be comparable in height to adjacent structures.
2. Scale. Goal: Relate the size and proportion of new buildings to those of the neighborhood. Scale refers to a building's comparative relationship to neighboring structures, and its fit within the district. Building facades should be of a scale compatible with surrounding buildings, and maintain a comparable setback from the property line to adjacent buildings, as permitted by applicable zoning regulations. Scale is also determined by the proportions of the architectural elements within the composition of the individual building facades. Window and door proportions (including the design of sash and frames), floor heights, floor shapes, roof shapes and pitches, and other elements of the building exterior should relate to the scale of the neighborhood.
5. Roof Shapes and Materials. Goal: Utilize traditional roof shapes, pitches, and compatible finish materials on all new structures, porches, additions, and detached outbuildings wherever such elements are visible from the street. Maintain the present roof pitches of existing Pivotal, Primary, and Secondary buildings where such elements are visible from the street. Typically, the existing, historic buildings in the neighborhood either have gable roofs with the slopes of the roofs between 5:12 to 12:12 or more, and with the pitch oriented either parallel to or perpendicular to the public right-of-way, or have hipped roofs with roof slopes somewhat lower. Most roofs also have architectural details, such as cross gables, dormers, and/or widow's walks, to break up the large sloped planes of the roof. Wide roof overhangs, decorative eaves or brackets, and cornices can be creatively used to enhance the appearance of the roof.
6. Exterior Materials. Goals: Use compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope Neighborhood were sided with shingles, or with lapped, horizontal wood siding of various widths. Subsequently, a few compatible brick or stucco-covered structures were constructed, although many later uses of these two materials do not fit the character of the neighborhood. Additions to existing buildings should be sided with a material to match, or be compatible with, the original or existing materials. New structures should utilize exterior materials similar to those typically found in the neighborhood.
9. Parking. Goal: Minimize views of parking and garages from the public right-of-way. Most early houses provided space for storing various means of transportation, from horses and carriages to automobiles; however, these structures were nearly always entered from the alley rather than from the street...Setting garages and carport structures back from the front of the building reduces their visual importance.

ANALYSIS

1. On June 20, 2012, the Commission approved the new construction design for a new single family residence on the property, in the North Slope Historic Special Review District.
2. The Landmarks Preservation Commission has jurisdiction to review and approve, or not approve, new construction at this property per TMC 13.05.047, prior to those changes being made, by virtue of its location within the North Slope Historic Special Review District.
3. The new garage is proposed on the rear elevation of the property as a detached structure, which will be visible from the alley and can be seen from 5th Street. The structure will be located on the rear of the property allowing entry from the alley, which meets the North Slope Historic District Guideline number 9, *Parking, specifically for, "Minimize [ing] views of parking and garages from the public right-of-way. Most early houses provided space for storing various means of transportation, from horses and carriages to automobiles; however, these structures were nearly always entered from the alley rather than from the street...Setting garages and carport structures back from the front of the building reduces their visual importance"*.
4. The proposed new garage with an overall height of 14 feet appears to meet North Slope Historic District Guideline number 1, Height, specifically for "...New buildings should step down to be comparable in height to adjacent structures". The height of the residence on the property is 30 feet.

5. The garage proposal appears to meet North Slope Historic District Guideline number 2, Scale, for “...*relate [ing] the size and proportion of new buildings to those of the neighborhood. Scale refers to a building's comparative relationship to neighboring structures, and its fit within the district...*”
6. The proposed gable roof with a 7:12 roof pitch meets North Slope Historic District Guideline number 5 for Roof Shapes and Materials with the goal of, “...*between 5:12 to 12:12...*”; the proposed building is a secondary structure on the property and the proposed 7:12 roof pitch matches the roof pitch on the house.
7. The materials proposed for the garage, including Hardie Plank 5¼ lapsiding with 4-inch reveal, appear to be compatible with traditional materials in the Historic District and meets North Slope Historic District Guideline number 6, Exterior Materials, specifically for, “...*New structures should utilize exterior materials similar to those typically found in the neighborhood...*” Hardie Plank horizontal smooth texture siding has been approved by the Commission on new structures and matches the cladding on the new home on the property.
8. The proposed site plan was reviewed by City of Tacoma Engineering Division. The detached garage does not require a driveway because of its close proximity to the alley and it will not cross a sidewalk. Two 12” wide poured concrete tire strips on the 10’ X 20’ parking stall is also proposed and does not require a driveway.

RECOMMENDATION

Staff recommends adopting the above as findings and recommends approval by the Commission.

BOARD BUSINESS

AGENDA ITEM 6A: Officer Nominations

According to LPC Bylaws, Officers shall be nominated at the first meeting in December of each year. Elections shall be held at the following meeting. New officers will assume duties at the meeting following their election. For your reference, the section on Nominations and Elections is contained in the enclosed Bylaws, Section 1. Administrative Procedures, page 2.

In 2011, the Commission recommended no formal nomination committee be established and to nominate officers from the floor at the meeting at their December meeting.

PENDING AGENDA ITEMS

December 12, 2012 -Bylaws Amendment Approval
Officer Nominations/Elections

Design Review

915 N M Street: partial window replacement

Nominations/Other

Kellogg-Sicker Building and Pochert Building (Brown’s Star Grill properties)

1239 E 54th Street, JM Homestead short plat request

933 Market Street: rescission of designation request

Historic Pavements

Landmarks Preservation Commission

Community and Economic Development Department



RULES AND REGULATIONS

The following Rules and Regulations of the Tacoma Landmarks Preservation Commission were adopted by the Commission at its January 24, 2007 meeting. These rules and regulations conform to the statutory authority of the Tacoma Municipal Code (Title 1, Chapter 1.42 Landmarks Preservation Commission, and Title 13, Chapter 13.07 – Landmarks and Historic Districts). Amendments to these Bylaws may be made annually.

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¹ Amendment 2012

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SECTION 1: Administrative Procedures

I. Election and Terms of Office

A. The Commission shall elect its own Chair, Vice-Chair, and such other officers as from time to time it may determine it requires, all of whom shall be members of the Commission.

1. Nominations and Elections – Officers shall be nominated at the first meeting in December of each year. Elections shall be held at the following meeting. New officers will assume duties at the meeting following their election.

2. Officer Qualification Considerations – The Officers should:

- a) be interested in holding the position(s);
- b) be able to devote sufficient time to Commission business;
- c) be committed to attending as many regular and special Commission meetings as possible;
- d) be prepared to make presentations to the City Council, citizens, committees, neighborhood groups, and service clubs regarding Commission responsibilities, projects, plans and policies; and
- e) have sufficient experience on the Commission to understand its role and functions and to have a basic understanding of the City's Comprehensive Plan policies and development regulations.

B. The term of office shall be for one (1) year or until the next scheduled election. In case of any vacancy in office, the vacancy shall be filled by an election at the first regular meeting after the occurrence of such vacancy.

II. Duties of Officers

A. Chair – The Chair shall preside over all meetings of the Commission. All resolutions

adopted by the Commission and Commission correspondence shall be signed in his/her name as Chair of the Commission.

B. Vice-Chair – In the event of the absence of the Chair or his/her inability to act, the Vice-Chair shall take his/her place and perform his/her duties. In the event of the absences or inability to act of both the Chair and the Vice-Chair, the remaining members of the Commission shall appoint one of their members to temporarily act as Chair.

III. Establishment of Advisory Committees and Architectural Review Committee

A. Advisory Committees – The Commission may establish advisory committees as it deems appropriate by a vote of the commission. Advisory Committees may be established from time to time to examine and make recommendations to the full Commission regarding certain preservation issues in the community. Advisory Committees are informal and shall not take action on any pending board business nor deliberate on specific applications before the board. Interested members of the community who are not appointed Commission members may join advisory committees.

B. Architectural Review Committee – The Architectural Review Committee (ARC) is established for the purpose of advising applicants regarding the design and appropriateness of proposed projects pending Commission review. The Commissioners appointed as Architects shall serve on the ARC, in addition to any other interested Commissioners. The ARC shall meet on a regular time and day established by the Commission, on an as needed basis. The Commission may request the ARC to review pending projects and solicit recommendations on those projects, and applicants may request feedback from the ARC regarding an application to the Commission. The Commission may also delegate final approval of a project to administrative review via Commission motion and vote

at a regular public meeting, pending ARC review and recommendation.

IV. Historic Preservation Officer

The Historic Preservation Officer shall organize and supervise clerical details of the Commission's business and shall be responsible to the Commission for the proper preparation and maintenance of records of meetings, hearings, official actions and all public records, per TMC 1.42.100. The Historic Preservation Officer shall serve as the primary professional liaison for Commission business, and may make recommendations or generate opinions for the Commission as an ex officio member.

V. Meetings Procedures

- A. Public Meetings – Regular public meetings of the Commission shall be held on the second and fourth Wednesday of each month at 5:00² 5:30² p.m. in a location designated by the Commission and indicated on the agenda and other public documents announcing the meeting. If the regular meeting day falls on a legal holiday, the Chair of the Commission shall fix another day therefore and give notice of said meeting as hereinafter providing for “special meetings.” The notice for any regular public meeting shall indicate the date, time, place and business to be transacted, and be distributed prior to the meeting to those individuals and organizations listed on the mailing list that shall be maintained by the Historic Preservation Officer and may be subject to the Commission's approval.³
- B. Public Hearings – Public hearings conducted by the Commission shall be held in a location designated by the Commission and indicated in the notice of hearing. The date and time of the hearing shall be determined by the Commission and indicated on the notice of hearing. Notices for public hearings shall be distributed in accordance with the Tacoma Municipal Code Section 13.02.057. Notices shall also be mailed, prior to the hearing, to those on the mailing list as hereinabove provided, to those individuals or organizations which have indicated in writing to the Community and Economic Development Department an interest in the

subject(s) of the hearing, and to other interested parties as deemed appropriate by the Commission. An additional notice shall be required for matters continued for further hearing and continued to a time, date, and place certain.⁴

- C. Special Meetings – Special meetings of the Commission that are set for a time different than ordinarily scheduled, or scheduled to solicit public commentary on a particular item of board business, shall be held at such times as the Commission may determine, or may be called by the Chair for any time upon the written request of three members of the Commission. Special meetings shall be open to the public. Notices of special meetings shall be distributed to the same recipients of notices for regular public meetings, to the recipients on the special press mailing list on file with the City Clerk's Office, and to other interested parties as deemed appropriate by the Commission. Such notice shall indicate the date, time, place and business to be transacted.
- D. Quorum – A quorum for the transaction of official business shall consist of a majority of the members of the Commission per TMC 1.42.
- E. Adjournment – The Chair may, at his or her discretion, call for a motion to end the meeting, or may declare the meeting ended without a formal motion.
- F. Absences – Commissioners unable to attend a meeting may request excusal from the meeting in advance of the meeting by notifying Staff, who shall present the request to the Chair, or may request excusal in person at the next regular meeting following the absence. The Commission shall then approve or deny the request. Upon a member's missing three (3) unexcused consecutive regular meetings, the Commission shall formally afford such member consideration to determine whether the absences are to be excused. If the Commission determines

² Amendment 2012.

³ Amended 12/14/2011

⁴ Amended 12/14/2011

not to excuse such absences, then the Commission shall determine the question of whether the Commission shall recommend to the City Council that such member should be deemed to have forfeited his/her office and a new member be appointed to fill the unexpired term.

- G. Every official act taken by the Commission shall be by resolution or by motion by an affirmative vote of a majority of the quorum. In the event that a member disqualifies themselves or passes, this is to be registered as "abstained". Notwithstanding Robert's Rules of Order, the Chair shall vote on all resolutions or motions.

H. Conduct of Meetings.

1. Order of business:

- a) Roll Call.
- b) Consent Agenda
 - i. Excusal of Absences
 - ii. Approval of minutes not previously approved.
- c) General public comments regarding regular agenda items
- d) Review of Nominations to the Register
 - i. Preliminary Meeting on Nomination
 - 1) Staff reports
 - 2) Comments by the Applicant
 - 3) Comments by the Property Owner
 - 4) Board discussion and questions
 - 5) Actions: forward nomination or not forward nomination, or to defer if more information is required
 - ii. Special Meeting on Nominations to the Tacoma Register
 - 1) Staff Report
 - 2) Presentation by Applicant
 - 3) Comments by Property Owner
 - 4) Public Testimony
 - 5) Close of testimony
 - 6) Actions: Motion to forward nomination to City Council, to

not forward to Council, or to leave the comment period open to a certain date.

- e) Applications for Design Review
 - i. Staff Report
 - ii. Comments by the Applicant or owner
 - iii. Board questions and discussion
 - iv. Action: Approve, Approve with Conditions, Deny or defer for specific additional information
 - f) Board Briefings
 - i. Staff introduction
 - ii. Presentation
 - iii. Questions and discussion
 - iv. Action if appropriate
 - g) Comments by the Chair
 - h) Comments by the Historic Preservation Officer
 - i) Board Business/Preservation Planning
 - j) The preceding order of business may be modified for any meeting by a suspension of the rules, concurred in by a majority of the voting members present, except that consideration of matters set for public hearing must occur at or following the time indicated on the hearing notice.
2. Conduct of public meetings:
- a) The Chair of the Commission shall preside over all public meetings of the Commission except as provided for in Section II of these rules.
 - b) The Chair introduces the agenda items.
 - c) The Historic Preservation Officer or his/her representative, if appropriate, summarizes the staff report or other information

prepared or received by the staff on the agenda item.

- d) The Chair shall allow for comments or presentations by representatives of the applicant.
 - e) For normal agenda items that do not require public testimony or public hearings as defined in TMC 13.07, comments by the public may be permitted, but only at the discretion of the Chair.
 - f) The Commission considers the request and may ask questions of the staff or others in attendance at the direction of the Chair.
 - g) The Commission takes appropriate action, if an action is required.
3. Conduct of public hearings and special public meetings:
- a) The Chair of the Commission shall preside over all public hearings and special meetings conducted by the Commission except as provided for in Section II of these rules.
 - b) The Chair calls the public hearing or special meeting to order and announces the procedure for the public hearing or hearing as established by the Commission.
 - c) The Historic Preservation Officer or his/her representative, if appropriate, summarizes the staff report or other information prepared or received by the staff on the hearing item.
 - d) Communications, not contained in the Commission's report, received concerning the hearing item are presented to the Commission.
 - e) The Chair asks for reports from advisory committees if appropriate.
 - f) The Commission hears those persons wishing to give testimony.
 - g) The Chair either closes the hearing or special meeting and announces

the date upon which the record of the hearing will remain open to receive additional written comments, or continues the hearing to a later date if there is a finding by the Chair that all interested parties have not been afforded an adequate opportunity to testify before the Commission or if new information is to be considered on which the Commission feels additional public testimony to be appropriate.

- h) If, in the judgment of the Commission, action is appropriate based upon public testimony and comment received, the Commission may elect to take action on the item immediately following the close of the public hearing or special meeting.
- i) At a meeting(s) subsequent to the public hearing or special meeting, the Commission considers all oral and written testimony concerning the hearing item and acts to approve, disapprove, modify, or defer the decision-making until the completion of additional analyses.

I. Open Public Meetings Act and E-mail Exchanges.

E-mail exchanges between members of the Commission can constitute a violation of the Washington State Open Public Meetings Act (OPMA), Chapter 42.30 RCW. Generally, if a majority of the members participate in an e-mail discussion of Commission business, the members are conducting a meeting in violation of the OPMA requirement that meetings must be "open to the public with prior notice." It is suggested that Commission members observe the following guidelines to avoid OPMA problems with e-mail exchanges:

- 1. When possible, limit e-mail exchanges on issues related to

Commission business to less than a majority of Commission members. Sending copies of an e-mail to less than a majority may not suffice if subsequent exchanges relay the content of the original exchange to a majority of members.

2. Never decide at an open meeting that a majority of the Commission will continue or complete discussion of an agenda item by e-mail.
3. One-sided (no response anticipated) informational e-mails to a majority or more of Commission members are probably consistent with the OPMA. In open meetings, the Commission members should verbally announce that they have sent this type of e-mail if it relates to the discussion at hand. Commission members are free to engage in e-mail exchanges with staff on one-sided e-mails, but not with each other.
4. E-mail exchanges on issues that the Commission will not address are consistent with the OPMA. However, if any reasonable chance exists that an issue relates to a vote that may or will come before the Commission, a majority of the Commission should not subject the issue to e-mail discussion.

VI. Regular Commission Business

- A. Nominations to the Tacoma Register of Historic Places – the Commission shall consider and recommend, pursuant to TMC 13.07, additions of individual properties and historic districts to the Tacoma Register of Historic Places.
- B. Nominations to the Washington State Heritage Register and National Register of Historic Places – the Commission shall respond to requests by the Department of Archaeology and Historic Preservation for review and comments regarding pending nominations to the Washington State Heritage Register and National Register of Historic Places. Such requests may then be forwarded to the Mayor's Office for any additional comment at the discretion of the Manager of the Planning Division.
- C. Name Changes – Per City Council Resolution 38091, the Commission may take public testimony and make recommendations regarding name changes pursuant to the City Council Policy on Place Names and Name Changes.⁵
- D. Design Review – pursuant to TMC 13.05 and 13.07, the Landmarks Preservation Commission shall review and approve or deny applications for alterations to City Landmarks.⁶
- E. Section 106 Review – From time to time the Historic Preservation Officer or lead agency conducting review under Section 106 may solicit comments from the Landmarks Preservation Commission. This includes federally-owned properties listed on the Tacoma Register of Historic Places not subject to typical City permitting processes.
- F. Applications for Special Tax Valuation – The Commission shall approve applications for Special Tax Valuation pursuant to TMC 13.07 and RCW 80.26.
- G. Special Business – From time to time Commissioners may propose and vote on special items, including Commission resolutions and official Commission policy recommendations. These items shall be proposed in advance of the meeting at which the Commission shall vote, and appear on the agenda under Board Business.
- H. Communication Items – From time to time, Commissioners may propose communications between the Commission and other organizations regarding preservation issues. These items are not required to be on the agenda, but shall be subject to a vote of the Commission under Board Business.
- I. Requests for opinion or other advisory actions – From time to time, City departments and other organizations may request review of preservation related items not generally under the

⁵ Amended 12/14/2011

⁶ Amended 12/14/2011

Commission's jurisdiction. These items generally shall appear under Board Briefings on the agenda, and any vote taken to be an advisory vote.

VII. Adoption of Annual Calendar⁷

- A. The Commission should develop and adopt a calendar of normal business at its first meeting in January of each year.
- B. The contents of the calendar will consist of basic normal agenda items, activities and filing deadlines, for the purposes of increasing the efficiency of commission operations and to provide guidance to applicants and interested parties.
- C. Any calendar adopted by the Commission shall be made available to the public in electronic and printed formats.

VIII. Records

- A. The Commission's adopted summary minutes of the public meetings shall be the official records. The actual recording of each hearing item shall be the official record for such item.
 - B. Supplemental records pertaining to matters of public meetings and public hearings shall be kept on file in the Community and Economic Development Department as required by law. These supplemental records may include but not be limited to the following:
 - 1. Description of agenda items, including all submitted information therewith.
 - 2. Report of the Community and Economic Development Department, Advisory Committees and Standing Committees on the matter as presented to the Commission at a meeting thereof, including such material submitted in writing and in map form.
 - 3. Written communications concerning the matter.
 - 4. Facts concerning the matter.
- 5. Records of all actions taken by the Commission in the matter (resolutions, motions, setting of dates for hearings, etc.).
 - 6. Record of actions taken by the City Council in the matter (ordinances, resolutions, results of hearings, etc.).
 - C. Recorded transcripts or summary minutes of all official Commission proceedings shall be filed with the City Clerk and shall be opened to public inspection.

IX. Annual Report to the City Council

The Commission shall annually report to the City Council regarding accomplishments and the status of planning efforts undertaken in the previous year, and if applicable, the outlook of planning issues for the coming year. Typically, this report will be given during Preservation Month (May).

Said report should, at the discretion of the Chair, take the form of a letter, a memorandum, a summary report or a copy of relevant minutes of the Commission's meetings, and may be posted on the City's website as well as delivered in person to the City Council.

X. Community Outreach

- A. Preservation Awards - The Commission should, on an annual basis, nominate and vote on individuals, organizations, or projects to be recognized officially by the City for Outstanding Achievement in Historic Preservation. The Commission should establish categories for awards, and forward the awards to the Mayor for a proclamation and recognition. The Commission, at its discretion, may solicit nominations from members of the public.
- B. The Commission may from time to time recommend and implement special programs, including educational sessions, tours and presentations, consistent with the purposes of TMC 1.42 and subject to the available departmental resources. The Historic

⁷ Amended 12/10/2008

Preservation Officer may advise the Commission regarding City resources and staff available for such projects, and convey requests by the Commission to the Community and Economic Development Department for such programs if special funding is required.

XI. Miscellaneous

- A. Code of Ethics – Members of the Commission shall comply with the City of Tacoma's Code of Ethics pursuant to the Tacoma Municipal Code Chapter 1.46 while conducting Commission business.
- B. Contact Information – The contact information of members of the Commission should be considered public information and made available for public access upon request. The Historic Preservation Officer shall be the contact for items related to official Commission business.
- C. Conferences – Members of the Commission may attend, at their own expense, conferences, meetings and training courses related to Commission business.

XII. Amending the Rules and Regulations⁸

- A. General Changes –The rules and regulations may be amended by the Commission by a majority of vote on an annual basis, generally at its first regular meeting in December.
- B. Design Guidelines – Per TMC 13.07.120, the Commission shall adopt and maintain Design Guidelines for historic special review districts and conservation districts.
 - 1. Design Guidelines shall not be amended more than once annually, concurrent with the amendment of these Bylaws.
 - 2. The Commission shall conduct a public hearing consistent with the procedures set forth in TMC 13.07.120 prior to adopting any changes to Design Guidelines.

