

**Members**

Mark McIntire, Chair  
Ross Buffington, Vice Chair  
Edward Echtle  
Ken House  
Imad Al Janabi, PhD.  
Fred King  
Megan Luce  
Bret Maddox, S.E.  
Ha Pham  
Pamela Sundell

Marshall McClintock, North Slope Ex-Officio

**Staff**

Reuben McKnight, Historic Preservation Officer



# Agenda

## Landmarks Preservation Commission Community & Economic Development Department

Date: September 22, 2010  
Location: 728 St. Helens, Tacoma Municipal Bldg North, Room 16  
Time: 5:00 p.m.

LPC 39/10

*Please note assigned times are approximate. The Chair reserves the right to alter the order of the agenda.*

**1. ROLL CALL****2. CONSENT AGENDA**

- A. Excusal of Absences
- B. Meeting Minutes – 06/09/10, 06/23/10, and 07/08/10

**3. NOMINATIONS – PRELIMINARY REVIEW**

- |   |                |      |
|---|----------------|------|
| A. 701 N 10 <sup>th</sup> Street  | Noel Helegda   | 15 m |
| B. Historic Schools Nomination<br><i>Fern Hill, Central, Jason Lee, Stewart, McCarver and Whitman</i> | Caroline Swope | 15 m |

**4. DESIGN REVIEW**

- |   |                  |      |
|---|------------------|------|
| A. 805 N Ainsworth St (North Slope)<br><i>Rear addition and windows</i>                                   | Duke York        | 5 m  |
| B. 1111 N 4 <sup>th</sup> St (North Slope)<br><i>Window replacement, chimney, siding, code violations</i> | Amalia Annest    | 5 m  |
| C. 565 Broadway, Elks Building (Old City Hall Special Review District)<br><i>Rehabilitation</i>           | Michael Sullivan | 15 m |
| D. Spanish Steps (Old City Hall Special Review District)<br><i>Paint color</i>                            | Michael Sullivan | 10 m |

**5. CHAIR COMMENTS****6. BOARD BUSINESS**

- A. Historic Preservation Plan – Meeting Follow-up

Reuben McKnight, Historic Preservation Officer

---

Next Regular Meeting: October 13, 2010 Tacoma Municipal Bldg. North, Rm. 16 5:00 p.m.

This agenda is for public notice purposes only. Complete applications are included in the Landmarks Preservation Commission records available to the public BY APPOINTMENT at 747 Market Street, Room 1036. All meetings of the Landmarks Preservation Commission are open to the public. Oral and/or written comments are welcome.

---

747 Market Street, Room 1036 · Tacoma, WA 98402 · Phone (253) 591-5200 · Fax (253) 591-2002  
[www.tacomaculture.org](http://www.tacomaculture.org)



The Tacoma Landmarks Preservation Commission does not discriminate on the basis of handicap in any of its programs or services. Upon request, special accommodations will be provided within five (5) business days. Contact 591-5365 (voice) or 591-5153 (TTY).

# Landmarks Preservation Commission

## Community & Economic Development Department



### STAFF REPORT

LPC 95/10  
September 22, 2010

### NOMINATIONS – PRELIMINARY REVIEW

#### General Procedural Notes:

The properties on today's agenda are nominated to the Tacoma Register of Historic Places.

Tacoma Register listing follows procedures defined in 13.07.050, and consists of a minimum of two separate Commission meetings. The initial meeting determines whether the property meets the threshold criteria in the ordinance for age and integrity. If the Commission finds that the age and integrity standards are met, then the Commission may move to have the nomination scheduled for a public hearing and comment period, at which the public may enter comments into the record for consideration. Following the comment period, the Commission may deliberate on the nomination for up to 45 days before recommending to City Council listing on the register, or denying the nomination. Owner consent is not required for the Commission to recommend designation.