⁸ Amended 12/14/2011

SECTION 2: Review Procedures

I. Policies for Administrative Review

- A. The Commission may grant administrative review to part or all of any application before the Commission pursuant to TMC 1.42 by a quorum vote at the meeting in which said application is before the Commission. Typically, this would include conditions imposed upon the approval, for which the Historic Preservation Officer is delegated to ensure satisfaction of those conditions.
- B. The Commission may determine certain items or typical applications to be appropriate for ongoing Administrative Review, as these represent minor changes that do not warrant full Commission review. The types of Administrative Review are Type I and Type II. Type I Administrative Review results in minor visible changes to Contributing buildings or individual City Landmarks. Type II Review is appropriate for changes that are not visible or do not affect contributing historic buildings.
 1. Procedures for Type I Administrative Review
 - a) When a project that is appropriate for administrative review, based upon the criteria set forth in these bylaws, is proposed to the Historic Preservation Officer, he or she will notify the Commission via email of a pending administrative review.
 - b) Any Commissioner may request, within 24 hours⁹, that an application is submitted for regular agenda review.
 - c) If no such request is received, the Historic Preservation Officer may approve at his or her discretion the project.
 - d) The applicant may request formal commission review without prejudice, in the case that the Historic Preservation Officer does not approve or imposes conditions upon the project that are in dispute.
 2. Typical items appropriate for Type I Administrative Review.
 - a) Signs – Changes in content or configuration that does not involve any change in sign location, dimensions, lighting or any additional sign area.
 - b) Windows – Staff may approve window repairs and upgrades that do not require any changes to window configuration, patterning, or new piercings or involve the removal of any historic material. The following types of upgrades are suitable for administrative approval:
 - i. Non historic aluminum windows to vinyl
 - ii. Non historic vinyl windows to vinyl, metal or fiberglass clad wood windows
 - iii. Non historic clad windows to wood windows
 - c) Rooftop HVAC, mechanical or communications equipment that is not visible from the primary rights of way and results in no modifications to the visible facades of the building.
 - d) Louvers and venting in which the vents or louvers are placed in an existing opening, such as a transom window, in which there is no change in the configuration of the fenestration and the only modification to the building is the removal of glazing panels.
 - e) Changes in color to awning fabric
 - f) Changes to a single door or window
 - g) Exterior remodeling of buildings that are under 50 years of age in Conservation Districts.
 - h) Temporary banners resulting in no new sign attachment points

⁹ Amended 12/09/09

- i) Privacy fences on residential lots that are subject to building code requirements due to heights in excess of 6' where the fence does not block views of the historic structure or require structural attachment to any historic structure.¹⁰
- 3. Procedures for Type II Administrative Review – The Historic Preservation Officer may at his or her discretion sign permits or otherwise approve projects in this category with no advance notice to the Commission.
- 4. Typical Items appropriate for Type II Administrative Review
 - a) In kind repair and replacement that does not require structural modifications
 - b) Changes to noncontributing buildings in districts that do not involve new construction or demolition, as provided by TMC 13.05 and/or 13.07¹¹
 - c) Applications for signs involving structures under 50 years of age in Conservation Districts.
 - d) Exterior work that is not visible from any public right of way

standards, where the standards conflict with the Design Guidelines or the Secretary of the Interior's Standards for Rehabilitation, as applicable. The Commission shall use findings regarding such a conflict as the basis of its decision to request a waiver of any zoning standards, and shall transmit these in writing to the Land Use Administrator.¹⁴

4. Per 13.06.070B, projects involving City Landmarks within the Downtown zone undergoing Landmarks Preservation Commission review may request a waiver from the basic design standards for downtown where the standards conflict with the application of the Secretary of the Interior's Standards for Rehabilitation or district design guidelines. The Commission shall use findings regarding such a conflict as the basis of its decision to request a waiver of any zoning standards, and shall transmit these in writing to the Land Use Administrator.¹⁵

B. Banners: The Commission delegates authority to review and approve the content of temporary banners mounted to existing brackets on light standards, that are located in downtown historic districts, to the Tacoma Arts Commission¹⁶

II. Other Review Policies

- A. Variances
 - 1. The Commission shall not formally review or approve any project for which a variance or conditional use permit¹² is required and has not yet been granted.
 - 2. Applications requiring a variance or conditional use permit¹³ may be presented to the Commission for feedback in a briefing context.
 - 3. Per 13.05.046, historic preservation projects that are subject to the Residential Zoning Code, which require a variance, may petition the Commission for a waiver of the zoning development

III. Special Tax Valuation Procedures and Policy

- A. Definition of Qualified Expenditures – Costs that are generally eligible for Special Tax Valuation must meet the definitions for "actual cost of rehabilitation" specified in WAC 254-20-030 and the IRS definition for "Qualified Rehabilitation Expenditure."
 - 1. For the purposes of Special Tax Valuation, "Qualified Rehabilitation Expenditures" generally include:

¹⁰ Amended 12/10/2008

¹¹ Amended 12/14/2011

¹² Amendment 2012

¹³ Amendment 2012

¹⁴ Amended 12/14/2011

¹⁵ Amended 12/10/2008

¹⁶ Standing Motion 1/9/2002

- a. Direct construction costs;
- b. Certain soft costs, including:
 - Architectural and engineering fees;
 - Construction permit fees;
 - Development management fees;
 - Construction loan interest and fee;
 - Utilities, taxes, and insurance for the construction period; and
 - State sales tax.

- 2. Qualified Rehabilitation Expenditures generally do not include:
 - a) Any costs related to acquisition of the property;
 - b) Any expenditure attributable to enlargement of the building; except to make the building fully usable (i.e. add a bathroom if one is not existing, add a kitchen if a kitchen is not existing)
 - c) Any costs of valuation and permanent financing of the property; and
 - d) Overhead costs or other "costs of doing business."

B. Examples of Expenses that Do and Do Not Qualify – In addition to the above list, the table to the right provides a limited overview of certain categories of items often purchased during renovations that have been determined by the Tacoma Landmarks Preservation Commission (LPC) to generally meet or not meet the definition of Qualified Rehabilitation Expense, based upon the Washington State and IRS guidelines. This list is not exhaustive and does not supersede the authority of the Commission to consider applications on a case-by-case basis. It is intended to provide guidance to applicants for the preparation of applications.

- 1. Generally qualifying expenditures:
 - a) Appliances including water heaters, furnaces and other mechanical: HVAC, A/C units, ventilation, blowers, etc.
 - b) Furnishings including built-ins, cabinetry, shelves, and window seats/nooks

- c) Plumbing and electrical including supplies and materials, fixtures, faucets, sinks, light fixtures, required exterior or site work (sewer lines, etc), fire suppression systems and other code-related requirements
- d) Landscaping, including sitework necessary for rehabilitation (including clearing, disposal, stabilization restoration), sitework for utilities and foundation work, and landscape stabilization

2. Expenditures generally not qualified:

- a) Appliances such as portable counter top appliances (toaster ovens), washers and dryers, commercial kitchen appliances, home electronics (stereo, TV, CCTV etc) other kitchen Appliances
- b) Furnishings such as Moveable furniture, including chairs, sofas, beds, tables, islands (if not permanently affixed to floor)
- c) Plumbing and electrical such as Security and alarm systems (i.e. CCTV) and table or floor lamps
- d) Landscaping, such as plants, soil amendments, etc., landscape design work, accent lighting, sprinkler systems

C. Application requirements – The applicant shall provide the following information accompanying the application filed with the County Assessor-Treasurer:

- 1. Application indicating the final cost of the project and assessed improvement value at the start of the project
- 2. Verification that the property is listed on the Tacoma Register of Historic Places
- 3. Affidavits certifying the expenditures on the project are consistent with

State law and the Commission's policies regarding Special Tax Valuation qualified expenditures

4. Photographs before and after the project
 5. Additional information may be requested by the Commission if required to render an informed decision
- D. Criteria for approval – The Commission shall approve the application if the following criteria are met:
1. The Assessor has certified the project is substantial under the definitions for the program in State law and has been completed within the preceding 24 month period
 2. The property is listed on the Tacoma Register of Historic Places at the time of application
 3. The project appears to be consistent with the Secretary of the Interior's Standards for rehabilitation

SECTION 3: Historic District Rules and Policies

I. Design Interpretations, Special Policies and Resolutions

A. The following are interpretations intended to clarify the guidelines and standards included in Chapter 13.07 of the Tacoma Municipal Code.

B. The Landmarks Preservation Commission reviews applications on a case-by-case basis, considering the merits of each individual proposal, and reserves the right to make interpretations as each case warrants and within the confines of the authority granted by city ordinance.

C. Union Depot-Warehouse District design guidelines interpretations

1. Height: New buildings in the Union Depot Warehouse Historic District that overlap DCC zoning may exceed the 85' height limit recommended by the design guidelines in TMC 13.07¹⁷
2. Exterior Materials: Contemporary building materials for new construction, such as glass, steel, concrete and masonry have been determined to be acceptable for the district¹⁸

D. North Slope Historic District and Wedge Neighborhood design guidelines interpretations¹⁹

1. Exterior Materials: changes to the cladding of contributing buildings within the district or additions to historic buildings shall in general utilize materials from the same palette as those originally present on the building. For example, horizontal wood or wood shingle siding shall be used in patterns consistent with the original building. Modern materials, including hardiplank, hardishake, and other comparable products are appropriate only for new construction and accessory structures, and only where

efforts are made to maintain historic reveal patterns, banding, and configurations. Vinyl siding, aluminum siding, and T-111 or similar panel siding are generally not acceptable for new construction or historic buildings within the district.

2. Garages: in general garages shall be placed at the rear of the lot and be detached from the main structure. Garages historically were simple functional structures and should be designed as such. Garages should be complementary to the main building, utilizing similar roof forms and details, but they do not have to be stylistic reproductions. Style elements, such as changes in cladding patterns and panels on garage doors, can be used to create visual interest.
3. Windows: Double and single hung wood sash windows are the principal historic window type in the district. Casement and awning wood windows are also prevalent. In all cases, original functional wood windows should be retained where possible, especially leaded panes. Original windows being retrofitted should be replaced with in-kind windows.

The following is the order of decreasing acceptability for window restoration: 1) original window restoration, 2) restoration with new thermal or laminated glass retrofitted into original sashes, 3) retrofit wood sashes into original window frames with replica lead striping and mullions, 4) total window replacement with restoration quality wood windows, 5) clad wood windows in original size and configuration.

Vinyl windows are not acceptable for use in the Historic District, except under special circumstances, such as for new construction and in cases where the original windows are missing and were replaced with

¹⁷ Resolved by the Commission 2/23/2000

¹⁸ Resolved by the Commission 2/23/2000

¹⁹ Amended 12/14/2011

inappropriate windows, such as aluminum sliding windows or picture windows. Trim, detail and profile are the most important aspects of replacement windows—generally vinyl windows appear flat and lacking relief. This can be remedied with the use of trim and careful product selection.

Windows that are not consistent with historical patterns, such as slider configurations, are not acceptable except in cases where required for new construction, such as with egress. In these cases, such windows shall be placed on non-primary facades.

SECTION 4: Enforcement Guidelines²⁰

I. Overview

The City of Tacoma Historic Preservation Program administers the activities of the Landmarks Preservation Commission (LPC). Property inspections and code enforcement procedures concerning City Landmarks are administered by the City of Tacoma Buildings and Land Use Services Division (BLUS).

To coordinate the activities of the LPC and BLUS Staff, this set of guidelines is established. Enforcement actions and inspections specific to City Landmarks and historic districts are based on the following policies and principles:

1. Fair and equitable enforcement is essential to achieve the intended purposes of the historic preservation ordinance.
2. Violations of the historic preservation ordinance may threaten public safety, destroy or damage irreplaceable cultural artifacts, diminish property values, result in costly repairs and property damage, and diminish the quality of life for Tacoma residents.
3. These guidelines are specific to violations of the historic preservation ordinance. However violations of the historic preservation ordinance may also violate applicable City of Tacoma building and land use codes, and may be enforced in concert with other City codes.
4. The goal of enforcement is to obtain compliance with the historic preservation ordinance. Fines and other mechanisms are a necessary means to achieve compliance and are not intended to be punitive or to collect revenue.
5. The highest enforcement priorities for the historic preservation ordinance are to stop situations and correct situations that threaten public safety or destroy or irreversibly alter historic properties.
6. City Staff, including the Historic Preservation Officer and BLUS Inspection and Code Enforcement staff consider program priorities and resources when responding to enforcement requests. Not every minor violation of the historic preservation ordinance warrants enforcement action.

7. Building Inspectors exercise judgement and discretion in taking enforcement action. Inspectors may issue verbal direction, notice of violation, notice of infraction, or stop work as appropriate to the situation.

II. Enforcement Priorities

HIGH PRIORITY

1. Demolition, in whole or in substantial part, of a historic property.
2. Non-reversible alterations of original features or finishes to a historic property, such as sandblasting or removal of original masonry.
3. Substantial alteration or removal of important architectural and character defining elements of a property, such as porches, stairs, windows, wholesale siding removal, chimney demolition, and removal of other distinctive detailing.
4. Structural alterations, such as removal or relocation of walls and additions, and the addition of exterior structural elements such as decks.
5. Inspections requested by the Historic Preservation Officer.
6. Any building code violation determined to be a high priority by the Building Inspector.

NORMAL PRIORITY

1. Work that is completed at the time of complaint receipt.
2. Work underway that involves "in kind" replacement or repair of decorative elements, such as spot replacement of existing siding, repairs to trim, sills, flashing, that will not affect exterior appearance at the conclusion of the project.
3. Minor alterations on secondary building elevations (not prominently visible from a public right of way) that do not compromise the structural or historical integrity of the property (excluding window and door replacement that is underway).
4. Fences and other sitework not prominently visible from the public right of way, or not physically affecting the primary structure on the site.
5. Minor reversible decorative alterations.
6. Non-structural alterations to garages.
7. Changes in content to existing signs, or installation of freestanding signs that are not mounted on a permanent structure.

²⁰ Amended 12/09/09

III. General Procedures for Enforcement of High Priority Violations

1. Requests for inspections that involve items in the high priority category should receive a site visit by the Building Inspector as soon following the receipt of complaint as possible.
2. Following inspection, if it is determined that the project appears to meet one or more of the project descriptions in the High Priority category, the Building Inspector, using his or her discretion, shall take the appropriate corrective action.
3. If the project is determined to fall into the Normal Priority category, the Inspector, at his or her discretion, may refer the matter to the Historic Preservation Officer for further action, may provide verbal direction to the property owner to contact the historic preservation officer, or may elect to take other corrective action (including a Stop Work Order) as determined appropriate.

IV. General Procedures for Normal Priority Violations

1. Complaints and reports received by BLUS that appear to fall into the Normal Priority category may be referred by BLUS directly to the Historic Preservation Officer for further action.
2. The Historic Preservation Officer will typically contact the property owner via Certified and First Class Mail, or if appropriate and possible, contact the owner in person, on the phone or via email. If appropriate, Historic Preservation Staff may conduct a site inspection.
3. If the Historic Preservation Officer, upon investigating the complaint, believes a Stop Work Order is appropriate, he or she may refer the complaint back to BLUS and request inspection.
4. If appropriate, the Historic Preservation Officer will work with the property owner to gain proper approvals from the Landmarks Preservation Commission, via the procedures outlined in TMC 13.07. If approved, the Historic Preservation Officer shall refer the matter to BLUS for the issuance of required City permits.
5. If attempts to contact the owner of the property are not successful, after allowing a reasonable duration of time, the Historic Preservation Officer may elect to refer the matter to Code Enforcement.

SECTION 5: Appendices

A	Landmarks Preservation Commission Master Calendar	18
B	Union Depot Historic District Inventory	19
C	Old City Hall Historic District Inventory	34
D	North Slope Historic District Inventory	50
E	<u>Wedge Neighborhood Historic District Inventory</u> ²¹	<u>XX</u>

²¹ Amendment 2012
Landmarks Preservation Commission Rules and Regulations
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January	FIRST MEETING
	BOARD BUSINESS <ul style="list-style-type: none"> Officer Elections: Elections Establish Preservation Month activities committee Begin Awards Nomination Process
	SECOND MEETING
	NOMINATIONS <ul style="list-style-type: none"> Public Hearing: Winter Qtr Nominations ²²
February	FIRST MEETING
	SECOND MEETING
	BOARD BUSINESS <ul style="list-style-type: none"> Awards Nomination Update Preservation Month Activities Update
March	FIRST MEETING
	NOMINATIONS <ul style="list-style-type: none"> Nominations due for Spring Qtr Public Hearing ²³
	SECOND MEETING
	NOMINATIONS <ul style="list-style-type: none"> Last preliminary review date for Spring Qtr Public Hearing BOARD BUSINESS <ul style="list-style-type: none"> Discussion of Annual Report to Council
April	FIRST MEETING
	BOARD BUSINESS <ul style="list-style-type: none"> Selection of Achievement Awardees Preservation Month Activities Update/Final Review Consideration of Draft Annual Report to Council
	SECOND MEETING
	NOMINATIONS <ul style="list-style-type: none"> Public Hearing: Spring Qtr Nominations
May	FIRST MEETING
	SECOND MEETING
June	FIRST MEETING
	NOMINATIONS <ul style="list-style-type: none"> Nominations due for Summer Qtr Public Hearing
	SECOND MEETING
	NOMINATIONS <ul style="list-style-type: none"> Last preliminary review date for Summer Qtr Public Hearing

July	FIRST MEETING
	SECOND MEETING
	NOMINATIONS <ul style="list-style-type: none"> Public Hearing: Summer Qtr Nominations ²⁴
August	FIRST MEETING
	SECOND MEETING
September	FIRST MEETING
	NOMINATIONS <ul style="list-style-type: none"> Nominations due for Fall Qtr Public Hearing
	SECOND MEETING
	NOMINATIONS <ul style="list-style-type: none"> Last preliminary review date for Fall Qtr Public Hearing BOARD BUSINESS <ul style="list-style-type: none"> Commissioner Terms Update
October ²⁵	FIRST MEETING
	SPECIAL TAX VALUATIONS <ul style="list-style-type: none"> Application Review Bylaws and Inventory Review
	SECOND MEETING
	NOMINATIONS <ul style="list-style-type: none"> Public Hearing: Fall Qtr Nominations SPECIAL TAX VALUATIONS <ul style="list-style-type: none"> Application Review
November	FIRST MEETING
	NOMINATIONS <ul style="list-style-type: none"> Nominations due for Winter Qtr Public Hearing SPECIAL TAX VALUATIONS <ul style="list-style-type: none"> Application Review BOARD BUSINESS <ul style="list-style-type: none"> Public Hearing: Bylaws and Inventory Review (as needed)
	NO SECOND MEETING
December	FIRST MEETING
	NOMINATIONS <ul style="list-style-type: none"> Last preliminary review date for Winter Qtr Public Hearing
	BOARD BUSINESS <ul style="list-style-type: none"> Bylaws and Inventory Approval Officer Elections: Nominations
	NO SECOND MEETING

²² Deadline for quarterly hearings is a minimum 2 meetings, or 4 weeks, ahead of date of hearing.

²³ Filing deadline is a minimum of 2 weeks ahead of preliminary review date.

²⁴ Deadline for nominations intending to apply for Special Tax Valuation in same year

²⁵ October 1: STV Filing deadline

**North Slope Historic Special Review District
Buildings Inventory**

Updated as of 12/31/11

For more information or to report errors, please call 253-591-5220.

DRAFT

Street Number	Street Name	Status	Parcel	Alt Parcels	Built	Property Notes
301	North I Street	Contributing	2033170040		1889	Albert Sutton Home
301	North J Street	Contributing	2033190070		1889	Paul Hedrick Home
302	North J Street	Contributing	2033200080		1891	Frank B. Woodruff Home
305	North K Street	Noncontributing	2033210070		1965	Debonair Apartment
306	North J Street	Contributing	2033200070		1892	Phillip V. Anderson Home
308	North I Street	Contributing	2033180060		1905	Meyer Jacob Home
308	North J Street	Contributing	2033200060		1905	Robert Arkle Home
309	North I Street	Contributing	2033170030		1904	Albert F. Cizek Home
311	North K Street	Contributing	2033210060		1887	Theodore Kindall Home
312	North I Street	Contributing	2033180050		1905	Berman Heyman Home
312	North J Street	Contributing	2033200050		1905	George T Reid Home
313	North I Street	Contributing	2096004055	2033170020	1889/1935	Fitch B Stacy
313	North K Street	Contributing	2033210050		1890	Tacoma Academy
314	North I Street	Contributing	2033180040		1946	Dr. Samuel L & Susan Blair
314	North J Street	Contributing	2033200040		1908	Mrs. C. Schluss
				2033190040, 2033190050, 2033190060, 2099004450		
315	North J Street	Noncontributing	2033190030		1980	
315	North K Street	Contributing	2033210040		1901	Alexander L. Bird
316-318	North J Street	Contributing	2033200030		1908	Mrs. C. Schluss
318	North I Street	Contributing	2033180030		1890	James and Nelson Dewey
319-23	North I Street	Contributing	2033170010		1925	Annobee Apts.
319	North K Street	Contributing	2033210030		1949	Adair Court Apartments
320	North I Street	Contributing	2033180020		1890	John P Vincent
320	North J Street	Contributing	2033200020		1923	Donald F. Haskell
321	North J Street	Contributing	2033190020		1890	Judge Calkins
321	North K Street	Contributing	2033210020		1946	I Am Sanctuary/I Am Church
323	North J Street	Noncontributing	2033190010		1985	apartments
324	North I Street	Contributing	2033180010			relocated 1999--First Norwegian Lutheran Church parsonage (originally 1209 S I
401	North Cushman	Contributing	2034290030		1907	Street)
401	North J Street	Contributing	2034190070		1913	Ralph J. Thompson
401	North K Street	Contributing	2034210100		1888	Benjamin Fisher
401	North M Street	Contributing	2034250050	2034250052	1903	August Cultum
402	North I Street	Contributing	2034180040		1931	apartment
402	North J Street	Contributing	2034200040	2000719612	1890	Hugh C. Wallace
402	North K Street	Contributing	2034220070		1891	Edward S. Hall
402	North Sheridan	Contributing	2034280040		1901	Frederick H. Murray
404	North I Street	Contributing	2034180030		1889	John Thomas
406	North Cushman Avenue	Contributing	2034300030		1919	Claude hicks
406	North K Street	Contributing	2034220060		1891	Rev. Samuel Moore
406	North L Street	Contributing	2034340070		1890	Paul Worth Dakin/Robert G Walker
407	North I Street	Contributing	2034170040		1909	A. J. Wolff
407	North J Street	Contributing	2034190060		1913	S. C. Knowles
407	North K Street	Contributing	2034210090		1890	Sherman Schroder
407	North L Street	Contributing	2034230060		1890	James F. Osborne
408	North K Street	Contributing	2034220050		1906	Dr. Francis Atwell
408	North M Street	Noncontributing	2034260071		1968	apartment
409	North K Street	Contributing	2034210080		1891	Daniel I. Cornell
409	North L Street	Contributing	2034230051	2034230052	1891	M. Willis Lawrence
409	North Sheridan Avenue	Contributing	2034270040		1901	Mrs. C Newton
410	North I Street	Noncontributing	2034180020		1961	Regency Apartments
410	North L Street	Contributing	2034240060		1891	Robert S. McBride
411	North I Street	Contributing	2034170030		1909	O.B. Dewey
411	North J Street	Contributing	2034190050		1908	Dr. Jos. F. Griggs
411	North K Street	Contributing	2034210070		1891	Charles E. Claypool
411	North L Street	Contributing	2034230040		1891	Charles C. Darling
411	North M Street	Contributing	2034250040		1901	James E. Clifton
412	North K Street	Noncontributing	2034220030		1977	Shenandoah Apartments
413	North K Street	Contributing	2034210061		1907	Mars. M.H. Bakes/ W. Courtney Bakes
414	North J Street	Contributing	2034200030		1890	Frederick W. low
414	North L Street	Contributing	2034240050			2 houses at this address - small house to rear of 414 N L St
414	North Sheridan	Contributing	2034280030		1901	Burton A. Moore
415	North I Street	Noncontributing	2034170011		1972	Windsor Apartments
415	North J Street	Contributing	2034190040		1924	Otto C. Duevel
415	North K Street	Contributing	2034210052		1900	Anthony P. Prichard
415	North M Street	Contributing	2034250030		1890	Jos K. Dorr
415	North Sheridan Avenue	Contributing	2034270030		1900	Ellis Lewis Garreston
416	North L Street	Contributing	2034240050		1904	J.E. Manley/Thomas H Manley
416	North M Street	Noncontributing	2034260040		1974	Michelle Apartments

**North Slope Historic Special Review District
Buildings Inventory**

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Street Number	Street Name	Status	Parcel	Alt Parcels	Built	Property Notes
417 North L (417 1/2)		Contributing	2034230030		1913	Elliot Hall Apartments - adjacent structure on southern parcel noncontributing
417 North M Street		Contributing	2034250020		1906	William A. Stewart
417 North Sheridan Avenue		Contributing	2034270020		1904	Edwin R. Ray
418 North J Street		Contributing	2034200020		1908	J. B. Ternes
418 North K Street		Noncontributing	2034220020		1980	see 412 N K St. SHENADOAH APARTMENTS (1889 home demolished?)
418 North L Street		Noncontributing	2034240031		1968	Mandarin Apts
418 North M Street		Noncontributing	2034260050		1974	Michelle Apartments
419 North J Street		Contributing	2034190030		1888	Wm. Burton Allen
420 North M Street		Noncontributing	2034260060		1974	Michelle Apartments
420 North Sheridan Avenue		Contributing	2034280020		1902	Dorthea A. Claussen
422 North I Street		Noncontributing	2034180010		1961	apartments
422 North L Street		Noncontributing	2034240011		1968	Apartment
423 North J Street		Contributing	2034190020		1924	Howard Sorge
424 North M Street		Contributing	2034260010		1892	Anna H. Heath
425 North Sheridan		Contributing	2034270011		1895	Wm. C. Davie
501 North J Street		Noncontributing	2035190050		1976	apartments
501 North M Street		Contributing	2035250070		1892	Harry Lombard
502 North I Street		Contributing	2035180030		1904	Frank M. Lamborn
502 North J Street		Contributing	2035200070		1908	Kellogg Apartments
502 North L Street		Contributing	2035240060		1900	George K Plummer
502 North M Street		Contributing	2035260060		1901	Charles Drury
505 North L Street		Contributing	2035230040		1922	D. W. Higgins
505 North M Street		Contributing	2035250060		1892	Clarence H. LaBoyteaux
506 North Ainsworth		Contributing	2035320050		1893	John H. Wyandt Home
506 North L Street		Contributing	2035240050		1900	David Anderson
506 North M Street		Noncontributing	2035260050		1963	apartments
507 North I Street		Contributing	2035170040	2035170050	1892	Josiah R McIntyre
507 North Sheridan Avenue		Contributing	2035270050		1915	A. Hoppe
508 North K Street		Contributing	2035220070		1924	Elite Beauty Shop
509 North Ainsworth Avenue		Contributing	2035310050		1905	Elliot K Reynolds
509 North M Street		Contributing	2035250050		1889	George Reynolds
510 North I Street		Noncontributing	2035180022		1997	
510 North J Street		Noncontributing	2035200051		1985	
510 North Sheridan Avenue		Contributing	2035280060	2094000205	1904	Charles W. Lindstrom
511 North Ainsworth Avenue		Contributing	2035310040		1905	Howard C. Lucas/ Shem C. Yoder
511 North Cushman Avenue		Contributing	2035290050		1912	Mrs. D. W. McRae
511 North J Street		Contributing	2035190040		1903	James Bruce
511 North K Street		Noncontributing	2035210030		1954	apartments
511 North L Street		Contributing	2035230030		1925	Lester B MacDonald
511 North M Street		Contributing	2035250040		1890	Henry Resleff
511 North Sheridan Avenue		Contributing	2035270040		1915	George Levenbagen
512 North Cushman Avenue		Contributing	2035300050		1911	James Jackson
512 North K Street		Contributing	2035220050		1946	T.A. Rehak
512 North L Street		Contributing	2035240040		1900	Frank Snyder
512 North M Street		Contributing	2035260040		1908	Mrs. J. Dewitt
514 North Ainsworth Avenue		Contributing	2035320040		1903	Clarence E. Griffin
514 North I Street		Contributing	2035180021		1889	Henry W. Dewey
514 North M Street		Contributing	2035260030		1900	Charles G. Morse
514 North Sheridan Avenue		Contributing	2035280050		1902	Louis B. Stewart
515 North Ainsworth Avenue		Contributing	2035310030		1907	Abel P. Henriot
515 North Cushman Avenue		Contributing	2035290040		1924	J. Hurlow, Jr.
515 North I Street		Contributing	2035170030		1909	Ella and Edward L. Hollingum
515 North J Street		Contributing	2035190030		1902	George Sunter
515 North L Street		Contributing	2035230020		1922	Robert Nerland
515 North M Street		Contributing	2035250030		1892	Louis C. Houser
515 North Sheridan		Contributing	2035370030		1892	E.L. Sawyer
516 North Ainsworth Avenue		Contributing	2035320030		1903	Edward J. Rose
516 North Cushman Avenue		Contributing	2035300040		1915	A. Cockingham
516 North J Street		Contributing	2035300040		1901	Carl D. Osten
516 North K Street		Contributing	2035220040		1933	Bert R Lewis
516 North K Street		Contributing	2035220040		1906/1933?	Chapman & Chapman Bakery/Bert R. Lewis
516 North L Street		Contributing	2035240030		1900	James E. Bonnell
516 North M Street		Contributing	2035260020		1912	John Gallucci
517 North Ainsworth Avenue		Contributing	2035310020		1906/1927	Earl F. Moore
517 North I Street		Contributing	2035170020	1200055341	1924	E. Anderson
517 North J Street		Contributing	2035190020		1889	Thomas F. Smith
517 North M Street		Contributing	2035250020		1892	Avery G. Sickels
517 North Sheridan		Contributing	2035270020		1892	Peter Voorhees
518 North J Street		Contributing	2035200030		1904	Robert Arkley

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518	North K Street	Contributing	2035220030		1949	Albert R. Robinson
519	North Cushman Avenue	Contributing	2035290030		1915	M. Marsh
519	North J Street	Contributing	2035190020		1902	C. C. Smith (inc. ADU on alley)
520	North Ainsworth Avenue	Contributing	2035320010		1899/1907	Charles Drury/Capt. F. G. Purington
520	North Cushman Avenue	Contributing	2035300030		1907	Dix H. Rowland
520	North J Street	Contributing	2035200020		1904	J. Murray MacLean
520	North L Street	Contributing	2035240020		1898	Carl August & Sophia Darmer
520	North Sheridan Avenue	Contributing	2035280040		1922	S. T. Larson
521	North Ainsworth Avenue	Contributing	2035310010		1906	Forbes P. Haskell, Jr.
521	North Cushman Avenue	Contributing	2035290010		1921	Mrs. Minnie E. Billings
521	North K Street	Contributing	2035210020		1950	Cook's Court Apartments
522	North I Street	Noncontributing	2035180010		1971	Cambridge Apartments
522	North J Street	Contributing	2035200010		1906	Charles Miller
522	North L Street	Contributing	2035240010		1899	James J. Anderson
522	North Sheridan Avenue	Contributing	2035280010		1905	Bert F. Southwell
523	North I Street	Contributing	2035170010		1891	Charles King
523	North J Street	Contributing	2035190010		1895	George & Anna H. Bullard
523	North Sheridan	Contributing	2035300010		1928	John Bush
524	North Cushman Avenue	Contributing	2035300010		1907	S. L. Blair
524	North K Street	Contributing	2035220010		c1894	Drew & Grocers - highly altered by 1912
601	North Cushman Avenue	Contributing	2036290080		1903	Eugene Oliver
601	North Grant Avenue	Noncontributing	2036330040		1963	apartments
601	North I Street	Contributing	2036170050		1889	A. Crawford Anderson Home
601	North J Street	Noncontributing	2036190060		1950	Vernon D. & Eva I. Patterson
601	North K Street	Contributing	2036210071		1905	J.E. Bonds store & residence
602	North Ainsworth Avenue	Contributing	2036320050		1893	Fannie A. Bailey
						A. Crawford Anderson Home - "double house"
602	North I Street	Contributing	2036180060		1888	house"
602	North K Street	Contributing	2036220070		1902/1933	William Clarke Drug Store
602	North L Street	Contributing	2036240060		1899	Charles W. Mentzer
602	North M Street	Contributing	2036260050		1931	Joseph Gallucci
603	North Ainsworth Avenue	Contributing	2036310060		1904	James E. Bonnell
603	North M Street	Contributing	2036250070		1900	James McCormack
605	North Grant Avenue	Contributing	2036330030		1905	Edward J. Bryan
605	North K Street	Contributing	2036210060		1889	Richard F. Wells
605	North L Street	Contributing	2036230060		1890	Emily Niehoff
607	North Cushman	Contributing	2036290060		1907	W. J. Love
607	North K Street	Contributing	2036210050		1889	Samuel B Elder
607	North L Street	Contributing	2036230050		1889	Harry T. Denham
607	North M Street	Contributing	2036250060		1939	R. G. Webb
607	North Sheridan Avenue	Contributing	2036270060		1906	George H. Cummings
608	North Ainsworth Avenue	Contributing	2036320040		1901	Charles A. Sayre
608	North I Street	Contributing	2036180050		1889	Lyman U. Loomis
608	North J Street	Contributing	2036200050		1906	Dr. Edward A. Trommald
608	North L Street	Contributing	2036240050		1949	Charles & Margaret Reberger
608	North Sheridan Avenue	Contributing	2036280060		1905	George H. Cummings
609	North Cushman Avenue	Contributing	2036290050		1921	A. S. Busselle
609	North I Street	Contributing	2036170040		1907	Dr. F.W. Southworth
610	North Cushman Avenue	Contributing	2036300050		1923	William R. Strachan
610	North J Street	Contributing	2036200040		1922	C. J. Dahlquist
610	North K Street	Contributing	2036220060		1925	
610	North M Street	Contributing	2036260040		1940	John Gallucci
611	North Ainsworth Avenue	Contributing	2036310050		1926	Charles E. Kidd
611	North J Street	Noncontributing	2036190040		1969	apartment
611	North K Street	Contributing	2036210040		1949	Paul A. Williams
611	North M Street	Contributing	2036250050		1932	Jennie M. Ritchie
611	North Sheridan Avenue	Contributing	2036270050		1920	Victor J. Hedberg
612	North I Street	Contributing	2036180040		1889	John C. Watrous
612	North K Street	Contributing	2036220050		1890	William R. Edwards
612	North L Street	Contributing	2036240040		1901	Mrs. Sophia Pritchard/Sample J. Pritchard
613	North I Street	Contributing	2036170030		1888	Abraham H. Lemon
613	North K Street	Contributing	2036210030		1901	Overton G. Ellis
614-616	North I Street	Contributing	2036180030		1889	J. B. McMillen
614	North J Street	Contributing	2036200030		1901	George M. Hellar
614	North Sheridan Avenue	Contributing	2036280040		1908	J. Carlson
615	North Ainsworth Avenue	Contributing	2036310040		1901	Henry S. Royce
615	North Cushman Avenue	Contributing	2036290040		1910	B.E. Lemley
615	North I Street	Contributing	2036170020		1906	James T. Moore
615	North J Street	Contributing	2036190030		1938	Robert R. Weller
615	North L Street	Noncontributing	2036230040		1962	apartments
615	North M Street	Contributing	2036250040		1948	Laurence I. & Florence C. Carmine
615	North Sheridan Avenue	Contributing	2036270040		1938	Albert Madsen
616	North Ainsworth Avenue	Contributing	2036320030		1904	Frank Kilpatrick

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616	North Cushman Avenue	Contributing	2036300040		1939	Dr. A.E. Nordi
616	North K Street	Contributing	2036220040		1913	Mrs. L.H. Wing
616	North L Street	Contributing	2036240030		1901	J. Wilson Kennedy
616	North M Street	Contributing	2036260030		1932	"1932 Model Dwelling"
617	North Cushman Avenue	Contributing	2036290030		1922	E. Stenberg
617	North Sheridan Avenue	Contributing	2036270030		c1895	Mrs. Monica Meyer
618	North Cushman Avenue	Contributing	2036300030		1912	Mrs. Wilber Lee Hart
618	North K Street	Contributing	2036220030		1890	Otmer F. Haniger
618	North Sheridan Avenue	Contributing	2036280030		1911	Tacoma Home Construction Co.
619	North Ainsworth Avenue	Contributing	2036310030		1924	Dix Rowland
619	North I Street	Contributing	2036170010		1909	D.S. Johnston
619	North J Street	Contributing	2036190020		1938	Rosco Haworth
619	North K Street	Contributing	2036210020		1901	Col. William S. Shank
620	North Ainsworth	Contributing	2036320020		1905	T. Edward Coyle Home
620	North I Street	Noncontributing	2036180020		1951	Apartments
620	North J Street	Contributing	2036200020		1905	Dr. John W. Bean
620	North K Street	Contributing	2036220023		1904	Francis O. Mason
620	North L Street	Contributing	2036240020		1953	apartments/triplex
620	North M Street	Contributing	2036260020		1924	H. J. Jackson
621	North Sheridan Avenue	Contributing	2036270010		1926	Conrad M. Peterson
622	North Cushman Avenue	Contributing	2036300010		1909	Patrick J. Sweeney
622	North K Street	Contributing	2036220010		1904	Bertrand E. Buckmaster
623	North Ainsworth Avenue	Contributing	2036310020		1906	Alonzo M. Ripley
623	North Cushman Avenue	Contributing	2036290020		1926	G.A. Carlson
623	North J Street	Contributing	2036190010		1904	Everett R. York
624	North Ainsworth Avenue	Contributing	2036320010		1902	Frederick Bonell
624	North I Street	Contributing	2036180010		1908	William B. & Sarah P. Anderson
624	North J Street	Contributing	2004822430		1902	Richard D. McDonald
624	North L Street	Contributing	2036240010		1902/1903	Rev. Arthur L. Hutchinson
624	North M Street	Contributing	2036260010		c. 1900	Dewitt C. Jackson
625	North M Street	Contributing	2036250021		1939	Wesley F. Crawford
627	North I Street	Contributing	2037170060		1909	Rinaldo F. Keasal
632	North Sprague Street	vacant	320061001			
633	North Sprague Street	Contributing	2036330020		1926	Ned Tuell
636	North Sprague Street	vacant	320061000			
639	North Sprague Street	Contributing	2036330010		1909	Charles Haskell
647	North State Street	Contributing	3525000010		1907	J. R. Downs
648	North Sprague Street	Contributing	320061008		1924	A. R. Israelson
649	North State Street	Contributing	3525000020		1909	Stanley Lister
650	North Sprague Street	Contributing	320061052		1922	J. J. Frater
651	North State Street	Contributing	3525000030		1918	M. S. Phillips
654	North Sprague Street	Contributing	320061036		1919	J. J. Frater
655	North State Street	Contributing	3525000040		1918	
659	North State Street	Contributing	3525000050		1918	W.W. Bryan
663	North State Street	Contributing	3525000060		1918	Fred B. Treutle
701	North Grant Avenue	Contributing	320061051		1919	Jos. & Fanny Tatt
701	North J Street	Contributing	2037190060		1901	Henry A. Rhondes/ Rhodes mansion
701	North K Street	Noncontributing	2037210080		1962	Carriage House Apts
701	North M Street	Contributing	2037250090		1919	C. G. Douglas
701	North Sheridan Avenue	Contributing	2037270050		1942	Wm. F. McKinley
702	North Ainsworth Avenue	Contributing	2037320080		1925	C. H. Hall
702	North I Street	Contributing	2037180071		1902	Albert J. Rhodes
702	North J Street	Contributing	2037200050		1907	James Henry Dege
702	North K Street	Contributing	2037220070		1904	Charles W. Rhodes
702	North L Street	Contributing	2037240080		1949	apartment
702	North Sheridan Avenue	Contributing	2037280090		1931	Leslie G. Pendergast
703	North Grant Avenue	Contributing	2037330050		1922	G.J. Lobdell - see 704 N Sprague
703	North I Street	Noncontributing	2037170050		1961	Apartment
704	North Cushman Avenue	Contributing	2037300070		1893	A. E. Bull
704	North Sprague Street	Contributing	320061015		1922	see 703 N Grant
705	North J Street	Contributing	2037190050		1904	George R. Delprat
705	North M Street	Contributing	2037250100		1919	H.E. Reynolds
707	North I Street	Contributing	2037170031		1926	Harold K. Nichols
707	North K Street	Contributing	2037210070		1903	Edward S. Shull
707	North Sheridan Avenue	Contributing	2037270040		1929	W. D. Ginnaven
708	North Ainsworth	Contributing	2037320060		1908	N.A. Jones
708	North I Street	Contributing	2037180060		1903	Frederick C. Brewer
708	North J Street	Noncontributing	2037200040		1963	apartment
708	North K Street	Contributing	2037220060		1904	Charles Glockler

**North Slope Historic Special Review District
Buildings Inventory**

Updated as of 12/31/11

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Street Number	Street Name	Status	Parcel	Alt Parcels	Built	Property Notes
				9005720010, 9005720020, 9005720050, 9005720080, 9005720030, 9005720040, 9005720060, 9005720070		
708	North L Street,	Noncontributing	2037240070		1962	apartment
708	North Sheridan Avenue	Contributing	2037280070		1931	William B. Reitneyer
708	North Sprague Street	Contributing	2037330040		1926	see 709 Grant
709	North Cushman Avenue	Contributing	2037290040		1892	George W. Fowler
						John J. & Lillie M. Frater - 709 1/2 Grant
709	North Grant Avenue	Contributing	2037330040		1926	(also see 708 Sprague)
709	North Grant Avenue	Noncontributing	0320061049	0320061004	1944	Opal Fox
709	North L Street	Contributing	2037230061		1891	Ira B. Richards/Adam F. Maid
709	North M Street	Contributing	2037250060		1919	C.E. Bonnell
710	North Ainsworth Avenue	Contributing	2037320050		1908	George W. Cooper
710	North Cushman	Contributing	2037300060		1904	John J. Bergoust
710	North I Street	Contributing	2037180050		1907	William R. & Elzora V. Nichols Home
710	North M Street	Contributing	2037260060		1924	J. P. Plettl
710	North Sheridan Avenue	Contributing	2037280060		1950	Wallace A. Johnson
711	North Ainsworth Avenue	Contributing	2037310041		1937	David L. Jenkins
711	North Grant Avenue	Noncontributing	320061050		1992	Paul A. Lindenmuth
711	North I Street	Noncontributing	2007170050		1967	apartment
711	North J Street	Contributing	2037190040		1889	Rufus J. Davis Home
711	North K Street	Contributing	2037210060		1905	Mrs. E.D. Berhard
				9005820010, 9005820020, 9005820030, 9005820040, 9005820050, 9005820060, 9005820070		
711	North L Street	Contributing	2037230050		1922	Chelsea Apartments
711	North M Street	Contributing	2037250050		1928	H.J. McGrath
712	North M Street	Contributing	2037260050		1924	
712	North Sheridan Avenue	Contributing	321323001		1901	Adolph Adams
713	North Cushman	Contributing	2037290030		1927	Henry A. Thompson
714	North Ainsworth Avenue	Contributing	2037320040		1921	
714	North Cushman Avenue	Contributing	2037300050		1904	Herbert C. Walker
714	North Grant Avenue	vacant	320061034			demolished
714	North I Street	Contributing	2037180040		1893	area once known as "job carr's mountain"
714	North K Street	Contributing	2037220050		1889	E.W. Avery
714	North L Street	Contributing	2037240060		1889	Frank W. King
714	North M Street	Contributing	2037260040		1881	John Geehan
714	North Sheridan Avenue	Contributing	2037280050		1927	Walter J. Hoffman
715	North Ainsworth	Contributing	2037310030		1908	Douglas V. Wood Home
715	North J Street	Contributing	2037190030		1892	Franklin W. Cornwall
715	North K Street	Contributing	2037210050		1928	Rebert Nerland
715	North L Street	Contributing	2037230040		1923	
715	North M Street	Contributing	2037250040		1893	Anna Boisseau
715	North Sheridan	Contributing	2037270030		1920	Roland E. Borhek
716	North J Street	Contributing	2037200030		1910	Elizabeth Higgins
716	North L Street	Contributing	2037240050		1889	Austin Larson
717	North Ainsworth Avenue	Contributing	2037310020		1907	D. W. Wood
717	North Cushman Avenue	Contributing	2037290020		1927	Ivan Gingrich
717	North I Street	Contributing	2037170020		1889	Col. Beverly W. Coiner
717	North J Street	Contributing	2037190020		1892	Calvin Phillips
718	North Ainsworth Avenue	Contributing	2037320030		1921	George W. Cooper
718	North Cushman Avenue	Contributing	2037300040		1905	Etta McCormick
718	North I Street	Contributing	2037180030		1893	Charles Drury
718	North K Street	Contributing	2037220040		1890	
718	North L Street	Contributing	2037240040		1908	Orville Apartments
718	North M Street	Contributing	2037260030		1884	John Roscoe
719	North K Street	Contributing	2037210040		1900	William T. Barker
719	North L Street	Contributing	2037230030		1925	Jos. Sandner
719	North M Street	Contributing	2037250030		1919	
720	North I Street	Contributing	2037180023		1893	Frank B. Taylor Home
720	North J Street	Contributing	2037200020		1908	William H. Pringle
720	North K Street	Contributing	2037220030		1891	Charles E. Teel
720	North Sheridan Avenue	Contributing	2037280030		1908	Charles A. & Marilla B. Mudgett
721	North Ainsworth Avenue	Contributing	2037310010		1919	C. F. Mason
721	North L Street	Contributing	2037230020		1905	Professor Wm. E. Blair
723	North Cushman Avenue	Contributing	2037290010		1891	Clinton A. Snowden

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Street Number	Street Name	Status	Parcel	Alt Parcels	Built	Property Notes
723	North I Street	Contributing	2037170010		1895	William R. Rust
723	North J Street	Noncontributing	2037190010		1967	apartment
723	North K Street	Contributing	2037210010		1900	Frank L. Shull
723	North M Street	Contributing	2037250010		1919	
724	North Cushman Avenue	Contributing	2007300120		1923	W.F. Grass
724	North I Street	Contributing	2037180010		1893	Charles Drury, builder
724	North J Street	Contributing	2037200010		1905	William H. Opie
724	North K Street	Contributing	2037220010		1888	John C. Lillis
724	North Sheridan Avenue	Contributing	2037280010		1890	William H. Fletcher
801	North Ainsworth Avenue	Noncontributing	2038310091		1889	
801	North I Street	Contributing	2038170050		1889	Biltmore Apts
801	North L Street	Contributing	2038230060		1891	Roswell G. Pettibone/ John B. Seeley
				9006310010, 9006310100, 9006310020, 9006310030, 9006310040, 9006310050, 9006310060, 9006310070, 9006310080, 9006310090		
801	North M Street	Noncontributing	2038250080		1964	apartment
802	North I Street	Noncontributing	2038180071		1979	apartment - also 901 N 8th Street
802	North J Street	Contributing	2038200070		1889	Welles Wheeler
802	North L Street	Contributing	2038240090		1891	Frank D. French
802	North M Street	Contributing	2038260091		1923	T. G. Barto
802	North Sheridan Avenue	Noncontributing	2038280070		1889	John M. Ferris
805	North Ainsworth Avenue	Contributing	2038310070		1923	Ralph B. Evans
805	North Grant Avenue	Contributing	2038330070		1889/1936	
805	North J Street	Noncontributing	2038190080		1965	apartment
806	North Cushman Avenue	Contributing	2038300070		1908	John W. Garvin
806	North J Street	Contributing	2038200060		1907	Louis G. & Louise L. Parsons
						William Gaston/ Christian Oelschlagel/J.
806	North L Street	Contributing	2038240080		1891	Austin Wolbert)
807	North Cushman Avenue	Contributing	2038290050		1891	Gwin Hicks
807	North L Street	Contributing	2038230050		1914	M. C. Taylor
807	North M Street	Contributing	2038250070		1890	Edward S. Orr
808	North Ainsworth Avenue	Contributing	2038320060		1907	Louis Streeter
808	North Grant Avenue	Contributing	2038340051		1912	Harry & Irene Coleman
808	North I Street	Contributing	2038180050		1892	Arthur F. Albertson
808	North M Street	Contributing	2038260080		1891	Frederick M. Friedberg
808	North Sheridan Avenue	Contributing	2038280060		1889	Frank A. Smalley
809	North Ainsworth Avenue	Contributing	2038310060		1922	H. Macdonald
809	North Grant Avenue	Contributing	2038330060		1909	Guthard C. & Annie Engh
809	North J Street	Contributing	2038190060		1922	F. Kerr
809	North M Street	Contributing	2038250060		1890	Frederick A. Brown
809	North Sheridan Avenue	Contributing	2038270060		1907	Frank Durr
810	North Cushman Avenue	Contributing	2038300061		1908	James L. Garvin
810	North J Street	Contributing	2038200050		1923	Harry Rotman
810	North L Street	Contributing	2038240070		1941	Austin W. Ackley
810	North M Street	Contributing	2038260070		1890	John O. Freburg
810	North Sheridan Avenue	Contributing	2038280050		1906	F. B. Callon
811	North 11th Street	Contributing	2041170050		1922	G. Longstreth
811	North Ainsworth Avenue	Contributing	2038310050		1890	Andrew F. Snyder
811	North Cushman Avenue	Contributing	2038290040		1905	John A. Knobel
811	North I Street	Contributing	2038170040		1926	Dana W. King
811	North L Street	Contributing	2038230040		1923	C. F. Knecht
811	North M Street	Contributing	2038250050		1890	Elias F. McKenzie
811	North Sheridan Avenue	Contributing	2038270050		1914	Irving W. Hicks
812	North 11th Street	Contributing	2040170010		1900	
812	North Ainsworth Avenue	Contributing	2038320050		1907	
812	North Grant Avenue	Contributing	2038340041		1910	Charles Glans
812	North I Street	Contributing	2038180040		1922	M. Roberts
				2038220040, 2038220050, 2038220060, 2038220070, 2038220080		
812	North K Street	Noncontributing	2038220030		1972	Shaw House/Trentwood Apts
812	North M Street	Contributing	2038260060		1890	Isaac A. Manning
812	North State Street	Contributing	9370000030		1900	Frank A. Johnston
813	North K Street	Noncontributing	2038210041		1970	Shaw House - Culbertson Apts
814	North 10th Street	Contributing	2039170010		1922	H. J. Schneider
814	North Cushman Avenue	Contributing	2038300040		1924	J. B. Lawton
814	North L Street	Noncontributing	2038240050	2038240060	1979	Apartment