*The purpose of this review is to determine whether the nominated properties meets the threshold criteria and should be scheduled for public testimony at a public hearing.*

#### AGENDA ITEM 3A: 701 North 10<sup>th</sup> Street (Conrad & Annie Beutel House)

Noel Helegda, Property Owner

#### BACKGROUND

Constructed in 1908-1909, the Conrad & Annie Beutel House at 701 North 10<sup>th</sup> Street is listed on the Washington and National Registers of Historic Places (2008). The property is located at the outside of the northwestern edge of the National Register listed Stadium Seminary Historic District. The property is recommended eligible for listing to the Tacoma Register of Historic Places under criterion B, "*Is associated with the lives of persons significant in our past*", as home to prominent businessman and educator, Conrad F. Beutel and his wife Annie "Keating". The home is the last intact structure associated with the family business, the Beutel Business College, an important educational facility for over 70 years, supplying the workforce in Tacoma in the early part of the 20<sup>th</sup> century. The building is one of a few known structures designed by architect Harry Keating and brother to Annie Beutel.

The nomination states that alterations to the Craftsman style home included the removal of the wrap-around porch, several window opening modifications, and the 1940s conversion to four apartments. Further, it stated, "*The Beutel Home...remains the best, most intact property that represents the life of Conrad F. Beutel...The change was well planned and executed so that the least possible changes were made to the interior and exterior of the home*".

#### STANDARDS

The threshold criteria for Tacoma Register listing are listed at 13.07.040B(1), and include:

1. Property is at least 50 years old at the time of nomination; and
2. The property retains integrity of location, design, setting, materials, workmanship, feeling, and association such that it is able to convey its historical, cultural, or architectural significance

#### ANALYSIS

The purpose of the preliminary meeting is to determine that the age and integrity standards are met. The building was constructed in 1908-1909 time period; the building retains much of its original design, materials, and style; the structure appears to meet the threshold criteria for consideration.

#### RECOMMENDATION

Staff recommends adopting the above analysis as findings and recommends scheduling the nomination for public testimony at a hearing on October 27, 2010.

### **AGENDA ITEM 3B: Historic Schools (Fern Hill, Central, Jason Lee, Stewart, McCarver, and Whitman)**

Caroline Swope, Kingstree Studios

#### **BACKGROUND**

Constructed between 1911 and 1951, six school buildings owned by Tacoma School District are submitted as a multiple property nomination, recommended for eligibility for listing to the Tacoma Register of Historic Places under criteria A, B, C, D, and for Jason Lee and Whitman Schools, criterion E.

The six school buildings include:

- 8442 South Park Avenue, Fern Hill Elementary School (1911 & 1919 portions of structure);
- 601 South 8<sup>th</sup> Street, Central Administration Building (1912 portion of structure / Central Elementary);
- 602 North Sprague Avenue, Jason Lee Middle School (1924 portion of structure);
- 5010 Pacific Avenue, Stewart Middle School (1924 portion of structure);
- 2111 South J Street, McCarver Elementary School; and
- 1120 South 39<sup>th</sup> Street, Whitman Elementary School.

The nomination states that each building is a unique neighborhood landmark associated with the development of Tacoma and broad patterns of its history; each structure was designed by a significant architect, representing a distinctive architectural style. Fern Hill and Central represent early examples of school district architecture; Jason Lee, Stewart and McCarver provide 1920s' evidence of changing educational ideas and rapid growth on school construction; Whitman represents Post WWII era school construction. The six historic schools submittal within a thematic register nomination is significant; all six fall within the eligibility requirements for age and integrity standards.

#### **STANDARDS**

The threshold criteria for Tacoma Register listing are listed at 13.07.040B(1), and include:

- 3. Property is at least 50 years old at the time of nomination; and
- 4. The property retains integrity of location, design, setting, materials, workmanship, feeling, and association such that it is able to convey its historical, cultural, or architectural significance

#### **ANALYSIS**

The purpose of the preliminary meeting is to determine that the age and integrity standards are met. The six buildings were constructed between 1911 and 1951; some have alterations, but each structure appears to meet the threshold criteria for consideration.

#### **RECOMMENDATION**

Staff recommends adopting the analysis above as findings and scheduling the nomination of the property, at 8442 South Park Avenue, Fern Hill Elementary School, specifically, the 1911 & 1919 portions of the structure, for public testimony at a hearing on October 27, 2010.