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814	North M Street	Contributing	2038260050		1922	Ira A. Hansen
814	North State Street	Contributing	9370000020		1900	Frank Chamberlain
814	North Trafton Avenue	Contributing	7280000020		1892	Carl Emil & Anna Carlson
815	North 4th Street	Contributing	2034170050		1916	George Wing Jr.
815	North Ainsworth Avenue	Contributing	2038310040		1928	Ray Held
815	North Cushman Avenue	Contributing	2038290030		before 1904	Halsey B. Scovell
815	North Grant Avenue	Contributing	2038330050		1928	M. J. Westerfield
815	North I Street	Contributing	2038170030		1906	Dr. Ernest C. Wheeler
815	North J Street	Contributing	2038190050		1923	Mrs. William H. Danielson
815	North L Street	Contributing	2038230030		1925	Fred L. Stabbert
815	North M Street	Contributing	2038250040		1945	Mrs. Caspara Hogan
816	North I Street	Contributing	2038180030		1910	Mrs. F. L. Davis
816	North J Street	Contributing	2038200040		1940	
816	North Sheridan Avenue	Contributing	2038280040		1909	James B. Wells
816	North Trafton Avenue	Contributing	7280000011		1909	Rush G. Faler
817	North Grant Avenue	Contributing	2038330040		1909	
817	North I Street	Contributing	2038170020		1890	Adna H Reynolds
817	North J Street	Contributing	2038190040		1889	John Q. & Virginia W. Mason
817	North M Street	Contributing	2038250030		1925	A. C. Carlson
817	North Sheridan Avenue	Contributing	2038270040		1906	William T. Fletcher
817	North Trafton Street	Contributing	7280000040		1900	Mildred Hammer
818	North 10th Street	Contributing	2039170020		1922	
818	North Ainsworth Avenue	Contributing	2038320040		1925	George Levenhagen
818	North Cushman Avenue	Contributing	2038300030		1925	Walter B. Ellis
818	North I Street	Contributing	2038180020		1890	Mrs. Verona Bell
818	North L Street	Noncontributing	2038240040		1962	apartment
818	North M Street	Contributing	2038260040		1891?	John P. Amy
818	North Trafton Avenue	Contributing	2039350050		1911	Stearns Bldg & Investment Co
819	North 5th Street	Contributing	2035170070		1922	Brentwood Apts
819	North J Street	Contributing	2038190010	2038190020	1904	Llewellyn J. W. Jones house was moved to rear of site when house at 817 N. M St was built TDL
819	North M Street	Contributing	2038250030		1889	1/1/1890
819	North Sheridan Avenue	Contributing	2038270030		1922	C. M. Boyle
820	North 10th Street	Contributing	2039170030		1922	
820	North Ainsworth Avenue	Contributing	2038320030		1919	Dr. James Carroll
820	North J Street	Contributing	2038200030		1907	Elliott Kelly
820	North M Street	Contributing	2038260030		1890	Frederick A. Brown
820	North Sheridan Avenue	Contributing	2038280030		1910	John Gertig
822	North 11th Street	Contributing	2040170020		1927	Colonial Realty Co
822	North Grant Avenue	Contributing	2038340030		1907	Barney Brolin
822	North M Street	Contributing	2038260020		1890	Allen J. Henderson
823	North Ainsworth Avenue	Contributing	2038310020		1923	Henry Relf
823	North Cushman Avenue	Contributing	2038290020		1923	Harold M. Manning
823	North I Street	Contributing	2038170010		1895	Arthur F. Albertson
823	North K Street	Contributing	2038210010		1890	S./E. Floyd Messinger
823	North M Street	Contributing	2038250020		1928	C.O. Hogan
824	North Ainsworth Avenue	Contributing	2038320010		1918	W. L. Kellum
824	North Cushman Avenue	Contributing	2038300010		1925	Louis R. Slyter
824	North Grant Avenue	Contributing	2038340011		1907	Hutchinson Residence
824	North I Street	Contributing	2038180010		1892	David lister
824	North J Street	Contributing	2038200010		1919	
824	North K Street	Contributing	2038220010		1893	Charles Drury
824	North M Street	Contributing	2038260010		1890	Fannie H. Lyman
824	North Sheridan Avenue	Contributing	2038280023		1903	John D. McKenzie
831	North Steele Street	Contributing	2039340030		1910	
901	North 3rd Street	Noncontributing	2033180070		1971	apartment
901	North 8th Street	Noncontributing	2038180071		1979	apartment
901	North Ainsworth Avenue	Contributing	2039310060		1924	F. M. Madsen
901	North Cushman Avenue	Contributing	2039290090		1922	N. G. Nelson
901	North J Street	Contributing	2039190050		1908	Immanuel Presbyterian Church
901	North K Street	Contributing	2039210100		1892	Lemuel T. Root- 12 Apostles
901	North M Street	Contributing	2039250081		1917	orchid apartments
902	North Cushman Avenue	Noncontributing	2039300080		1889	A. Jansen
902	North Grant Avenue	Contributing	2039340080		1912	Warren Residence
902	North K Street	Contributing	2039220060		1903	Dwight & Louisa C. Phelps
902	North L Street	Contributing	2039240080		1909	H. Lundgren
902	North M Street	Contributing	2039260070		1890	Robert L. Hall/Fayette C. Lamb
902	North Sheridan Avenue	Contributing	2039280080		1891	John B. Croake
903	North K Street	Contributing	2039210090		1892	Lemuel T. Root- 12 Apostles M.G. Barker- wall mural of scenes along
904	North Ainsworth Avenue	Contributing	2039320060		1907	the Rhine River by German Artist
904	North M Street	Contributing	2039260060		1890	Hans G. Bendixen
904	North Sheridan Avenue	Contributing	2039280070		1891	Robert L. Lee

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905	North Ainsworth Avenue	Contributing	2039310050		1924	Benjamin A. Almvig
905	North Cushman Avenue	Contributing	2039290080		1898	Nels Gustav Nelson
905	North Grant Avenue	Contributing	2039330060		1921	Martin H. Sather
905	North L Street	Contributing	2039230070		1912	John George
906	North 9th	Contributing	2038180010		1890	Horace H. Greeley
906	North Sheridan Avenue	Contributing	2039280060		1891	Augustus E. Scharff
908	North Ainsworth Avenue	Contributing	2039320050		1907	Abel White
908	North Cushman Avenue	Contributing	2039300070		1934	Alfred & Margaret Anderson
908	North Grant Avenue	Noncontributing	2039340070		1977	Allan D. Sapp
908	North J Street	Contributing	2039200040	2039200050	1948	Domonik Vukovich
908	North K Street	Contributing	2039220050		1904	Nicholas J. Brazell
908	North L Street	Contributing	2039240060		1910	J. T. Braddock
908	North M Street	Contributing	2039260050		1938	Neal F. Roberts
909	North Ainsworth Avenue	Contributing	2039310040		1924	George W. Remmert
909	North Cushman Avenue	Contributing	2039290060		1889	George W. Race
909	North Grant Avenue	Contributing	2039330050		1922	G. M. Stroud
909	North I Street	Noncontributing	5226500010	43 more parcel #s	1979	Le-Mer Condominiums
909	North J Street	Contributing	2896003202		1909	Immanuel Presbyterian Church Manse
909	North M Street	Contributing	2039250070		1911	apartments
909	North Sheridan Avenue	Contributing	2039270051		1924	Maryland Realty Co
910	North 13th Street	Contributing	2042180030		1915	Harold J. Bothel Home (1928)
910	North I Street	Contributing	2039180060		1925	Frank A. Sargent
910	North M Street	Contributing	2039260040		1929	S. A. Gagliardi
911	North 12th	Contributing	2042190070		1937	R. E. Peterson
911	North 3rd Street	Contributing	2033190080		1890	Frank Hale
911	North Cushman Avenue	Contributing	2039290050		1922	W. G. Ducommon
911	North J Street	Contributing	2039190040		1913	Dr. Warren Brown
911	North K Street	Noncontributing	2039210013		1965	Apts Built by Tacoma Housing Authority
911	North L Street	Contributing	2039230060		1918	Thomas Bennett Jr.
912	North 10th	Contributing	2039190011		1888	apartments apparently built in conjunction with the store bldg/apts at 921-923 N J St
912	North 13th	Noncontributing	2042190010		1923	Alfred Eckstein
912	North 9th Street	Contributing	2038190030		1903	Benjamin H. Bennetts
912	North Ainsworth Avenue	Contributing	2039320040		1923	Maryland Realty Co
912	North Cushman Avenue	Contributing	2039300060		1891	Henry Johnson
912	North Grant Avenue	Contributing	2039340060		1909	W. A. Goehrig
912	North I Street	Contributing	2039180050		1889	Henry O & Jeanette Geiger
912	North K Street	Contributing	2039220040		1925	L. W. Dimmock
912	North L Street	Contributing	2039240050		1909	Leonard J. Brown
913	North 3rd Street	Contributing	2033190070		1889	See 301 N J Street
913	North 6th Street	Contributing	2036190050		1901	R.W. Taynton
913	North Ainsworth Avenue	Contributing	2039310030		1892	Andrew F. Snyder
913	North Grant Avenue	Contributing	2039330040		1922	Oscar Peterson
914	North Cushman Avenue	Contributing	2039300050		1926	Oscar Arnette
914	North I Street	Contributing	2039180040		1931	Mrs. Mary E. Vogel
914	North M Street	Contributing	2039260030		1924	W. H. Corner
915	North Ainsworth Avenue	Contributing	2039310025		1892	George Hayes
915	North Cushman Avenue	Contributing	2039290040		1922	Speers, Kerr & Steel
915	North L Street	Contributing	2039230050		1911	Paul Michael
915	North M Street	Contributing	2039250027	2039250028, 2039250021, 2039250028, 2039250024, 2039250022	1922	apartments
915	North Sheridan Avenue	Contributing	2039270040		1925	John M. Boyle
916	North 5th Street	Contributing	2034190010		1923	Richard G. Glanville
916	North Ainsworth Avenue	Contributing	2039320030		1922	Conrad Peterson
916	North Grant Avenue	Contributing	2039340050		1909	W. A. Goehrig
916	North J Street	Contributing	2039200030		1939	Anna Ternes
916	North K Street	Contributing	2039220030		1905	Roy E. Davison
916	North L Street	Contributing	2039240040		1908	Jesse Wm. & Myrtle May Tibbits
917	North J Street	Noncontributing	2039190021		1995	G. D. Hamor
918	North I Street	Contributing	2039180030		1923	Mrs. M.C. Hanson
918	North J Street	Contributing	2039200020		1925	John C. Bicker
918	North M Street	Noncontributing	2039260020		1966	Sether Apts
918	North Sheridan Avenue	Contributing	2039280030		1931	W. Dyer
919	North Ainsworth Avenue	Contributing	2039310020		1889	John A. Shutes
919	North Grant Avenue	Contributing	2039330030		1922	Harry Naubert
919	North L Street	Contributing	2039230040		1888/1908	Charles H. King/ Henry Young- Mrs. R.E. McKenzie
919	North Sheridan Avenue	Contributing	2039270030		1925	Mrs. James F. O'Brien
920	North Grant Avenue	Contributing	2039340040		1910	W.A. Goehring
920	North I Street	Contributing	2039180020		1889	Tacoma Bldg & Savings Assoc

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920	North L Street	Contributing	2039240030		1919	Jos. Hansen
920	North Sheridan Avenue	Contributing	2039280020		1925	Earl V. Palmatier
921	North 12th Street	Noncontributing	2042190080		1949	Adolph E. Eva Stebner
921	North Sheridan Avenue	Contributing	2039270020		1924	Albert Taylor
922	North Ainsworth Avenue	Contributing	2039320010		1925	Philip A. Scott
923	North 13th Street (also address	Contributing	2043190030	2043190040	1907	Engine House No.3
						George H Johnson/Dudley Moore/Alfred
923	North Ainsworth Avenue	Contributing	2039310010		1890	W. Swalwell
923	North Grant Avenue	Contributing	2039330010		1924	Elsie N. Simmons
923	North K Street	Contributing	2039210010		1940	R. Bruce Robbins
923	North M Street	Contributing	2039250010		1909	Givin G. Hicks
924	North Grant Avenue	Contributing	2039340020		1914	W.A. Goehring
924	North I Street	Contributing	2039180010		1889	Tacoma Bldg & Savings Assoc
924	North J Street	Contributing	2039200010		1906	Albert Tozer
924	North K Street	Contributing	2039220010		1904	Mr. & Mrs. Clark E. Detwiler
924	North L Street	Contributing	2039240010		1909/1910	Mrs. A. L. Murphy
924	North Sheridan Avenue	Contributing	2039280010		1924	Dana E. Lohman
928	North Grant Avenue	Contributing	2039340010		1910	W. A. Goehrig
1001	North 6th Street	Noncontributing	2036200060		1986	apartment
1001	North 9th Street	Contributing	2039200080		1925	Hugh P. Swann Home
1001	North Ainsworth Avenue	Contributing	2040310070		1895	John T. Redman
1001	North I Street	Contributing	2040170040		1905	Rust Mansion
1001	North J Street	Noncontributing	2040190010		1967	St. Patrick's Convent
1001	North L Street	Contributing	2040230080		1950	apartments
1001	North Sheridan Avenue	Contributing	2040270070		1904	F. B. Donaldson
1002	North 4th Street (Apostolic Faith)	Contributing	2033200010		1922	Temple Beth Israel
1002	North 5th	Noncontributing	2034200010		1955	John Riccobono/John Kelly
1002	North Ainsworth Avenue	Contributing	2040320060		1908	William H. Hicker
1002	North J Street	Noncontributing	2040200070		1967	apartment
1002	North L Street	Contributing	2040240050		1906	Miss A. H. Forbes
1002	North M Street	Noncontributing	2040260080		1967	apartment
1003	North Grant Avenue	Contributing	2040330040		1922	John S. Moe
1003	North K Street	Contributing	2040210070		1918	Dr. J. W. Van Valzah
1004	North Cushman Avenue	Contributing	2040300094		1891	F. A. Keasal
1004	North K Street	Contributing	2040220050		1891	Herbert O. Fishback
1005	North 9th Street	Contributing	2039200070		1925	Steve F. Victor
1005	North Ainsworth Avenue	Contributing	2040310060		1890	James Garrison
1005	North L Street	Contributing	2040230070		1915	J. A. Purrington
1005	North M Street	Contributing	2040250060			demolished
						Samuel Glenn Laundry/Auto Beauty Parlor
1006	North I Street	Contributing	2040180064		1910 (1919)	
1006	North M Street	Contributing	2040260070		1889/1890	Samuel R. Balkwill/George H. Walker
1007	North Ainsworth Avenue	Contributing	2040310052		1891	Henry V. Roberts/James E. Valentine
1007	North K Street	Contributing	2040210050		1922	G. Kirkebo
1007	North M Street	Noncontributing	2040250050		1962	apartment
1007	North Sheridan Avenue	Contributing	2040270050		1926	Fred Lohman
1008	North 9th	Noncontributing	2038200020		1920	Thomas A. Cross
1008	North I Street	Contributing	2040180050		1904	Samuel A. Andrews
1008	North K Street	Contributing	2040220040		1891	William H. Avery/Mrs. Nancy J. Devine
1009	North 9th Street	Contributing	2039200060		1925	William G. Gray
1009	North Cushman Avenue	Contributing	2040290060		1891	William Hicker
1009	North L Street	Contributing	2040230060		1912	C. E. Griffin
1010	North 11th Street	Contributing	2040200020		1893	Charles J. Nelson
1010	North 9th Street	Contributing	2038210020		1907/1919	A. Bruce/Louisa V. Montgomery
1010	North Cushman Avenue	Noncontributing	2040300080		1997	Mark A. Donahue
				9005080090, 9005080100, 9005080110, 9005080120, 9005080130, 9005080020, 9005080030, 9005080040, 9005080050, 9005080060, 9005080070, 9005080080		
1010	North J Street	Noncontributing	9005080010		1977	apartment
1010	North K Street	Contributing	2040220030		1903	James A. Williamson
1010	North L Street	Contributing	2040240040		1927	
1010	North M Street	Contributing	2040260060		1922	H. J. Potter
1010	North Sheridan Avenue	Contributing	2040280050		1940	Edward P. Lyman
1011	North 8th Street	Contributing	2038210090		1908	M. A. Drew
1011	North Ainsworth Avenue	Noncontributing	2040310051		1995	Carlton L. Rhoades
1011	North Cushman Avenue	Contributing	2040290050		1926	Andrew Larson

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Street Number	Street Name	Status	Parcel	Alt Parcels	Built	Property Notes
1011	North K Street	Contributing	2040210040		1903	Jos. M. Hargis
1011	North L Street	Contributing	2040230050		1895	Philip A. Baillargeon
1012	North 4th Street	Noncontributing	2033210010			surface parking
1012	North 8th Street	Noncontributing	2037210020		1965	apartment
1012	North 9th Street	Contributing	2038210030		1888	Singleton T. Armstrong
1012	North Cushman Avenue	Contributing	2040300070		1911	Richard B. Lee
1012	North I Street	Contributing	2040180040		1889/1890	Frank Kneeland/Jos L. Lewith
1013	North 12th Street	Contributing	2042210060		1938	Delbert A. & Virginia E. Belfoy
1014	North 12th Street	Contributing	2041210010		1890	Mrs. Anna Groeper
1014	North 5th Street	Contributing	2034210011		1907/1927	Mrs. Mary Sherman/L. Vatilich
1014	North I Street	Contributing	2040180030		1927	Louis Vitalich
1014	North K Street	Contributing	2040220020		1903	George C. & Opal Williamson
1014	North L Street	Contributing	2040240030		1889	H. Jennings
1014	North M Street	Contributing	2040260050		1890	Frank E. Willard
1015	North 10th Street	Contributing	2040210060		1925	Bert H. & Louise Goodman
1015	North 11th Street	Contributing	2041210050		1940	Neal C. Gregory
1015	North 5th Street	Contributing	2035210040		1905	Ernest C. Cornell
1015	North Ainsworth Avenue	Noncontributing	2040310040		1961	John M. Clark/Terrace Beauty Salon
1015	North Cushman Avenue	Contributing	2040290040		1889	R. D. Ruff
1015	North M Street	Contributing	2040250040		pre1951	Florence Renald
1015	North Sheridan Avenue	Noncontributing	2040270040		1941	Maynard Schwabke
1016	North 12th Street	Contributing	2041210020		1922	James L. Hunt
1016	North 6th Street	Contributing	2035210010		1926	North K Substation
1016	North Cushman Avenue	Contributing	2040300060		1889/1925	P. J. Neilly/Andrew Larson builder
1016	North M Street	Contributing	2040260040		1890	Samuel G. Landon
1016	North Sheridan Avenue	Contributing	2040280040		1940	William J. Ellis
1017	North 10th Street	Contributing	2040210080		1919	George R. Ankos
1017	North 12th Street	Contributing	2042210080		1938	George F. Rauk
1017	North 8th Street	Noncontributing	2038210080		2002	
1017	North Cushman Avenue	Noncontributing	2040290030		1889	Duff & Bain
1017	North K Street	Contributing	2040210030		1955	apartments
1017	North L Street	Contributing	2040230040		1908	J. D. Benner
1017	North Steele	Contributing	2040330030		1924	J. Allen Worthington
1018	North 11th Street	Contributing	2040210010		1921	J. C. Murphy
1018	North 5th Street	Contributing	2034210020		1909	E. H. Mathews
1018	North 7th Street	Contributing	2036210010		1892	Richard F. Wells
1018	North Cushman Avenue	Contributing	2040300050		1908	C. A. Richardson
1018	North I Street	Contributing	2040180020		1925	Charles W. Thomas
1018	North L Street	Contributing	2040240020		1888	Robert Reed
1018	North M Street	Contributing	2040260030		1890	Harvey N. Ott
1019	North I Street	Contributing	2040170030		1927	Colonial Realty Co
1019	North Sheridan Avenue	Contributing	2040270030		1942	Alex W. Olson
1020	North 12th Street	Contributing	2041210030		1909	Neil P. & Elizabeth M. Harrison
1020	North Cushman Avenue	Contributing	2040300040		1908	C. A. Richardson
1020	North J Street	Contributing	2040200030		1902	Edwin Eels
1020	North K Street	Noncontributing	2040220012		1994	apartments
1020	North L Street	Contributing	2040240010		1889	John T. Nolan
1020	North M Street	Contributing	2040260020		1923	Lillian H. Bourland
1021	North 12th Street	Contributing	2042210070		1902	C. P. Taylor
1021	North 5th Street	Contributing	2035210050		1905	Daniel Cornell
1021	North L Street	Contributing	2040230010		1930	R. L. Gibson
1022	North 11th Street	Contributing	2040210020		1921	J. C. Murphy
1022	North I Street	Contributing	2040180010		1890	David Lister
1022	North K Street	Contributing	2040220011		1901	Samuel R. Balkwill
1023	North Cushman Avenue	Contributing	2040290020		1927	Edwin Carlson
1024	North Cushman Avenue	Contributing	2040300030		1908	C. A. Richardson
1024	North J Street	Contributing	2040200010		1893	Percy L. Sinclair
1024	North M Street	Contributing	2040260010		1923	H. Macdonald
1026	North Cushman Avenue	Contributing	2040300020		1908	C. A. Richardson
1027	North Steele Street	Contributing	2040320050		1906	W. H. Hicker/Daniel Hicker
1029	North Steele Street	Noncontributing	2040320030		1906	Claude C. Cawthorne
1031	North Steele Street	Contributing	2040320040		1910	Frederick A. Lang
1033	North Steele Street	Contributing	2040320020		1910	Luther W. Rosene
1101	North 12th Street	Noncontributing	2042220070		1967	apartment
1101	North 5th Street	Contributing	2035220080		1905	Edwin Heineman
1101	North I Street	Contributing	2041170040		1923	A.W. Johnson
1101	North K Street	Contributing	2041210060		1938	Frederick J. Seitz
1101	North M Street	Contributing	2041250090		1909	William Poage
1102	North 5th Street	Contributing	2034220010		1901	F. Garrett Fisher
1102	North J Street	Contributing	2041200060		1901	William D. F. Hyde
1102	North K Street	Contributing	2041220070		1888	George W. Swalwell
1102	North M Street	Contributing	2041260070		1929	W. W. Delaney
1102	North Sheridan Avenue	Noncontributing	2041280030		1889	Bain Building
1105	North 5th Street	Contributing	2035220100		1908	Robert Walton

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1105	North L Street	Contributing	2041230060		1889/1890	/M. Nodine/Charles M. Sherman
1105	North M Street	Contributing	2041250070		1909	Irwin W. Ziegau
1105	North Sheridan Avenue	Contributing	2041270050		1889	
1106	North J Street	Contributing	2041200050		1902	James C. Murphy
1106	North K Street	Contributing	2041220060		1888	William G. Swalwell
1106	North M Street	Contributing	2041260060		1889/1890	J.P. Wright/Arthur M. Semple
1107	North M Street	Contributing	2041250060			Mrs. Theresa D. Brown- house may have ? been moved from another site
1108	North 6th Street	Contributing	2035220020		1915	Patrick Manley
1108	North J Street	Contributing	2041200040		1902	George A. Rice
1108	North L Street	Contributing	2041240050		1944	Great Northern Realty Co
1109	North 7th Street	Contributing	2037220080		1904	Mrs. Esther P. Reed
1109	North I Street	Contributing	2041170030			demolished
1109	North L Street	Noncontributing	2041230050		1967	apartment
1109	North Sheridan Avenue	Contributing	2041270040		1948	Donald O. Turney
1110	North 8th Street	Contributing	2037220020		1912	B.V. Schwulen/May S. Guyles
1110	North 9th Street	Contributing	2038220020		1895	Alphonse C. Marconnier
1111	North 4th Street	Contributing	2034230080		1890	Francis B. Kellogg
1111	North K Street	Noncontributing	2041210040		1962	Pine Crest Apts
1111	North L Street	Noncontributing	2041230040		1962	apartment
1111	North M Street	Contributing	2041250050		1889	Duff & Bain
1112	North 10th Street	Contributing	2039230030		1907	Fordyce Taber
1112	North 5th Street	Contributing	2034230010		1906	John A. Rea
1112	North 9th Street	Contributing	2038230010		1906	
1112	North J Street	Contributing	2041200030		1902	Harry L. Crosby/"Bing Crosby House"
1112	North K Street	Contributing	2041220041		1923	James F. O'Brien
1112	North L Street	Contributing	2041240040		1928	Fred E. Tate
1112	North M Street	Contributing	2041260041		1889	O. F. Hamger
1113	North 7th Street	Contributing	2037230090		1922	Vern J. & Amelia Hutchinson
1113	North 9th Street	Contributing	2039230090		1906	Horace N. Dryer
1113	North M Street	Contributing	2041250040		1889	Duff & Bain
1114	North 11th Street	Contributing	2040230020		1928	F. F. Beckman
1114	North 7th Street	Contributing	2036230010		1915	Anthony C. Halligan
1114	North M Street	Contributing	2041260030		1924	J. I. Higgen
1115	North 11th Street	Contributing	2041230080		1902	R. D. Duff
1115	North 12th Street	Noncontributing	2042230030		1954	apartment
1115	North 5th Street	Contributing	2035230050		1923	Oscar D. & Tillie K. Nethery
1115	North L Street	Contributing	2041230030		1890	J. J. O'Brien
1115	North Steele Street	Contributing	2040310030		1908	Mrs. Mamie Bettman
1116	North J Street	Contributing	2041200020		1903	John H. McDaniels
1116	North K Street	Noncontributing	2041220030		2007	
1116	North L Street	Contributing	2041240030		1948	Steve Franko
1117	North 6th Street	Contributing	2036230070		1904	Frank Snyder
1117	North 7th Street	Contributing	2037230080		1922	Fred E. Tate
1117	North Steele Street	Contributing	2040310020		1908	Fred Downs
1118	North 10th Street	Contributing	2039230010		1927	Mrs. J. D. Rutherford
1118	North 11th Street	Contributing	2040230030		1928	Felix F. & Gladys I. Beckman
1118	North 12th Street	Noncontributing	2041230010		1948	Mrs. Peary Gonyea
1118	North 5th Street	Contributing	2034230020		1910	
1118	North 7th Street	Contributing	2036230030		1925	Donald & Cora MacPherson
1118	North 8th Street	Contributing	2037230010		1904	Meriden S. Hill
1119	North 4th Street	Contributing	2034230070		1890	Francis B. Kellogg
1119	North L Street	Contributing	2041230020		1943	Gustav W. Fischer
1119	North M Street	Contributing	2041250030		1926	C. T. Hubbard
1120	North 10th Street	Contributing	2039230020		1926	O. Erickson
1120	North K Street	Noncontributing	2041220020		1958	Capri Apts
1120	North L Street	Noncontributing	2041240020		1964	apartments
1121	North 5th Street	Contributing	2035230060		1925	William H. & Vitalia A. Smith
1121	North 6th Street	Contributing	2036230080		1904	Frank Snyder
1121	North 7th Street	Contributing	2037230100		1924	R. R. Thomas
1121	North M Street	Contributing	2041250020		1907	William Ive
1121	North Steele Street	Contributing	2040300010		1908	Edward Dube
1122	North 6th Street	Contributing	2035230010		1918	Newton Apts
1122	North 7th Street	Contributing	2036230020		1925	Clayton G. & Charlotte M. Francis
1122	North J Street	Contributing	2041200010		1904	Clinton McDaniels
1122	North K Street	Contributing	2041220010		1908	Dr. J.B. McNerthney
1123	North 11th Street	Contributing	2041230070		1902	George Wood
1123	North 9th Street	Contributing	2039230080		1904	Theodore Huggins
1123	North M Street	Contributing	2041250010		1907	Wheeler_Reese Lumber Co
1124	North 9th Street	Contributing	2038230020		1906	Charles Rhodes
1124	North L Street	Contributing	2041240010		1942	Richard M. Buffelen
1127	North M Street	Contributing	none found		1961	Henry J. Jewell
1130	North L Street	Contributing	2042240050		1924	S.D.C. Smith
1134	North L Street	Contributing	2042240040		1920	J. F. Bachelor

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1138	North L Street	Contributing	2042240020		1920	J. F. Bachelor
1201	North 11th Street	Contributing	2041240060		1922	T. E. Boze Grocery/Economy Market
1201	North 4th Street	Noncontributing	2034240090		1986	apartment
1202	North 8th Street	Contributing	2037240020		1907	John Fitzgerald
1202	North 9th Street	Contributing	2038240020		1919	J. Vaughn & Son
1202	North I Street	Contributing	2042180090		1901	James E. Kelsey
1202	North J Street	Contributing	2042200070		1901	Alfred & Emily Metzger/Mrs. E.G. Pratt
1203	North 11th Street	Contributing	2041240070		1898	building
1205	North J Street	Contributing	2042190060		1925	J. N. Harry Aubry
1206	North 8th Street	Contributing	2037240010		1915/1918	John Fitzgerald
1206	North 9th Street	Contributing	2038240010		1919	J. Vaughn & Son
1207	North K Street	Contributing	2042210050		1910	C. F. Moeller
1208	North 10th Street	Contributing	2039240020		1925	Farlin Nye
1208	North I Street	Contributing	2042180080		1907	Ernest A. & Cora E. Knoell
1208	North K Street	Contributing	2042220060		1938	N. S. Nelson
1209	North 10th Street	Contributing	2040240060		1890	Alfred F. Barnard
1210	North 8th Street	Contributing	2037240030		1913/1915	M. J. Fitzgerald
1210	North 9th Street	Contributing	2038240030		1892	Edward A. Hatherton
1210	North J Street	Contributing	2042200060		1904	J. T. Reed
1211	North 10th Street	Contributing	2040250070		1890	E. C. Miller
1211	North 11th Street	Contributing	2041250080		1901	William S. Couch
1211	North 4th Street	Contributing	2034250060		1904	Robert D. Bedolfe/Donald W. Morgan
1211	North J Street	Contributing	2042190050		1937	Jos Fick
1211	North K Street	Contributing	2042210040		1952	Lloyd E. Anderson
1212	North 8th Street	Noncontributing	2037250020		1965	Westie M. Jensen
1212	North I Street	Contributing	2042180070		1889	Edward Hatfield Home
1212	North J Street	Contributing	2042200050		1937	Jack Shaffer
1212	North K Street	Contributing	2042220050		1938	Russell G. Nelson
1213	North 7th Street	Contributing	2037250070	2037250080	1903/1891	J.E. Brandon/Mrs. Frank Wynkoop
1214	North 7th Street	Contributing	2036250010		1925	Leo J Feidler
1214	North I Street	Contributing	2042180060		1889	Kemmoe Edwardsen Home
1215	North 10th Street	Contributing	2040250080		1890	E. C. Miller
1215	North 4th Street	Contributing	2034250070		1904	John W. Bean
1215	North 9th Street	Contributing	2039240070		1917	apartments
1215	North J Street	Contributing	2042190040		1936	E. C. "Gene" Gemberling
1215	North K Street	Contributing	2042210030		1949	C. E. Henriot
1215	North Steele Street	Contributing	2041280021		1921	Charles Stewart
1216	North 11th Street	Contributing	2040250010		1917	Des Moines Investment Co
1216	North 6th Street	Noncontributing	2035250010		1959	apartment
1216	North 9th Street	Contributing	2038250010		1928	S. Hegge
1216	North J Street	Contributing	2042200040		1921	Alvin Muehler
1217	North J Street	Contributing	2042190030		1924	R. Manley
1218	North 11th Street	Contributing	2040250030		1917	Edward Beardsley
1218	North I Street	Contributing	2042180041		1889	George Kiehlmeyer Home
1220	North 5th Street	Contributing	2034250010		1906	H. G. Rowland
1220	North I Street	Contributing	2042180030		1889	Washington Building Assoc
1220	North J Street	Noncontributing	2042200030		1951	Harry A. Griewe
1222	North 11th Street	Contributing	2040250020		1917	Des Moines Investment Co
1223	North J Street	Contributing	2042190020		1923	John W. Taylor
1224	North I Street	Contributing	2042180010		1904	Margaret Hall Home
1224	North J Street	Contributing	2042200020		1918	E. Hutchinson
1226	North J Street	Contributing	2042200010		1918	E. Hutchinson
1230	North J Street	Contributing	2043200040		1921	E. C. Hill
1301	North 4th Street	Noncontributing	2034260093		1955	apartment
1302	North 10th Street	Noncontributing	2039260010		1978	apartment
1302	North 6th Street	Noncontributing	2035260010		1962	apartment
1302	North 8th Street	Contributing	2037260010		1912/1910	Tacoma Home Construction Co.
1303	North 7th Street	Contributing	2037260070		1924	George Chamberlain
1305	North 6th Street	Contributing	2036260060		1921	Weller Bros
1305	North 8th Street	Contributing	2038260100		1923	Robert L & Margaret E. Coble
1308	North 8th Street	Contributing	2037260020		1912	Fred H & Mina E Bennett
1309	North 5th Street	Contributing	2035260070		1892	Frederick Alsbaugh
1309	North 6th Street	Contributing	2036260070		1921	Weller Bros
1309	North 7th Street	Contributing	2037260080		1924	Benjamin S. Lunan
1309	North 8th Street	Contributing	2038260110		1927	Harry C. & Violet E. Faul
1310	North 5th Street	Contributing	2034260020	2034260030	1891	Frank Talbot
1311	North 10th Street	Contributing	2040270060		1889	J. J. Brennan
1311	North 6th Street	Contributing	2036270070		1900	George H & Delta C Farrington
1311	North 8th Street	Contributing	2038270070		1890	Charles W. Snyder
1311	North 9th Street	Contributing	2039270081		1890	Everett C. Miller
1312	North 11th Street	Contributing	2040270011		1942	Oscar & Bessie Jordal
1314	North 7th Street	Contributing	2036270020		1940	Leonard F. & Hazel E. Erickson
1314	North 8th Street	Contributing	2037270010		1947	Frank J & Florence C Reda
1315	North 11th Street	Contributing	2041270060		1889	Lincoln K. Boyle

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1315	North 4th Street	Noncontributing	2034270050		1951	apartment
1315	North 5th Street	Contributing	2034270012	2035270060	1925	
1315	North 6th Street	Contributing	2036270080		1890/1924	Conrad Geiger/Albert E & Anna Long
1315	North 9th Street	Noncontributing	2039270071		1890	Jos C Dillow
1316	North 10th Street	Contributing	2039270010		1925	Robert C & Lillian B Cole
1316	North 9th Street	Contributing	2038270010		1925	John W Kenny
1317	North 8th Street	Noncontributing	2038270080		1890	
1318	North 9th Street	Contributing	2038270020		1951	Hans & Lina Lavik
1319	North 4th Street	Contributing	2034270060		1895	Signor A. J. Foli
1320	North 11th Street	Contributing	2040270021		1945	Jewell E & Edna Lerum
1320	North 8th Street	Noncontributing	2037270020		1951	Jos A Palagruiti
1321	North 5th Street	Contributing	2035270070		1916	Mrs. Hilda Chisholm
1323	North 6th Street	Contributing	2036270090		1921	A. E. Cromwell
1401	North 10th Street	Contributing	2040280090		1945	Willard R. and Beulah B. Lewis Home
1401	North 5th Street	Contributing	2035280070		1895	Kennedy Sanitarium (alcoholism) 1946
1401	North 6th Street	Contributing	2036280080		1907	Albert E Cromwell
1402	North 11th Street	Contributing	2040280010		1926	F. F. Beckman
1402	North 5th Street	Contributing	2034280010		1903	Governor Ernest Lister House
1402	North 7th Street	Contributing	2036280020		1932	Evert L Landon
1403	North Steele Street	Contributing	2041270030		1908	Everett E Bare
1405	North 10th Street	Contributing	2040280070		1925	Earl S & Ethel M Pierce
1406	North 11th Street	Contributing	2040280020		1926	C. C. Carney
1406	North 6th Street	Contributing	2035280030		1906	Mrs. Catherine Barrett
1406	North 7th Street	Contributing	2036280010		1932	Albert E. Graham
1407	North 11th Street	Contributing	2041280040		1929	Green & Branam
1407	North 7th Street	Contributing	2037280080		1931	Mrs. Leola Shannon
1409	North 10th Street	Contributing	2040280060		1918	Kelly & McMahon
1409	North 6th Street	Contributing	2036280070		1911	Clarence Hill
1409	North Steele Street	Contributing	2041270020		1907	Mrs. Alice L Kelly
1410	North 11th Street	Contributing	2040280030		1927	CC Carney
1410	North 6th Street	Contributing	2035280020		1906	Wellington Richard Steele
1410	North 9th Street	Noncontributing	2038280010		1903	E. Burgess
1413	North 6th Street	Contributing	2036290070		1905	Irwin A Stiles
1414	North 10th Street	Contributing	2039290010		1923	Fred E. Tate
1414	North 5th Street	Contributing	2034290010		1907	Roy E Davison
1414	North 6th Street	Contributing	2035290020		1911	R. Clifford Horr
1414	North 7th Street	Contributing	2036290010		1928	Eskil M & Nina E Westlin
1415	North 10th Street	Contributing	2040290080		1918	John Bendick
1415	North 11th Street	Noncontributing	2041290020		1910	
1415	North 5th Street	Contributing	2035280070		1901	William Gardner/Halco Sanitarium (alcoholics) 1941
1415	North 7th Street	Noncontributing	2037290050		1962	Edward & Helen Kjellesvick/E G & Lilliam Carlson
1415	North 8th Street	Contributing	2038290060		1910	
1415	North Steele Street	Contributing	2041260020		1920	Charles H McDonnell
1416	North 11th Street	Contributing	2040290010		1927	Louis B & Ruth H Utterback
1416	North 9th Street	Contributing	2038290010		1923	A. W. Fairhurst
1417	Division Avenue	Contributing	2034290040		1928	
1417	North 10th Street	Contributing	2040290070		1924	Peter J & Georgia M Hallmeyer
1418	North 10th Street	Contributing	2039290020		1924	Gordon F & Mary E Gray
1419	North 8th Street	Contributing	2038290070		1922	Duggan C & Hazel O'Keefe
1419	North Steele Street	Contributing	2041260013		1906	Michael McDonnell
1420	North 5th Street	Contributing	2034290020		1923	Clavin J Carr
1421	North 10th Street	Contributing	2040290090		1921	Dr. W. E. Lowrie
1422	North 10th Street	Contributing	2039290030		1924	Nels Magnussen
1501	Division Avenue	Contributing	2034300020		1919	R. Creso
1501	North 5th Street	Contributing	2035300060		1904	Charles A Bartz
1501	North 6th Street	Contributing	2036300080		1903	Boston Finance Co
1501	North Steele	Noncontributing	2042250020		1961	Henry J. Jewell
1502	North 10th Street	Contributing	2039300021		1929	Beulah E. Ridgeway
1505	Division Avenue	Contributing	2034300010		1919	R Creso
1505	North 6th Street	Contributing	2036300070		1903	Boston Finance Co
1505	North Steele Street	Noncontributing	2042250010		1951	Henry J. Jewell
1506	North 10th Street	Contributing	2039300030		1929	George W. Parsons
1506	North 8th Street	Contributing	2037300020		1923	
1507	North Steele Street	Contributing	none found		no info	
1508	North 6th Street	Contributing	2035300020		1910	Morris & Pauline Kleiner
1508	North 7th Street	Contributing	2036300020		1910	Frank L Berry
1508	North 8th Street	Contributing	2037300030		1923	W F Gross
1509	North 10th Street	Contributing	2040300095		no info	
1509	North 5th Street	Contributing	2035300070		1904	E. F. Messinger
1509	North 6th Street	Contributing	2036300060		1903	Boston Finance Co
1509	North 9th Street	Contributing	2039300090		1948	Kenneth M & Emily C Sager
1509	Steele Street	Contributing	2042240030		1919	George V Hammond

**North Slope Historic Special Review District
Buildings Inventory**

Updated as of 12/31/11

For more information or to report errors, please call 253-591-5220.

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Street Number	Street Name	Status	Parcel	Alt Parcels	Built	Property Notes
1510	North 10th Street	Contributing	2039300010		1929	Lynn Riebow
1510	North 9th Street	Contributing	2038300020		1924	Rev. S S Sulliger
1511	North 10th Street	Contributing	2040300096			Mrs. Patricia E Grant/Mrs. Neoma L. Chostner
1511	North 7th Street	Contributing	2037310070		1892	Andrew F. Snyder
1512	North 9th Street	Contributing	2038310010		1929	Van Smith
1513	North 7th Street	Contributing	2037310080		1892	R. D. Duff builder
1514	North 7th Street	Contributing	2036310010		1921	Dix Rowland
1515	North 7th Street	Contributing	2037310070		1892	
1515	North 9th Street	Contributing	2039310070		1924	Fred H Madsen
1516	North 9th Street	Contributing	2038310030		1922	J C Kinsil
1521	North 5th Street	Contributing	2035310060		1903	J F Hopkins
1535	North Steele Street	Noncontributing	2042230020		1981	apartments
1601	North 8th Street	Contributing	2038320070		1892/1894	Dutch Embassy House
1602	North 8th Street	Contributing	2037320010		1941	Carl H & Ruth Johnson
1605	Division Avenue	Contributing	2035320060		1893	Aaron R. Titlow
1605	North 7th Street	Contributing	2037320070		1925	Mrs. Stella S. Titlow
1607	North 9th Street	Contributing	2039320070		1922	Dr. J. F. Griggs
1608	North 10th Street	Contributing	2039320020		1925	J. W. Knox
1608	North 8th Street	Contributing	2037320020		1921	D. K. Davisson
1609	North 10th Street	Contributing	2040320070	2040330020	1925	W. H. Hecker
1610	North 6th Street	Contributing	2035320020		1907	Harry K Todd
1610	North 9th Street	Contributing	2038320020		1918	W. L. Kellum
1613	North 10th Street	Contributing	none found		no info	
1613	North 9th Street	Contributing	2039330070		1890	Robert Lillie
1614	North 8th Street	Contributing	2037330030		1922	Mrs. Belle Heale
1614	North 9th Street	Contributing	2038330010		1925	William A & Fern Nutting
1615	North 8th Street	Noncontributing	2038330080		1975	Mike Updegraff/Patrick R McCann
1616	North 10th Street	Contributing	2039330020		1927	Carl Hogberg
				2035330080, 2035350060, 2035330040, 2035330020, 2035330010, 2035330030, 2035330070, 2035330050, 2035330110, 2035330090, 2035330120		
1617	Division Avenue	Contributing	2035330100		1922	Gray Gables Apts
1617	North 9th Street	Contributing	2039330080		1915	Martin Sather
1618	North 8th Street	Contributing	2037330020		1922	Martin G & Grace Roper
1618	North 9th Street	Contributing	2038330030		1925	A. L. DeRousse
1619	North 9th Street	Contributing	2039330090		1915	Llewellyn Boyle
1622	North 8th Street	Contributing	2037330010		1918	Chas A Miller
1622	North 9th Street	Contributing	2038330020		1925	C. O. Anderson
1701	North Steele Street	Contributing	2042220030		1909	Clyde J Backus
1705	North Steele Street	Contributing	2042220021		1903	Anton Rinck
1710	North 9th Street	Contributing	9370000010		1904	Michael Warter
1721	North Steele Street	Contributing	2042210020		1909	William W Glenn
1725	North Steele Street	Contributing	2042210010		1910	Charles L Roberts
1731	North Steele Street	Contributing	2043200030		1921	Edward C Hill
1901	North Steele Street	Contributing	2043200020		1925	Edward C Hill
						house apparently built c. 1904 and moved to this site in 1940- house at 1731 N Steele was previously known as 1915 N
1915	North Steele Street	Noncontributing	2043190020		1904	Steele
610-12	North Sheridan	Noncontributing	2036280051		1978	
908-914	North Sheridan Avenue	Noncontributing	2039280050	2039280040	1961	apartments