Staff recommends adopting the analysis above as findings and scheduling the nomination of the property, at 601 South 8<sup>th</sup> Street, Central Administration Building / Central Elementary, specifically, the 1912 portion of the structure, for public testimony at a hearing on October 27, 2010.

Staff recommends adopting the analysis above as findings and scheduling the nomination of the property, at 602 North Sprague Avenue, Jason Lee Middle School, specifically, the 1924 portion of the structure, for public testimony at a hearing on October 27, 2010.

Staff recommends adopting the analysis above as findings and scheduling the nomination of the property, at 5010 Pacific Avenue, Stewart Middle School, specifically, the 1924 portions of the structure, for public testimony at a hearing on October 27, 2010.

Staff recommends adopting the analysis above as findings and scheduling the nomination of the property, at 2111 South J Street, McCarver Elementary School, for public testimony at a hearing on October 27, 2010.

Staff recommends adopting the analysis above as findings and scheduling the nomination of the property, at 1120 South 39<sup>th</sup> Street, Whitman Elementary School, for public testimony at a hearing on October 27, 2010.

## DESIGN REVIEW

### AGENDA ITEM 4A: 805 N Ainsworth (North Slope Special Review District)

Duke York, York Enterprises

#### BACKGROUND

Constructed in 1923, the bungalow at 805 N Ainsworth is a contributing structure in the North Slope Historic District. The current proposal is to remove the rear breakfast nook, deck and stairs, and replace with new construction, including a foundation to create additional basement space. The windows, door and skylight will be re-installed on the new rear kitchen nook; also, two new Marvin Ultimate Insert Double Hung Wood Clad windows will be installed on the new rear north wall. The rear deck and stairs will be constructed in cedar; exterior cladding matching the original cedar siding.

In addition, the proposal includes the replacement of three ganged double-hung 8/1 windows on the West elevation dining area and two double-hung windows on the northeast bedroom area with Marvin Ultimate Insert Double Hung Wood Clad windows. The photos showing the existing conditions of these five existing windows are enclosed (3 dining room and two office windows).

#### STANDARDS

##### *North Slope Historic District Guidelines*

6. Exterior Materials. Goals: Use compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope Neighborhood were sided with shingles or with lapped, horizontal wood siding of various widths. Subsequently, a few compatible brick or stucco covered structures were constructed, although many later uses of these two materials do not fit the character of the neighborhood.

Additions to existing buildings should be sided with a material to match, or be compatible with, the original or existing materials. New structures should utilize exterior materials similar to those typically found in the neighborhood.

8. Additional Construction. Goal: Sensitive locate additions, penthouses, buildings systems equipment, or roof-mounted structures to allow the architectural and historical qualities of the contributing building to be dominant. While additions to contributing buildings in historic districts are not discouraged, they should be located to conceal them from view from the public right-of-way. Some new additions, such as the reconstruction of missing porches or the addition of dormers in the roof, may need to be located on the front facade of the building. When an addition is proposed for the front of the building, appropriate and sensitive designs for such modifications should follow the guidelines for scale, massing, rhythm, and materials.

##### *Secretary of Interior's Standards*

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#### ANALYSIS

1. Built in 1923, this bungalow is a contributing structure in the North Slope Historic District. As part of the North Slope it is listed on the Tacoma, Washington and National Registers of Historic Places.
2. The Landmarks Preservation Commission has jurisdiction to review and approve, or not approve, changes to this building per TMC 13.07.095, prior to those changes being made, by virtue of its status as a City Landmark.
3. The proposal includes the removal of the rear kitchen nook, deck and stairs, and replacement with new construction of a nook, deck, railing and stairs, and increased basement space. The proposal utilizes the reinstallation of windows, skylight and door, and construction of new cedar deck, railing, and stairs and new

siding material matching the original cedar cladding, which meets North Slope Historic District Guideline #6, Exterior Materials, for, the “*Use [of] compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope Neighborhood were sided with shingles or with lapped, horizontal wood siding of various widths...Additions to existing buildings should be sided with a material to match, or be compatible with, the original or existing materials. New structures should utilize exterior materials similar to those typically found in the neighborhood*”, and meets North Slope Guideline #8, Additional Construction, for “*Sensitively locate[ing] additions, ... to allow the architectural and historical qualities of the contributing building to be dominant. While additions to contributing buildings in historic districts are not discouraged, they should be located to conceal them from view from the public right-of-way...*” The new construction of an addition is proposed onto the rear of the home, reducing its visibility from the street.