Address	Status	Parcel	Built	Property Notes
403 S CUSHMAN AVE	Contributing	2004290030	1909	see 1423 S 5th
405 S CUSHMAN AVE	Contributing	2004290030	1909	see 1423 S 5th
405 S SHERIDAN AVE	Contributing	2004270030	1928	Silas Nelsen, Arch; see 407 S Sheridan
406 S M ST	Noncontributing	2004260020		vacant - playground
407 S SHERIDAN AVE	Contributing	2004270030	1926	Annex to 405 S Sheridan
408 S M ST	Noncontributing	2004260043		vacant - playground
408 S SHERIDAN AVE	Contributing	2004280030	1926	builder: Andrew Larson
409 S M ST	Noncontributing	2004260010		vacant - playground
409 S SHERIDAN AVE	Contributing	2004270040	1911	builder: Warren Stone
410 S M ST	Contributing	2004260050	1907	Proctor & Farrell
410 S SHERIDAN AVE	Contributing	2004280040	1899	Aaron R. Titlow Residence
412 S M ST	Contributing	2004260060	1916	
413 S SHERIDAN AVE	Contributing	2004270050	1924	builder: FT Fitch Primary
416 S M ST	Contributing	2004260070	1922	
417 S SHERIDAN AVE	Contributing	2004270060	1924	builder: Andrew Larson
421 S SHERIDAN AVE	Contributing	2004270070	1916	see 1319 S 5th
502 S SHERIDAN AVE	Contributing	2005280010	1901	builder: Edward C Hill
503 S SHERIDAN AVE	Contributing	2005270010	1904	
504 S AINSWORTH AVE	Contributing	2005320013	1901	Proctor & Farrell; builder: Charles Drury
505 S SHERIDAN AVE	Contributing	2005270020	1919	builder: George Murray
506 S SHERIDAN AVE	Contributing	2005280020	1905	builder: Robert Vance
507 S AINSWORTH AVE	Contributing	2005310040	1911	builder: H Lundgren
507 S CUSHMAN AVE	Contributing	2005290041	1909	builder: IP Wilson
508 S AINSWORTH AVE	Noncontributing	2005320020	1901	builder: Charles Drury
509 S AINSWORTH AVE	Contributing	2005310050	1922	
510 S CUSHMAN AVE	Contributing	2005300040	1923	builder: Andrew Larson
510 S SHERIDAN AVE	Contributing	2005280030	1903	builder: FE Reeder
511 S AINSWORTH AVE	Contributing	2005310060	1928	
511 S CUSHMAN AVE	Contributing	2005290042	1909	builder: IP Wilson
511 S SHERIDAN AVE	Contributing	2005270030	1905	builder: William Merlin
514 S CUSHMAN AVE	Contributing	2005300050	1911	
514 S SHERIDAN AVE	Contributing	2005280040	1904	
515 S SHERIDAN AVE	Contributing	2005270040	1905	builder: Arthur Sturley
517 S SHERIDAN AVE	Contributing	2005270050	1905	
520 S SHERIDAN AVE	Contributing	2005280050	1904	
524 S SHERIDAN AVE	Contributing	2005280060	1903	builder: Edward Moore
1301 6TH AVE	Contributing	2005260070	1911	
1305 6TH AVE	Contributing	2005260070	1910	
1308 S 4TH ST	Noncontributing	2004260030	1962	vacant - playground; see 1310 S 4th
1310 S 4TH ST	Noncontributing	2004260030	1962	vacant - playground; see 1308 S 4th
1312 S 4TH ST	Contributing	2004270010	1900	
1315 S 5TH ST	Contributing	2004270080	1916	builder: HW Pallies
1318 DIVISION AVE	Contributing	2004270020	1906	Russell & Babcock; builder: A.L. Dillan
1319 6TH AVE	Contributing	2005270060	1909	
1319 S 5TH ST	Contributing	2004270070	1916	builder: WJ Clark; see 421 S Sheridan
1325 6TH AVE	Contributing	2005270060	1931	builder: O.W. Wahlgreen
1401 S 5TH ST	Contributing	2004280070	1926	builder: Andrew Larson
1404 S 5TH ST	Noncontributing	2005280010	1979	garage bldg; see 502 S Sheridan
1405 S 5TH ST	Contributing	2004280060	1927	
1407 S 5TH ST	Contributing	2004280050	1925	
1410 DIVISION AVE	Contributing	2004280020	1926	
1411 S 5TH ST	Contributing	2004290050	1909	builder: George Cornish; see 1413 S 5th
1412 S 5TH ST	Contributing	2005290030	1909	
1413 S 5TH ST	Contributing	2004290050	1909	see 1411 S 5th
1414 DIVISION AVE	Contributing	2004290010	1909	builder: WA Taylor
1416 S 5TH ST	Contributing	2005290020	1909	
1418 S 5TH ST	Contributing	2005290010	1909	builder: H Lundgren
1419 S 5TH ST	Contributing	2004290040	1924	builder: JB Cornish
1420 DIVISION AVE	Contributing	2004290020	1904	builder: LD Craig
1423 S 5TH ST	Contributing	2004290030	1909	
1502 S 5TH ST	Contributing	2005300020	1923	builder: Andrew Larson
1505 S 5TH ST	Noncontributing	2004300010		vacant/park
1506 S 5TH ST	Contributing	2005300010	1924	builder: Andrew Larson
1510 S 5TH ST	Contributing	2005300030	1924	
1512 S 5TH ST	Contributing	2005310030	1910	
1516 S 5TH ST	Contributing	2005310020	1910	builder: H Lundgren
1520 S 5TH ST	Contributing	2005310010	1910	

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Design Guidelines for the Wedge Neighborhood and North Slope Historic Special Review Districts



Adopted by the Landmarks Preservation Commission pursuant to Tacoma Municipal Code 13.07 for design review within the Wedge Neighborhood Historic District, Wedge Conservation District, and the North Slope Historic District.

Last updated December XX, 2012



Tacoma Landmarks Preservation Commission
747 Market Street Room 1036
253-591-5220
www.tacomaculture.org/historic/home.asp



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SECTION I: ABOUT GUIDELINES AND DESIGN REVIEW

These guidelines are intended to provide information to homeowners and the Landmarks Preservation Commission about the intent and purpose of the North Slope and Wedge Neighborhood Historic Districts, as well as guidance for the review and evaluation of proposed alterations to historic properties within these districts. The historic character of these neighborhoods is embodied in their homes, streetscapes, and development patterns.

Basis for these Guidelines

These design guidelines are based on the US Secretary of the Interior's Standards and Guidelines for the Treatment of Historic Properties, and specifically on the Standards for Rehabilitation of Historic Properties. In certain cases, local conditions or community objectives are reflected in some of the interpretations of the Secretary's Standards.

The Landmarks Preservation Commission is required to adopt and maintain these guidelines pursuant to Chapter 13.07 of the Tacoma Municipal Code.

What is Design Review?

Design review is an approval process that certain projects involving historic properties must complete before permits are issued and work is started. The Landmarks Preservation Commission reviews projects for historic compatibility at its regular public meetings, and if the work meets the standards for historic treatment, issues a certificate of approval.

Which Projects Require Design Review?

If your house is located within the boundaries of a historic district, then changes to the exterior of your property may require design review by the Historic Preservation Officer and the Landmarks Preservation Commission if permits are required. This includes changes to windows, siding, additions, chimneys, porches and decks.

Your project will require Landmarks Preservation Commission review, if:

- ...It is a new construction project or demolition; or
- ...It involves a contributing historic structure, AND
- ...It involves exterior work, AND
- ...It requires a building permit.

Projects are exempt from Landmarks Commission review, if:

- ...The project involves a non-contributing structure, but does not involve demolition; or
- ...The project does not require a permit; or
- ...The project does not involve any exterior work; or
- ...The project involves plumbing, sewer, electrical, or landscaping work.

What is the Process?

Proposed changes to historic properties within the Wedge Neighborhood and North Slope Historic Districts must be transmitted to the Landmarks Preservation Commission using an Application for Design Review, which are available on www.tacomaculture.org/historic/home.asp in the Design Review section.

Applications should include scale plans, details, specifications, photographs, and a narrative description, as appropriate.

The Landmarks Preservation Commission reviews during their regular meetings, every second and fourth Wednesday of the month.

Tacoma's Residential Historic Districts

The City of Tacoma has two residential historic districts.

North Slope Historic District

The North Slope Historic District, shown in the map to the right, was created by the City of Tacoma in 1994 at the request of property owners within the district, and was expanded in 1996 and 1999 in response to citizen request. The district contains historically significant homes constructed between 1881 and 1955.

The district contains over 900 homes, making it one of the largest residential historic districts in the Western United States.

The North Slope Historic District is listed on the National, state and Tacoma Registers of Historic Places. The boundaries and buildings inventory differ slightly between the different historic registers. These design guidelines and the design review process apply to the locally designated, or Tacoma Register, historic district.



The nomination and other information for the North Slope Historic District can be found here:

http://tacomaculture.org/historic/districts_nshd.asp

Wedge Neighborhood Historic and Conservation Districts

The Wedge Neighborhood Historic and Conservation Districts were created by City Council in 2011 at the request of the neighborhood residents, after three years of research and effort.

The Wedge Historic District is an intact middle-class residential district reflecting a period of neighborhood development from Tacoma's early history until after WWI. The Historic District is buffered by the Conservation District; design review requirements for projects within the Conservation District are generally less than those within the core historic district.

The white area on the map shown at left contains the Wedge Neighborhood Historic District, which includes approximately 70 homes. The shaded areas in the triangle show the Conservation District.



The nomination and other information for the Wedge Neighborhood Historic District can be found here:

http://tacomaculture.org/historic/districts_wedge.asp

SECTION II: PRESERVATION AND SUSTAINABILITY

Historic Preservation is consistent with sustainable development goals. From waste stream reduction, to reduced consumption, to local sourcing, historic preservation makes sense for those who are interested in living a “green” lifestyle. Why?

Preservation encourages the reuse of existing materials.

The greenest building is one that is already built. Historically, homes in the residential historic districts were handcrafted using skilled labor, and local materials. This craftsmanship was built to last, and the materials used in the construction were of top quality and are difficult to obtain now. Continuing to use these buildings and conducting proper maintenance extends the lifecycle of the original material investment, reduces environmental impacts that result from new construction and new materials, and reduces waste and waste stream impact from unnecessary demolition and replacement.

Preservation encourages recycling and salvage of materials.

In many cases, lifestyle needs necessitate the remodeling of a residence or the removal/replacement of historic materials and elements. In those cases, reusing the removed materials (for instance, storing windows that have been removed onsite for later use or stockpiling historic fir siding) or ensuring that items removed are salvaged for use by others is important.

Preservation employs a lifecycle approach to decision making.

All newly manufactured items, such as doors and windows, have a lifecycle cost. When upgrading a home for environmental reasons, it is important to consider the true impact of things like replacement windows—does the improvement in thermal efficiency over the service life of a new window offset the environmental impacts of manufacturing that window, the monetary expense of purchasing and installing the new window, and disposing of the original window?

Preservation is local-business friendly.

Historic rehabilitation, maintenance and repair makes use of traditional carpentry skills and trades. Investing in an historic house and repairing and maintaining historic elements tends to invest less in materials and more in labor; replacement tends to invest more in materials and less in labor. Therefore, money invested in trades tends to have a higher local economic impact—more dollars stay in Tacoma, and less go to a corporate headquarters a thousand miles away.



SECTION III: GUIDELINES FOR THE ALTERATION OF EXISTING BUILDINGS

Tacoma's historic districts contribute to the social, cultural, and economic welfare of its residents by preserving the character of its early residential neighborhoods, contributing to civic pride by developing an awareness of Tacoma's heritage and sense of place, and by encouraging capital investment in and rehabilitation of historic structures through the use of incentives and design review. The historic features contained in contributing buildings and structures in the historic districts should be maintained and preserved, and new structures should be designed to be visually and aesthetically compatible with the historic character of the districts.

General Preservation Principles

1. **Maintain architectural integrity**, as it relates to scale, proportion, texture, color, compatible materials, space, and composition in various periods of architecture, in contributing properties.
2. **Retain original materials**. The historic materials present on historic buildings should be retained wherever feasible.
3. **Repair before replacement**. Historic materials should be maintained and repaired when needed, including maintaining proper weather protection. Where repair is needed, it is desirable to remove as small an amount of material as possible.
4. **Replacement in kind**. If replacement of a historic feature or material is unavoidable, they should be replaced in kind with a visual and material match whenever possible.
5. **Houses change through time**. Changes to a home, such as early additions within the historic period of the house, may be historic in themselves. In addition, historic homes are often updated to reflect modern use. Alterations should respect historic additions, as well as strive to balance modern convenience with historical appropriateness.
6. **Guidelines should be applied reasonably**. When applying the guidelines, the Commission will be considerate of clearly documented cases of economic hardship. Application of these guidelines is not intended to deprive a property owner of reasonable use of their property.



WINDOWS

Windows are a character defining feature of a historic home, reflecting both the time period of construction, the materials and craftsmanship of an era, and the architectural style of a building.

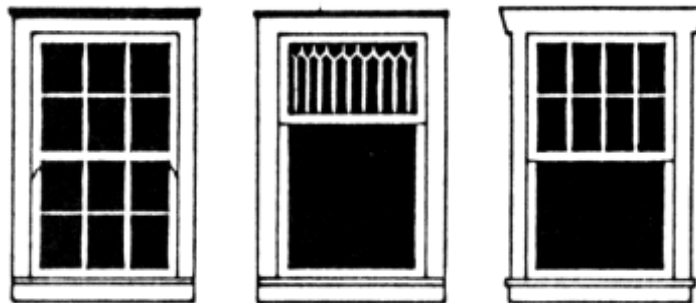
Maintaining historic integrity of the primary facades enhances and preserves the historic district. Every effort should be made to maintain existing historic windows or their visual equivalents on primary elevations within original openings, and to maintain a historic appearance on secondary elevations.

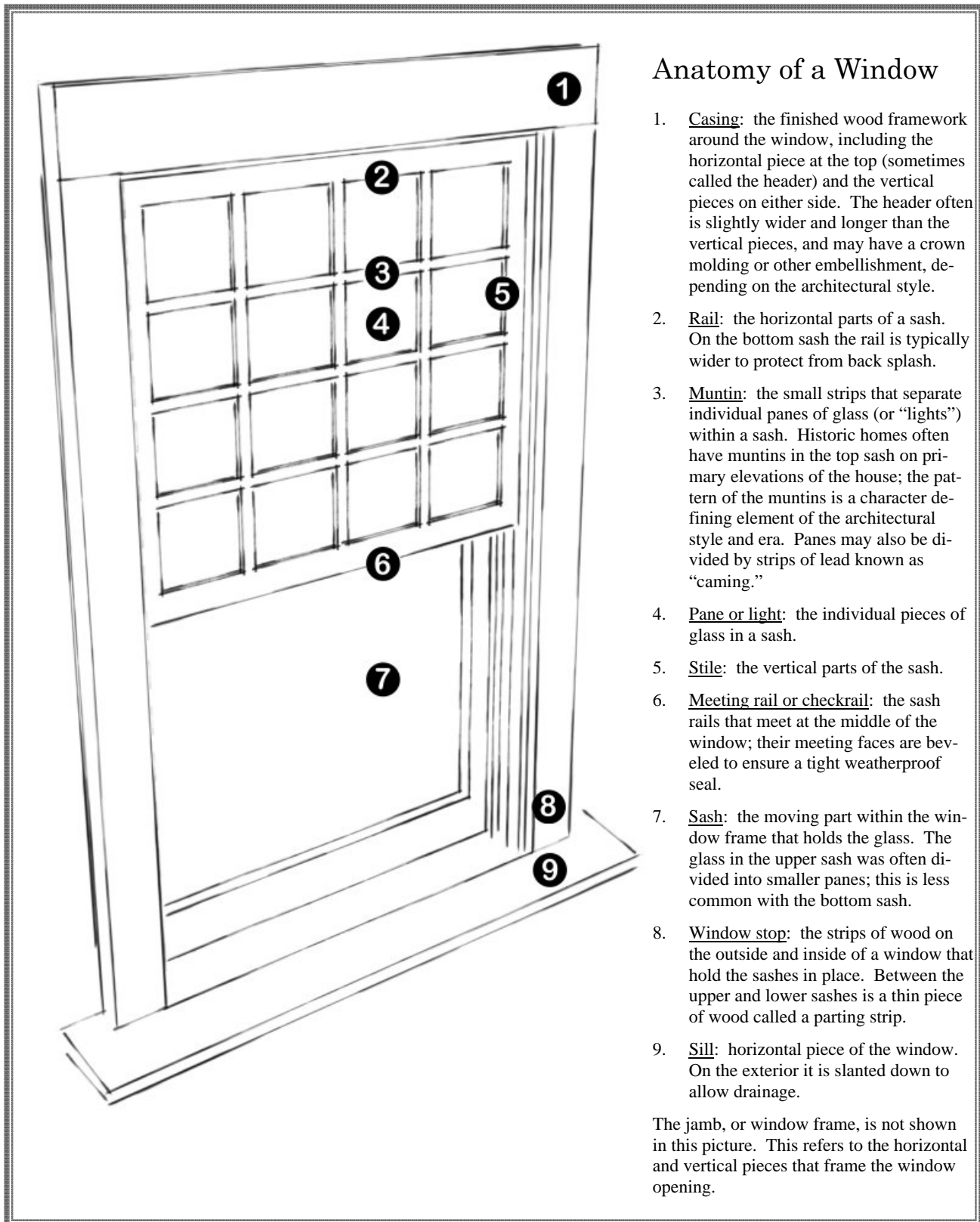
Windows are composed of individual elements, including the stiles and rails that make up the sash, muntins, joinery, window stops and casing, and each fulfills a functional role reflecting the window's historic design. Preserving both the materials and craftsmanship, and the appearance, scale and visual relationship between these components, is an objective of the historic district.

Guidelines for Windows

1. **Preserve Existing Historic Windows.** Existing historic windows in good working order should be maintained on historic homes in the district. The existing wood windows exhibit craftsmanship and carpentry methods in use at the time that the neighborhood was developed. New manufactured windows, even those made of wood, generally do not exhibit these characteristics.

(continued on page 10)





(WINDOWS *continued from previous page*)

2. **Repair Original Windows Where Possible.** Original wood windows that are in disrepair should be repaired if feasible. The feasibility of different approaches depends on the conditions, estimated cost, and total project scope. Examples of substandard conditions that do not necessarily warrant replacement include: failed glazing compound, broken glass panes, windows painted shut, deteriorated paint surface (interior or exterior) and loose joinery. These conditions alone do not justify window replacement
3. **Replace windows with a close visual and material match.** When repairing original windows is not feasible, replacement may be considered.
 - Where replacement is desired, the new windows should match the old windows in design and other details, and, where possible, materials.
 - Certain window products, such as composite clad windows, closely replicate original appearance and therefore may be appropriate. This should be demonstrated to the Commission with material samples and product specification sheets.
 - Changing the configuration, style or pattern of original windows is not encouraged, generally (for example, adding a highly styled divided light window where none existed before, or adding an architecturally incompatible pattern, such as a Prairie style gridded window to a English Cottage house).
 - Vinyl windows are not an acceptable replacement for existing historic windows.
4. **Non-historic existing windows do not require “upgrading.”** Sometimes the original windows were replaced prior to the formation of the historic district, and now must be replaced again. Although it is highly encouraged, there is no requirement to “upgrade” a non-historic window to a historically appropriate wood window. For example, a vinyl replacement window may be an acceptable replacement for a nonhistoric aluminum horizontal slider window, especially if the historic configuration (vertically operated sash) is restored.

(*continued on next page*)

(WINDOWS *continued from previous page*)

5. **New Window Openings/Changing Window Openings**

- Enlargement or changes to the configurations of existing window openings is to be avoided on the primary elevation(s) of a historic building within the district. In specific cases, such as an egress requirement, this may not be avoidable, but steps should be taken to minimize the visual impact
- Changes to window configurations on secondary (side and rear) elevations in order to accommodate interior remodeling are not discouraged, provided that character defining elements, such as a projecting bay window in the dining room, are not affected. A typical example of this type of change might be to reconfigure a kitchen window on the side of a home to accommodate base cabinets.
- In general, openings on buildings in the historic district are vertically oriented and are aligned along the same height as the headers and transoms of other windows and doors, and may engage the fascia or belly band that runs above the window course. This pattern should be maintained for new windows.
- Window size and orientation is a function of architectural style and construction technique. Scale, placement, symmetry or and asymmetry, contribute to and reflect the historic and architectural character of a building.

(*continued on next page*)

(WINDOWS *continued from previous page*)

6. **Sustainability and thermal retrofitting.**

- a. Window replacement is often the least cost effective way to improve thermal efficiency. Insulation of walls, sealing of gaps and insulation of switch plates, lights, and windows, as well as upgrades to the heating system all have a higher return on investment and are consistent with preservation of the character of a historic home.
- b. Properly maintained and weather stripped historic windows generally will improve comfort by reducing drafts.
- c. The energy invested in the manufacture of a new window and the cost of its purchase and installation may not be offset by the gains in thermal efficiency for 40 to 80 years, whereas unnecessary removal and disposal of a 100 year old window wastes old growth fir and contributes to the waste stream.
- d. If thermal retrofitting is proposed as a rationale for window replacement, the owner should also furnish information that shows:
 - The above systematic steps have been taken to improve the performance of the whole house.
 - That the original windows, properly weather stripped and with a storm window added, is not a feasible solution to improve thermal efficiency.
 - Minimal retrofit, such as replacing only the sash or glass with thermal paned glass, is not possible.
 - Steps to be taken to salvage the historic windows either on site or to an appropriate architectural salvage company.



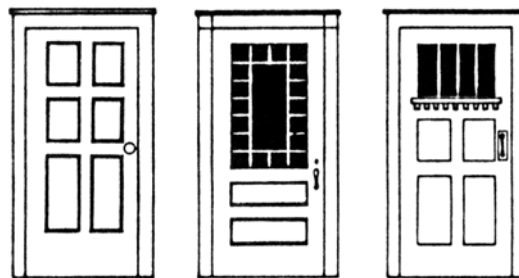
Above: Storm windows, held in place with a simple metal clip (still available at some hardware stores), maintenance of glazing compound and weatherstripping were the traditional way of improving thermal performance of windows. This is still a cost effective method in the Pacific Northwest climate.

DOORS

Historic entry doors commonly include sidelights, and occasionally a transom. They tend to be paneled and/or contain glazed openings in the upper portion. Doors were constructed of wood, with stile and rail construction, or in some cases, solid wood clad with a wood veneer. The style of a door often reflects the architectural style and/or construction period of the home.

Guidelines for Doors

1. **Avoid enlarging or moving an original entry opening.** unless you can provide documentary evidence to demonstrate that the proposal is consistent with typical designs for houses of the time period, or that the change will restore a previously altered condition.
2. **Retain historic entry doors whenever feasible.** Replacement doors should, where possible, match the original door in design and other details, and materials. In many cases, for security or cost reasons, a non-custom door in alternative materials may be proposed; in these cases, the door should appear to be wood (painted fiberglass doors molded with panel indents may be acceptable; faux wood finishes tend to be inappropriate) and should be compatible with the architecture of the house (Craftsman doors should not be proposed for Victorian era houses, for example).
3. **Avoid faux treatments.** Faux wood textures, frosted glass, and gold or silver coming (lead work in stained glass) is not appropriate for use in the historic district.
4. **Avoid nonhistoric configurations.** Double entry doors were not common in the historic district, and are discouraged unless it can be demonstrated that this was an original feature to the building.

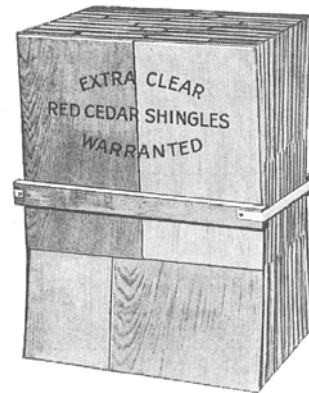


HISTORIC SIDING AND EXTERIORS

Traditional materials in the used for exterior cladding in the district include horizontal wood siding (including various types and dimensions of drop siding and bevel siding), wood shingles and shakes, and, to a lesser extent, brick, stucco and half timbering, and stone.