4. The proposed removal of three ganged double-hung 8/1 original wood windows on the west elevation dining area and two double-hung windows on the side and rear elevations (design plan identifies area as “office”) appear to be in good condition, thus the removal of historic fabric does not meet Secretary of Interior’s Standard #2, for, “*The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided*”. The replacement of original wood windows in good condition may not meet this standard; however the proposed changes to the windows occur on secondary elevations.
5. The purpose of the removal of the five existing original windows is for increased energy efficiency. It is not known what other measures have been taken to increase the efficiency of the home.
6. The applicant may provide additional information on the proposed removal and replacement of five existing windows with Marvin insert windows.

## **RECOMMENDATION**

Staff recommends adoption of the above analysis as findings and approval of the rear addition proposal, and defers the window replacement proposal.

<b>AGENDA ITEM 4B: 1111 N 4<sup>th</sup> St (North Slope Special Review District)</b>
---

Amalia Annest, Owner

## **BACKGROUND**

This c.1890 house at 1111 North 4<sup>th</sup> Street is a contributing structure in the North Slope Historic District. The house has been in enforcement status since 2005 for windows, siding and trim, and deck completed by a previous owner. Amalia Annest, the current owner, purchased the home in foreclosure and was not aware of the enforcement history or condition of the home at the time of sale.

She has contacted the City and has been working with the building department and historic preservation office to bring the property into compliance. The owner is requesting the Commission’s consideration of a plan to return the house to an adequate, livable state including a proposal to return the windows to the 2005 condition.

The following is a summary of the previous activities at this address:

1. September 2005 stop work order posted
2. October 12, 2005: Landmarks Preservation Commission denied retroactive application for siding, trim, shingles, window replacement with aluminum clad double-hung sash and casement windows. Original windows included changing the ganged pairs into single windows; in addition, original 6/6 and 6/1 wood sash windows replaced with 1/1 that do not match appearance or profile of the original. Also,

the original front door with sidelights was removed and replaced with non historic front door, and on the second story rear elevation a French door was added. There was no evidence presented that the removal of the original materials was necessary.

3. December 6, 2005, Notice of intent to pursue enforcement action mailed.
4. April 11, 2006, Letter requesting written schedule of scope of work to ameliorate conditions of denial, etc., including construction schedule.
5. May 2006: Meeting with owners to prepare plan on submitting proposal on window trim detail, permit, variance application, other items including kitchen/new construction project, deck, porch railing and stairs, to bring property into compliance.
6. 2006-2007 Activity: City notified on removal of sidewalk and constructing new concrete driveway without permits. Request for retroactive application for kitchen remodel; reconsideration denied by Commission; and subsequent appellant hearing was denied by hearing examiner with exception of window replacements and request to Commission for reconsideration of kitchen remodel. The remanded reconsideration of kitchen addition was denied by Commission. In addition, the City appealed to Superior Court the HEX denial for the installation of the siding and windows. Superior court issued an order for the restoration of the windows and siding to a historically correct condition, including the removal of the belly band and return to mitered corners.
7. In April 2009, the current owner purchased the property at a foreclosure auction, which resulted in subsequent legal issues to clear title and finalize the sale because of the previous owners' action of filing for bankruptcy the day prior to the auction. The owners were granted full title a few months ago (2010).
8. The property remains an open Code Enforcement case.

## **STANDARDS**

### North Slope Historic District Guidelines

#6. Exterior Materials. Goals: Use compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope Neighborhood were sided with shingles or with lapped, horizontal wood siding of various widths. Subsequently, a few compatible brick or stucco covered structures were constructed, although many later uses of these two materials do not fit the character of the neighborhood.

Additions to existing buildings should be sided with a material to match, or be compatible with, the original or existing materials. New structures should utilize exterior materials similar to those typically found in the neighborhood.