Guidelines for Exterior Siding and Materials

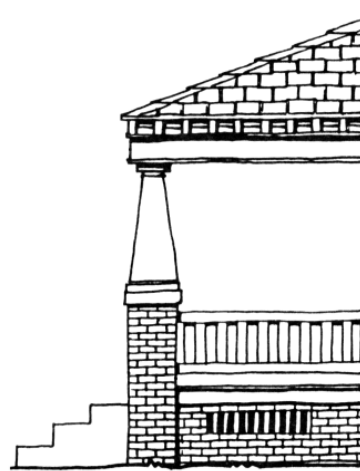
1. **Avoid removal of large amounts of original siding.**
2. **Repair small areas of failure before replacing all siding.** It is rarely advisable to replace all of the existing siding on a home, both for conservation reasons and for cost reasons. Where there are areas of siding failure, it is most appropriate to spot repair as needed with small amounts of matching material. Where extensive damage, including rot or other failure, has occurred, siding should be replaced with as close a material and **visual match** as is feasible, including matching reveals, widths, configuration, patterns and detailing.
3. **Other materials/configurations.** It is not historically appropriate to replace deteriorated siding with substitute materials, unless it can be demonstrated that:
 - the replacement material is a close visual match to the historic material and can be installed in a manner in which the historically character defining details may be reproduced (mitered corners, dentil molding, etc); and
 - replacement of the existing historic material is necessary, or the original material is no longer present; and
 - there is no feasible alternative to using a substitute material due to cost or availability.
4. **Avoid changing the appearance, pattern or configuration of original siding.** The siding type, configuration, reveal, and shingle pattern all are important elements of a home's historic character.



PORCHES

The front porch of an historic house is an important feature, providing a threshold to the interior as well as a viewing platform onto the street. It is thus a critical character defining element not just for the house, but for the district as well.

Porches are generally raised a foot or more above grade and are composed of decorative and functional elements that reflect the architectural type and time period of the home. These may include roof shape, entablature, columns, piers, railings, decking, and steps.



Guidelines for Porches

1. **Retain existing porches and porch details.** The original design elements of existing historic porches, when present, should be maintained. Major changes to configuration or ornamentation should be avoided. Missing or deteriorated details, such as columns and railings, should be repaired or replaced in kind.
2. **Avoid adding architecturally inappropriate details.** Items such as porch columns reflect the architecture of the home. Tapered columns atop piers are emblematic of Craftsman homes, but are not appropriate on Victorian era houses. Likewise, scrollwork, turned posts, or gingerbread are not appropriate on a Craftsman home. Replacement elements that have no historic design relationship with the architecture diminish the historic character of the building.
3. **Replace missing porches with designs and details that reflect the original design, if known. Avoid adding conjectural elements.** Photographic or other documentary evidence should guide the design of replacement porches. Where this is unavailable, a new design should be based on existing original porches from houses of similar type and age.
4. **In certain cases, building code may trump preservation guidelines.** For example, historic railing height may be considered a life safety issue, and new railings are generally required to meet building code. In these cases, innovative approaches may be needed to retain the appropriate scale and appearance.

ROOFS AND ROOF SHAPES

The roof form is fundamental to the overall form and historic character of a home. A roof may be described in terms of its plan and configuration, pitch, elements such as dormers or parapets, and material. Most historic roofs in the district were pitched (including gabled and hipped) and designed to be clad in wood shingles.

Guidelines for Roofs

1. **Preserve and retain existing roof form and appearance.**

Major changes to the overall roof plan/type are discouraged. For example, changing a hipped roof to a gabled roof is generally inappropriate.



2. **Rooftop Additions should be sensitively located.**

Additions that affect roof appearance may include the addition of elements such as dormers, skylights and chimneys. Additions are not discouraged, but should seek to minimize the visual impact to the overall roof form, as follows:

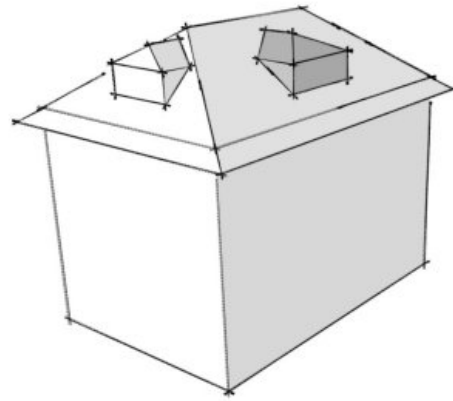
- Changes to the roof form should be located to the rear and less visible sides of a home.
- In certain cases, it may not be possible to conceal new elements such as additional dormers from view. In such cases, using examples of historic additions (location, scale, design, materials) to guide new design is appropriate.

3. **Existing roof heights should be maintained.** Changes to the primary ridgeline height of a house are generally discouraged, such as “bump ups,” with the exception that: in certain cases it may be demonstrated that an overall ridgeline height increase will dramatically increase useful attic space in a house WITHOUT significantly changing the appearance of the home from the street (rare).

(continued on next page)

(ROOFS *continued from previous page*)

3. **Materials and colors.** Composition roofs are an acceptable substitute for shingles, and have been in use on homes since the early 20th century. Composite and engineered materials that mimic the visual qualities of shingles vary widely in quality and appearance. If an engineered material is proposed that is not common in the district, material samples and product specification sheets should be furnished to the Commission. Metal roofs are not acceptable for historic homes. Clay tile roofs are appropriate only on the few examples of Mission or Spanish influenced architecture seen in the districts.



Above: Example of a rooftop addition that is visible and in scale.

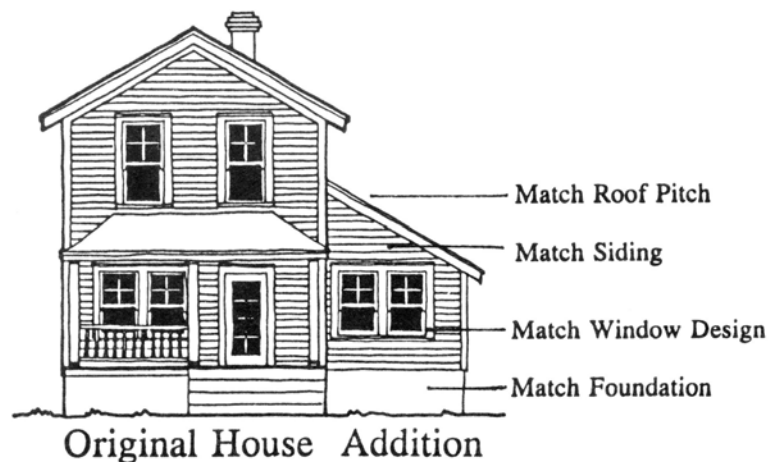
** Please note that a residential roof installation involving a single layer composition roof and sheathing may not require a building permit, and therefore, does not require design review. Other roof types may require permits and Landmarks Preservation Commission review. Homeowners and contractors should contact Building and Land Use Services at 253-591-5030 for more information.*

ADDITIONS

Additions to existing homes in the historic districts are not discouraged. Historically, additions to homes were common, either as optional add-ons to stock plans, or later phases that followed a typical pattern.

Guidelines for Additions

1. **Architectural style should be compatible** with the era and style of the principal structure, including massing, window patterning, scale of individual elements, cladding, roof form, and exterior materials.
2. **Additions should be removable** in the future without harming the character defining elements on the principal structure.
3. **Additions should be sensitively located** in a manner that minimizes visibility from primary rights of way. Where this is not possible, the design should respect the style, scale, massing, rhythm, and materials or the original building.
4. **An addition should be subservient** in size, scale and location to the principal structure.
5. **Seamless additions are discouraged**. There should be a clear visual break between the old structure and the new, such as a reduced size or footprint or a break in the wall plane, to avoid creating a falsely historic appearance (such that the original, historic portion of the house can be distinguished from the new, nonhistoric addition).

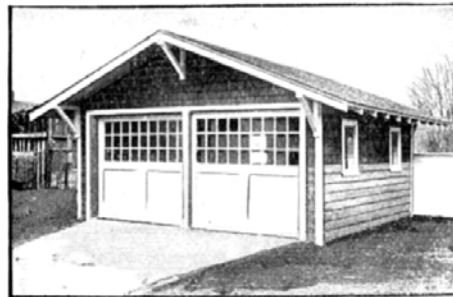


GARAGES AND PARKING

Some early houses provided space for storing various means of transportation, from carriages to automobiles; however, these structures were traditionally separate from the main building and were nearly always entered from the alley rather than from the street.

Guidelines for Parking and Garages

1. **Alley accessed parking is the typical and predominant residential parking configuration in the district.** Residential driveways and garages facing the street are typically only appropriate when there is no alley access, or other site constraints prevent alley accessed parking (such as a corner lot).
2. **Minimize views of parking and garages from the public right-of-way.** Parking areas and garages should be set toward the rear of the lot to minimize visibility from primary rights of way. Parking lots and banks of garage doors along the front facade of a building do not conform to the character of the neighborhood. Where it is not possible to locate a parking structure to conceal it from view, it should be set well back from the front plane of the primary structure on the property. Off-street parking lots have no historic precedent in the residential areas of the neighborhoods and should be located behind the building and away from the street.
3. **Attached garages and carports are inappropriate.**
4. **New curb cuts are discouraged.** Residential driveways requiring curb cuts from a street or arterial are generally prohibited, unless the applicant can demonstrate by clear and convincing evidence that because of special circumstances not applicable to other property or facilities, including size, shape, design, topography, location, or surroundings, the strict application of this standard prevents alley-accessed parking. If approved, such curb cuts and approaches shall be consistent with the standards approved for the historic districts and on file in the Public Works Department.

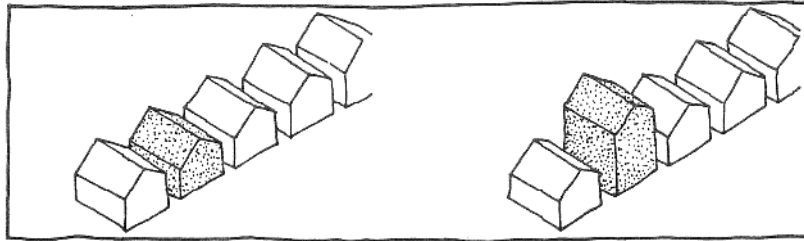


SECTION IV: GUIDELINES FOR NEW CONSTRUCTION

HEIGHT

Goal: Balance the overall height of new construction with that of nearby structures.

Guideline: New buildings should be comparable in height to adjacent structures. Buildings that are substantially taller or shorter than the adjacent historic buildings should be avoided.



Above: Example compatible height on the left, and incompatible height on the right.

SCALE

Goal: Relate the size and proportions of new buildings and their architectural elements to those of the neighborhood.

Guideline: Building facades should be of a scale compatible with surrounding buildings and maintain a comparable setback from the property line to adjacent buildings, as permitted by applicable zoning regulations.

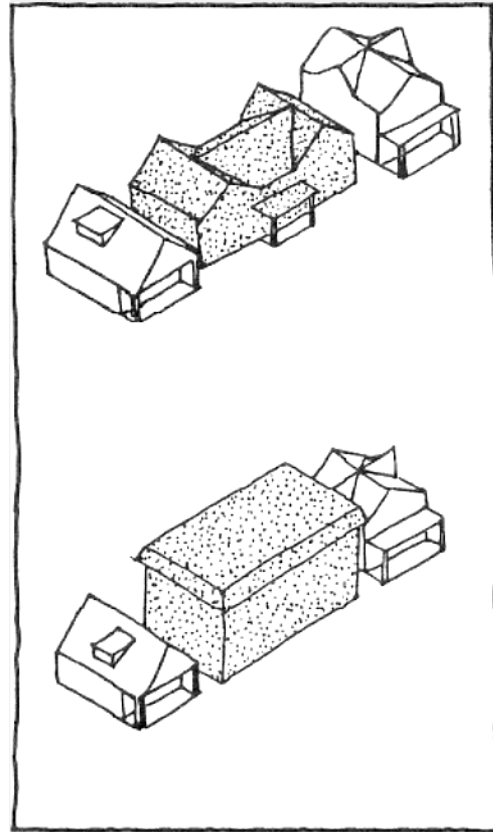


MASSING

Goal: Break up the facades of buildings into smaller varied masses comparable to those contributing buildings in the residential historic districts.

Guideline: Variety of forms is a distinguishing characteristic of the North Slope and Wedge residential communities. Smaller massing—the arrangement of facade details, such as projections and recesses—and porches all help to articulate the exterior of the structure and help the structure fit into the neighborhood. Avoid large, blank planar surfaces.

Right: The top example shows compatible massing and scale, with individual elements that are proportionate with the architectural elements of the neighborhood. The bottom example is incompatible, with its large monolithic form, horizontal orientation, and large unbroken planar surfaces.



SENSE OF ENTRY

Goal: Emphasize entrances to structures.

Guideline: Entrances should be located on the front facade of the building and highlighted with architectural details, such as raised platforms, porches, or porticos to draw attention to the entry. Entrances not located on the front facade should be easily recognizable from the street.



Above: Many people seek residential historic districts when house shopping, because most were true “front porch” communities. Large, welcoming porches are an important element not just of the homes in the North Slope and Wedge, but also of the district itself.

ROOF SHAPES AND MATERIALS

Goal: Utilize traditional roof shapes, pitches, and compatible finish materials on all new structures, porches, additions, and detached outbuildings wherever such elements are visible from the street. Maintain the present roof pitches of existing contributing buildings where such elements are visible from the street.

Guideline:

1. **Shape and Pitch:** Typically, the existing historic buildings in the districts either have gable roofs with the slopes of the roofs between 5:12 to 12:12 or more and with the pitch oriented either parallel to or perpendicular to the public right-of-way or have hipped roofs with roof slopes somewhat lower.
2. **Architectural Elements:** Most roofs also have architectural details, such as cross gables, dormers, and/or “widow’s walks” to break up the large sloped planes of the roof. Wide roof overhangs, decorative eaves or brackets, and cornices can be creatively used to enhance the appearance of the roof.
3. **Materials:** Roofs that are shingle or appear to be shingle, or composition roofs, are the typical historic material compatible with the district. Seam metal may be an acceptable material for simple roof structures. Slate, faux slate and terra cotta tiles are not appropriate for the districts.

EXTERIOR MATERIALS

Goals: Use compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope and Wedge Neighborhoods were sided with shingles or with lapped, horizontal wood siding of various widths. Subsequently, a few compatible brick or stucco-covered structures were constructed, although many later uses of these two materials do not fit the character of the neighborhood.

Guideline:

1. New structures should utilize exterior materials similar in type, pattern, configuration and appearance to those typically found in the neighborhood.
2. Stucco, especially commercial EIFS systems like Dryvit, is not acceptable for the historic district.
3. Faux materials, such as vinyl or metal siding, are not acceptable for the historic district.
4. Certain siding patterns, including board and batten and panel, are not historically common in the district and should not be used.
5. Cementitious products, such as Hardiplank, may be acceptable in the district if installed in a historically correct pattern (for example, horizontal lapped siding or shingle). In such cases, the product used shall be smooth in texture (faux wood grain finish is NOT acceptable).
6. Engineered products for trim and molding, if demonstrated to be similar in appearance to painted wood, may be an environmentally responsible substitute for wood on new structures. In such cases, the applicant should demonstrate to the Commission, via product literature and material samples, that the product is compatible.

RHYTHM OF OPENINGS

Goals: Respect the patterns and orientations of door and window openings, as represented in the neighboring buildings. Window and door proportions (including the design of sash and frames), floor heights, floor shapes, roof shapes and pitches, and other elements of the building exterior should relate to the scale of the neighborhood.

Guideline:

1. Placement. Typically, older buildings have doors and transoms that matched the head height of the adjacent windows. New structures should utilize this pattern.
2. Doors. Doors should be or appear to be paneled and/or contain glazed openings.
3. Windows. New structures should utilize existing historic window patterns in their design. Windows should be vertically oriented. Large horizontal expanses of glass may be created by ganging two or more windows into a series. Historically, the typical window in the district was a double hung sash window. Casement windows were commonly used for closets, nooks, and less commonly, as a principal window type in a structure. Many double hung sash windows had the upper sash articulated into smaller panels, either with muntin bars, leaded glazing, or arches. Commonly, windows were also surrounded with substantial trim pieces or window head trim.

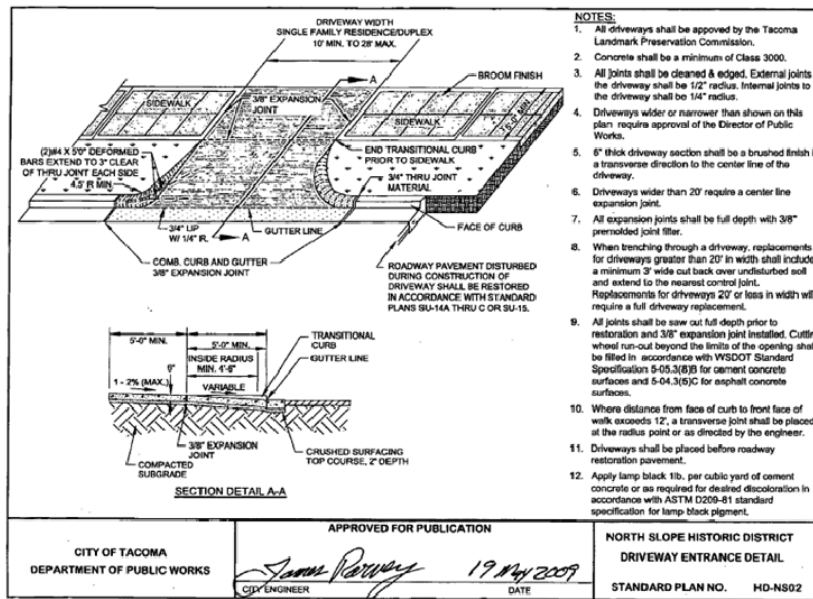
PARKING

Please see the “Guidelines for the Alteration of Existing Buildings, Parking,” on page 19.

SECTION V: STREET IMPROVEMENT STANDARDS FOR THE NORTH SLOPE AND WEDGE HISTORIC DISTRICTS

The architectural character of the North Slope and Wedge Neighborhood Historic Districts is significantly enhanced by the complementary residential nature of existing street amenities, including brick and cobblestone street paving, historic streetlights, planting strips, sidewalks, historic scoring patterns in walks and driveways, healthy trees, and a restrained use of signage. These elements should be retained or enhanced. Installation, repair, or replacement of streetlights, curbs, alley approaches, sidewalks, and street surfaces shall be consistent with the standards approved for the historic districts and kept on file with the Public Works Department.

1. Driveways: refer to Standard Plan HD-NS02 *Driveway Entrance Detail*
2. Sidewalk replacement: refer to Standard Plan HD-NS03 *Cement Concrete Sidewalk*
3. Alley Entrance: refer to Standard Plan HD-NS04 *Alley Entrance*
4. Streetlight Replacement: refer to Standard Plan HD-NS05 *Streetlight*



Left: Example of a Public Works Standard Plan.

SECTION VI: GUIDELINES FOR COMMERCIAL CONSTRUCTION WITHIN THE WEDGE CONSERVATION DISTRICT

Goal: Minimize visual impacts to the core district from commercial development that occurs on the periphery of the neighborhood. There are several areas within the Wedge Conservation District boundaries where commercial buildings will be constructed. Such construction projects should seek to minimize encroachment and visual impact by:

1. **Site planning.** Design new construction in such a manner that the primary massing of new buildings is directed away from the edges of the Wedge Neighborhood Historic District, particularly where the height of the new construction will be substantially higher than the historic apartment buildings also on the edges of the residential area. Locate entrances and exits in such a manner to minimize impacts from vehicular activities on the Wedge Historic District. Maintain and improve historically compatible streetscape and pedestrian amenities. Design buffers and setbacks for new buildings to maintain integrity of siting and availability of light and air. Locate parking to the rear or alley sides of new construction and avoid new curb cuts where alley access is available.
2. **Materials.** Utilize an exterior materials palette that reflects the typical and traditional building materials of the region, including wood and stone, and utilize other durable materials on new buildings. Avoid faux treatments or overtly synthetic materials.
3. **Scale and Massing.** Individual elements on elevations and building units should be designed to break up large planar surfaces and avoid large, monolithic massing. Vertically oriented new construction, consistent with historic modulation of individual façades and façade elements, as opposed to low single-story commercial construction, is preferred.

SECTION VII: EXEMPTIONS

WEDGE NEIGHBORHOOD

The following actions are exempt from the requirements for Design Review:

1. Any alterations to noncontributing properties within the Wedge Historic Special Review Districts, as defined by the District Inventory adopted by the Commission and kept on file at the Historic Preservation Office and any alterations to properties within the designated Conservation District, are exempt from the design review requirements; provided, that alterations to accessory structures within the Historic District and the demolition of any structures in the Historic District and Conservation District, including noncontributing and accessory structures or the construction of new buildings, are not exempt from the provisions of this chapter;
2. Historically nonresidential and commercial use structures; provided, that the demolition of non-contributing or accessory structures are not exempt from the provisions of this chapter;
3. Interior modifications to existing structures, unless those modifications affect the exterior appearance of the structure;
4. Changes to the exteriors of contributing structures that are not visible from adjacent public rights-of-way may be granted an administrative Certificate of Approval by the Historic Preservation Officer, provided that staff is able to determine that the proposed project is consistent with the district design guidelines and applicable Secretary of the Interior's Standards, all without prejudice to the right of the owner at any time to apply directly to the Commission for its consideration and action on such matters;
5. Any alterations to private residential structures that are specifically exempted from permit requirements in the Residential Building Code as adopted by the City (such as painting and minor repairs such as caulking or weather-stripping);
6. The installation, alteration, or repair of public and private plumbing, sewer, water, and gas piping systems, where no right-of-way restoration is required;
7. The installation, alteration, or repair of public and private electrical, telephone, and cable television wiring systems; provided that the installation of solar panels, wind generators, and cellular antenna towers is not exempt;
8. The landscaping of private residences;
9. The maintenance of existing parking conditions and configurations, including curb cuts, driveways, alleys, and parking lots (new installations are subject to review by the Commission);
10. Signs not exceeding the limitations for a home occupation permit (TMC 13.06.100.E: one non-illuminated nameplate not exceeding one and one-half square feet in area placed flat against the building) and those installed by the City for directional and locational purposes;
11. The following types of projects within the public rights-of-way: ADA accessibility ramps and installations, in-road work, traffic-signaling equipment, utility markers, and equipment required by the United States Postal Service.

NORTH SLOPE HISTORIC DISTRICT

The following actions are exempt from the requirements for design review:

1. Any alterations to non-contributing properties as defined by the District Inventory adopted by the Commission and kept on file at the Historic Preservation Office; provided, that modifications to accessory structures and the demolition of noncontributing or accessory structures are not exempt from the provisions of this chapter;
2. Interior modifications to existing structures, unless those modifications affect the exterior appearance of the structure;
3. Any alterations to private residential structures that are specifically exempted from permit requirements in the Residential Building Code as adopted by the City (such as painting and minor repairs such as caulking or weather-stripping);
4. The installation, alteration, or repair of public and private plumbing, sewer, water, and gas piping systems, where no Right of Way restoration is required;
5. The installation, alteration, or repair of public and private electrical, telephone, and cable television wiring systems, provided that the installation of solar panels, wind generators, and cellular antenna towers is not exempt;
6. The landscaping of private residences;
7. The maintenance of existing parking conditions and configurations, including curb cuts, driveways, alleys, and parking lots (new installations are subject to review by the Commission);
8. Signs not exceeding the limitations for a home occupation permit (TMC 13.06.100.E: one non-illuminated nameplate not exceeding one and one-half square feet in area placed flat against the building) and those installed by the City for directional and locational purposes;
9. The following types of projects within the public rights of way: ADA accessibility ramps and installations, in-road work, traffic signaling equipment, utility markers, and equipment required by the United States Postal Service.