### Secretary of Interior's Standards

#2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

## **ANALYSIS**

1. This c.1890 house at 1111 North 4<sup>th</sup> Street is a contributing structure in the North Slope Historic District. As part of the North Slope it is listed on the Tacoma, Washington and National Registers of Historic Places.

2. The Landmarks Preservation Commission has jurisdiction to review and approve, or not approve, changes to this building per TMC 13.07.095, prior to those changes being made, by virtue of its status as a City Landmark.
3. The replacement aluminum windows, new window configurations, door replacements, siding, and deck were constructed and installed by a previous owner without approval by the Landmarks Preservation Commission; the current owner was not aware at the time of the sale that this work was conducted without proper approval.
4. The Commission previously found that the siding, trim, windows, doors, sidelights, and deck installation did not meet the district design guidelines or the Secretary of the Interior's Standards.
5. The current owners purchased the house through a foreclosure auction process without professional assistance and due to the additional bankruptcy filing action by the previous owners, had unexpected legal expenses and spent approximately one year of time to clear title for ownership on the property.
6. Subsequent to final ownership on the property, the owner discovered nonpermitted work and the open enforcement status on the property.
7. The owners have received recommendations that the expense of the interior of the house is estimated at \$70,000 to bring the house into a livable space.
8. The current proposal to replace all windows on the front and sides of the house matching the specifications of the wood windows from the 2005 photos; if, during the process, alternative window options need to be considered, the owners will return to the Commission for approval. The proposal to match original windows meets North Slope Historic District Guideline #6, Exterior Materials, for, "*Use [ing] compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope Neighborhood were sided with shingles or with lapped, horizontal wood siding of various widths. Subsequently, a few compatible brick or stucco covered structures were constructed, although many later uses of these two materials do not fit the character of the neighborhood. Additions to existing buildings should be sided with a material to match, or be compatible with, the original or existing materials...*"
9. The proposal to remove the non functioning chimney located at the center of the house is to accommodate the interior remodel, in which the chimney appears to be minimally visible from the street and is not a distinctive feature, thus meeting Secretary of Interior's Standard #2, specifically, for, "*...The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided*".
10. The current proposal to retain the wood siding, trim, and shingles, installed by the previous owner, which is similar to the traditional wood exterior materials found in the neighborhood, appears to meet North Slope Historic District Guideline #6, Exterior Materials, for, "*Use [ing] compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope Neighborhood were sided with shingles or with lapped, horizontal wood siding of various widths. Subsequently, a few compatible brick or stucco covered structures were constructed, although many later uses of these two materials do not fit the character of the neighborhood. Additions to existing buildings should be sided with a material to match, or be compatible with, the original or existing materials...*"
11. The house was previously shingle sided. Beneath the shingle siding is older tongue and groove drop siding; this is similar to what was installed over the shingle siding by the previous owner (without approvals or permits). While the court order, based on the Commission's findings, requires the owner

to restore the siding to its previous condition, given the extent of the required work elsewhere on the property, this does not appear to be a practical consideration and the new owner requests relief from this condition.

12. Other nonpermitted work includes the installation of new doors, and deck, which were all completed by a previous owner, and, therefore, not approved by the Commission.
13. The current owner is remodeling the entire house per the building code requirements; the current owner requests to the Commission on suggestions for the nonhistoric deck installed by the previous owner.
14. Commission approval of the overall plan of action, window replacement, and chimney removal is required to obtain the proper permits to begin work. This will bring the property into code compliance.

## **RECOMMENDATION**

Staff recommends adopting the above as findings and recommends approval by the Commission.

<b>AGENDA ITEM 4C: 565 Broadway – Elks Temple (Old City Hall Historic District)</b>
---

*Michael Sullivan, Artifacts Consulting, Inc*

## **BACKGROUND**

The Beaux Arts Elks Temple was built in 1916 as part of the third period of construction (1910-1925) of the Old City Hall Historic District, which is listed on the Tacoma, Washington, and National Registers of Historic Places. The nomination states that the building “...is a particularly distinctive structure and stands apart from any other in the district by virtue of its massing, treatment of detail, and stark white color. The Second Renaissance Revival design rises in reinforced concrete...the first story is rusticated and has its principal approach through the south wall from the terrace level of the Spanish Stairs...[the] Broadway is the main building entrance...” The building was altered in 1937 and 1948; the 1948 north elevation addition was removed. In the past 42 years, the building has been unused and vacant, and, as stated in the application, “...leading to vandalism and significant deterioration”.