Landmarks Preservation Commission

Tacoma Economic Development Department
Culture and Tourism Division

RECEIVED

OCT 25 2012

Per _____



747 Market Street ♦ Room 1036 ♦ Tacoma WA 98402-3793 ♦ 253.591.5220

APPLICATION FOR DESIGN REVIEW FOR SINGLE FAMILY RESIDENTIAL PROPERTIES

Please include ALL of the following information with your application. Insufficient application materials will result in a delay in processing of your application. If you have any question regarding application requirements, or regulations and standards for historic homes and neighborhoods, please call the Historic Preservation Officer at 253.591.5220.

PART 1: APPLICANT INFORMATION

House Address 1407 N. 5th St

Landmark/Conservation
District (if applicable)

North Slope

OWNER INFORMATION

Name (printed) Cory Shumate

Email

coryshu@gmail.com

Address (if different than
above)

714 Market St. #303

Phone

230-4291

Homeowner's Signature*

*Application must be signed by the property owner to be processed.

CONTRACTOR INFORMATION

If application will be presented by a representative or contractor, please fill in the following:

Representative's
Name

N/A

Company

Address

Email

Phone

FOR OFFICE USE ONLY

PRELIMINARY PLAN CHECK DATE: 10-25-12

INITIALS

CHECKED FOR BUILDING CODE: cah

LAND USE/ZONING (IF APPLICABLE)*: SAS

*PRELIMINARY PLAN CHECK IS NOT AN APPROVAL OF A PROJECT. A SEPARATE PERMIT APPLICATION MAY BE REQUIRED.

APPLICATION FEE (please see page 2)

Estimated Project Cost,
rounded to nearest \$1000

\$10,000

Application Fee Enclosed

\$250

PART 3: PROJECT DESCRIPTION

Please describe below the overall scope of work, including all proposed new construction, changes to existing buildings, and any elements to be removed and replaced. (For complex remodeling projects, it may be beneficial to divide the description into different areas [north façade, west façade] or by type of work [windows, doors, siding]).

Attach additional pages if needed.

Construct a 300 sq. ft. Single family car garage with a windowed garage door on alley side. Siding to be same as house - 4" lap siding w/ trim to match house. Pitch of ~~garage~~ garage - 7/12 to be same as main house.

RESIDENTIAL APPLICATION CHECKLIST A

(For Garages, Porches, Decks, Additions, Foundations and other Major Projects)

CHECKLIST to include the following:*

- ☒ Accurate Measured Site Plan (which shows ridgelines and dormers of existing and new buildings)
- ☒ Accurate Measured Elevation Drawings (all sides, with dimensions, siding materials, windows, and doors indicated)
- ☒ Photograph(s) of Site and surrounding area
- ☒ Detail illustrations of trim, casing, balusters, posts and railings (if applicable)
- ☐ Material samples (ie. stained glass, or if proposing uncommon material)
- ☐ Paint samples (from hardware store)

In addition to the above, please provide the following information:

Size of new construction (footprint, i.e. 22 X 30'):

15x20

Overall height and pitch of roof (for new buildings):

7/12

Exterior cladding material(s):

Hardie Plank 5/4"

Window types and materials:

Single pane glass w/ grids on garage door

Door types and materials:

3 foot door half-lite

Window trim (attach drawings, catalog sheets, etc. if necessary):

5/4x6 Header
5/4x4 legs

Roof Material:

Composite Architectural

*ADDITIONAL TIPS

- Drawings required for building permits can often be used for Landmarks Review, as long as information regarding finish detail, exterior materials, and windows and doors are indicated.
- For information about drawing site plans, please refer to BLUS Publication B1, Site Plan
- Elevations should be scale drawings and should include dimensions, heights, window and door locations, eave overhangs, trim details, and the locations of materials and other elements.
- Please include a photograph of existing house (for new garages if the new garage is to match any existing features of the house)
- For structures within the North Slope Historic District, refer to the North Slope Design Guidelines for more information about design. Contact the Historic Preservation Officer for more information.

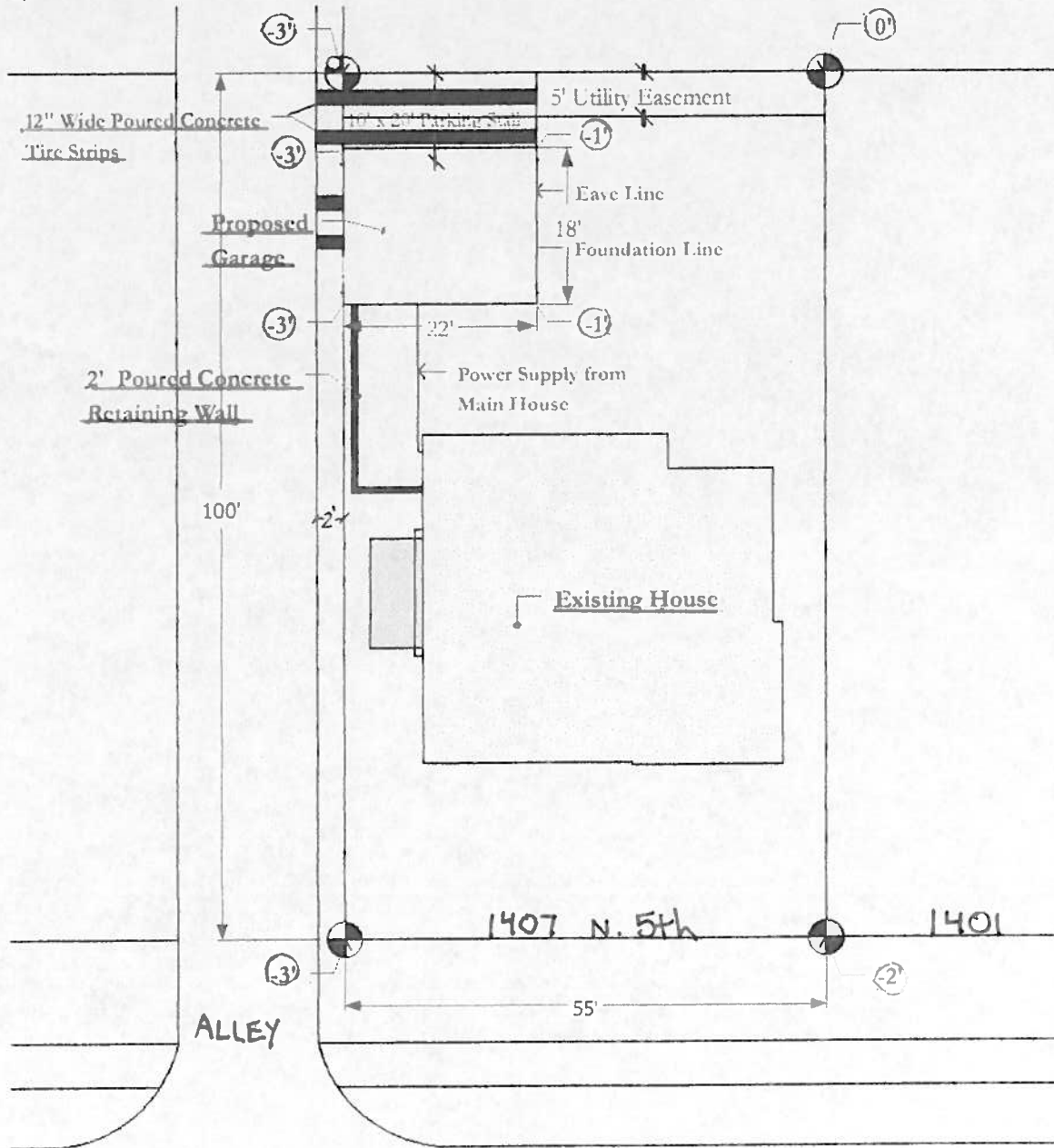


Site Plan for New Garage sht. 1 of 9

1" = 20'0"

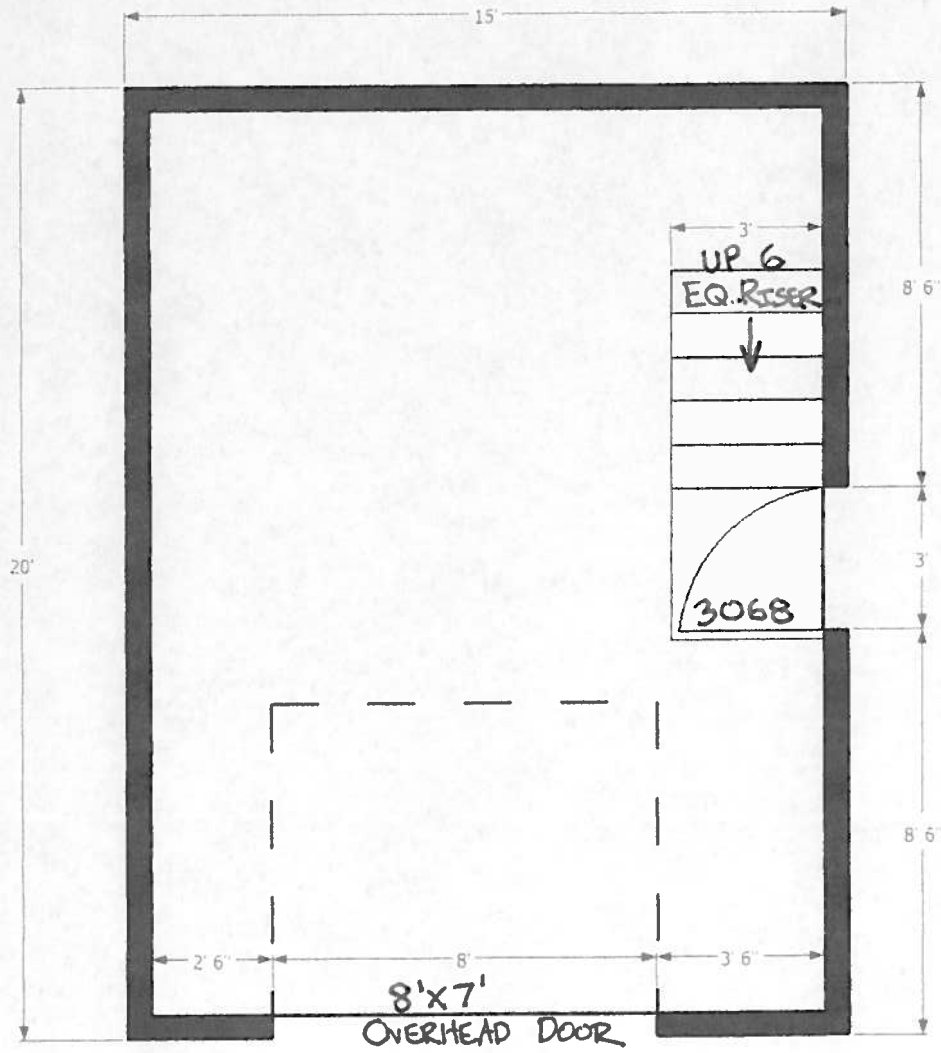
1407 N. 5th St.

Parcel #: 2035280072



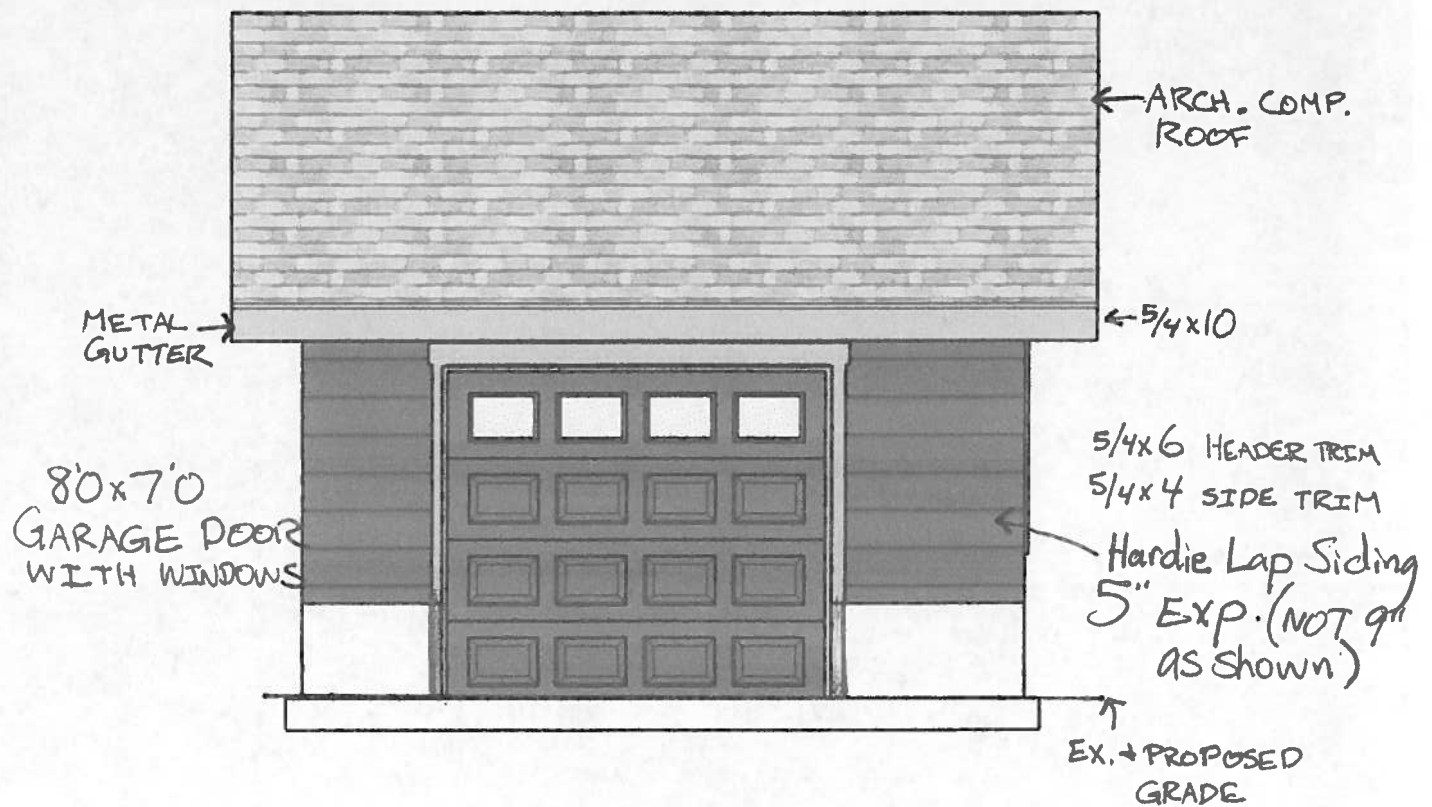
North 5th Street

FLOOR PLAN Sht. 3 of 9
 $\frac{1}{4}" = 1'0"$



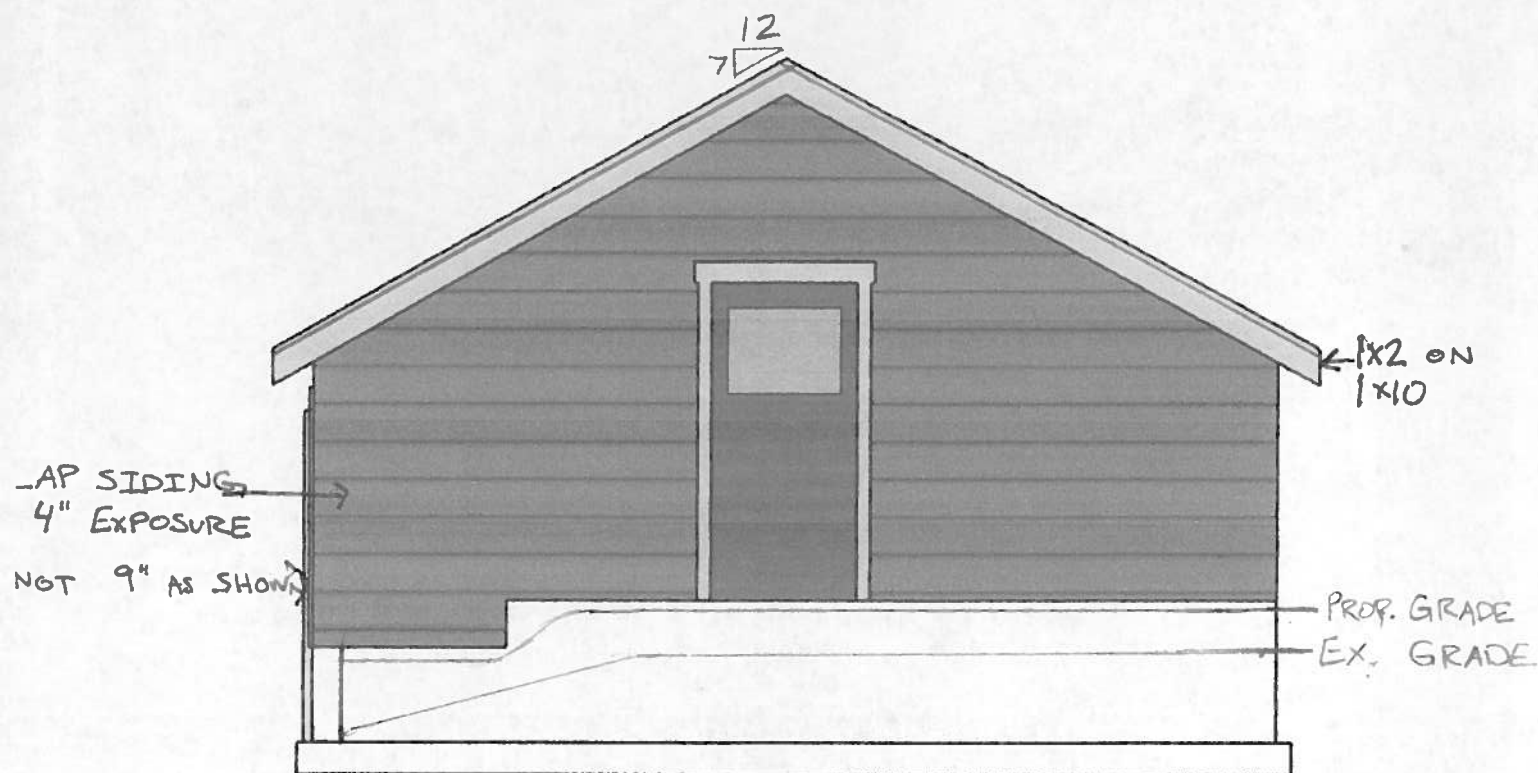
FRONT (ALLEY) ELEVATION SHT 5 OF 9

$\frac{1}{4}" = 1'-0"$



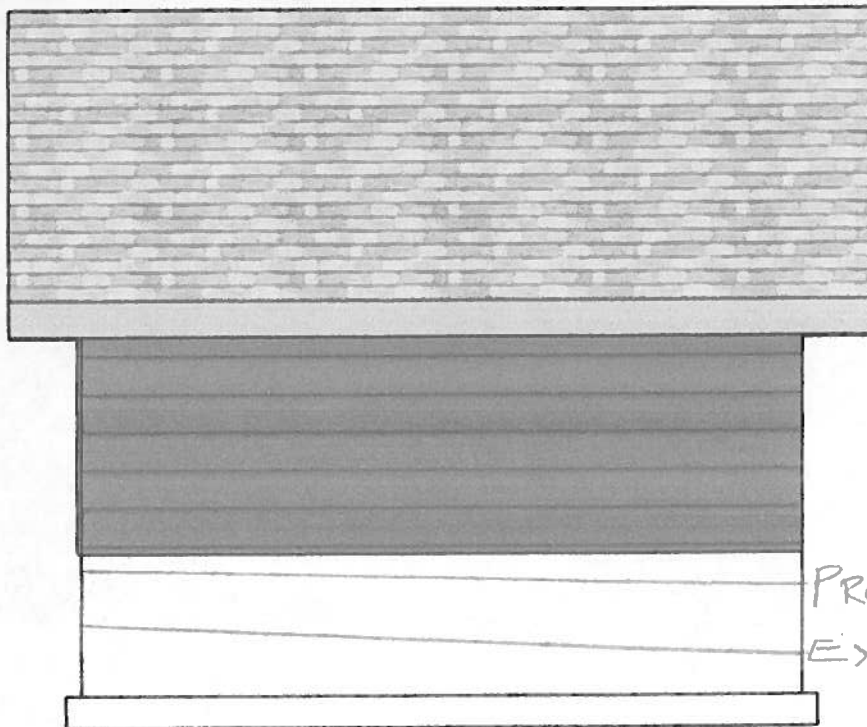
RIGHT ELEVATION SHT. 6 OF 9

$\frac{1}{4}" = 1'0"$



REAR ELEVATION SHT. 7 of 9

$\frac{1}{4}'' = 1'0''$

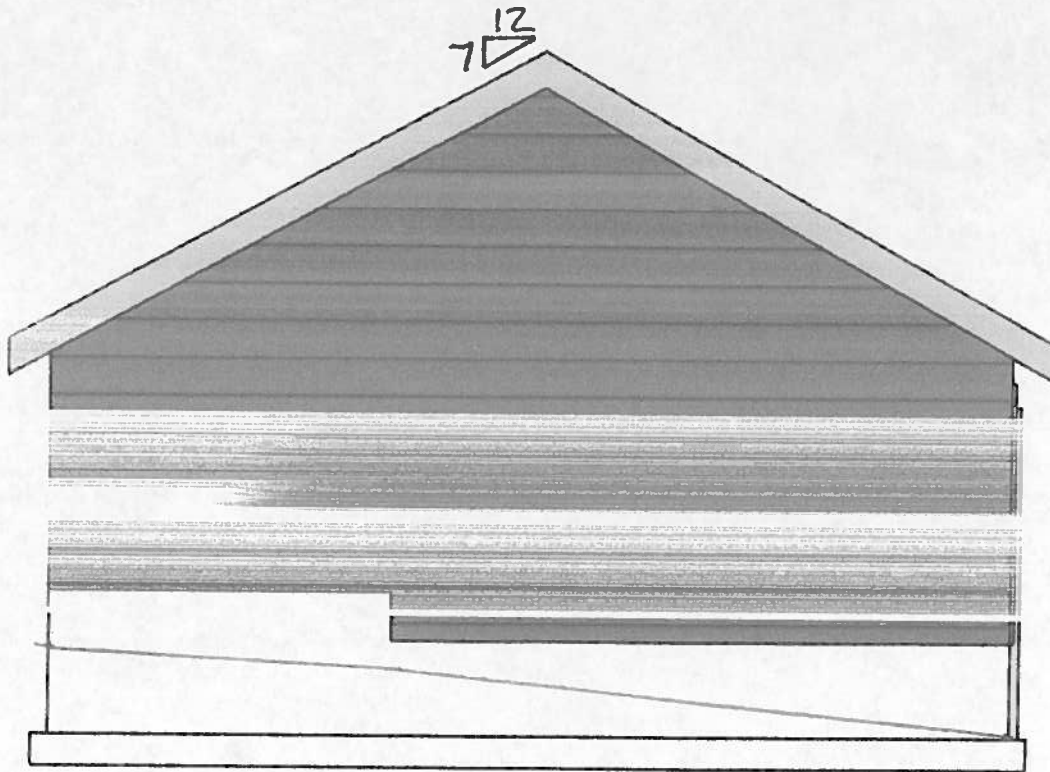


PROP. GRADE

EX. GRADE

LEFT ELEVATION SHT. 8 of 9

$\frac{1}{4}'' = 1'-0''$



EX. + PROP.
GRADE

SECTION A SHT. 9 OF 9
 $\frac{1}{4}'' = 1'0''$