The current rehabilitation proposal is to return the building to a usable condition; the project will utilize Federal Historic Investment Tax Credits, thus there will be project review at the state and federal levels per compliance with the Secretary of the Interior’s Standards; in addition, the project will be submitted for the Special Tax Valuation program.

*Design Review Plan Sheets are referenced on the following proposal:*

1. Treatment on exterior walls includes cleaning, patching, repairing in-kind, and repainting the existing stucco, metal work, architectural features and ornamentation (*i.e., Modillions, Metal Cresting, Iron Gutter, plaque, Elk Head, other*) as well as re-fabrication, as needed.

Note on castings: Castings will be repaired with in-kind material on those items with close public contact; at roofline, the previously removed plaster dentils will be replicated using contemporary, lightweight materials because of safety issues at higher levels.

Note on Color: The exterior building will be painted primarily off-white to match City of Tacoma restoration work on the connected Spanish Steps, set against a slightly darker background.

2. The doors and ornamentals will be repaired or replaced matching original; doors will be repainted, including adding signage to doors as shown on east, south and west elevations; replace glazing surrounding doorways, repair surrounds and castings with inkind materials. New wood exit doors will be installed on the north elevation (replacing two tall casement windows) to meet building code egress requirements.

Broadway entrance: install Universal Access (ADA) ramp; extend existing steps to accommodate ramp landing.

3. Balcony elements will be repaired, refurbished, and repainted, including refinishing and extending six inches in height on sixth floor railings. (DR 7.5) New iron safety railings will be installed at all balconies. Install new metal balcony and exterior exit stair, painted black on north elevation as shown on plan set (DR 3.4).
4. The existing windows will be repaired, refurbished and repainted, including uncovering boarded windows, reglazing one window lite, and installing new missing hardware, lites, metal ventilation louver, and infill with stucco (on North elevation).
5. Roof: The existing metal roof will be replaced; HVAC and other rooftop equipment including solar panels will be installed onto the recessed deck.
6. Metal canopies with fixed glass pendants will be installed by chain onto the Broadway elevation as shown in DR 3.3 and photo sample on DR 7.1.
7. North elevation: The 1937 addition will be demolished and added exterior duct will be removed.
8. Replace the existing outer enclosure on the south areaway (Spanish Steps elevation) with a new wall and locking doors and install concrete entry bridge, metal cover grid on the well opening to protect trash and HVAC area below.
9. Install three new Pin Set Metal Letter signs with what appears to be a painted red frame (DR 7.3); linear signage illumination will be installed below these signs; two new blade signs with lighting and wall light fixtures will be installed.

## STANDARDS

### Secretary of Interior's Standards

- #1 A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- #6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

## ANALYSIS

1. The Elks Temple is historically significant as a contributing property in the Old City Hall Special Review District; this prominent Beaux Arts building was constructed in 1916. As part of the Old City Hall Historic District, it is listed on the Tacoma, Washington, and National Registers of Historic Places.
2. The Landmarks Preservation Commission has jurisdiction to review and approve, or not approve, changes to this building per TMC 13.07.095, prior to those changes being made, by virtue of its status as a City Landmark.
3. The proposal to clean, repair and restore using appropriate methods on the existing exterior, including the stucco, metal work, balconies, architectural features and ornamentation (*i.e., Modillions, Metal Cresting, other*) as well as needed re-fabrication affecting those historic elements, protects its massing and treatment of detail on this significant building, which meets Secretary of Interior's Standards for Rehabilitation #6: "*Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence*".

4. The proposed off-white paint color with a darker background on the exterior does not match the original “stark white” color, as noted in the nomination, however, the off-white is close to the original white color, paint is reversible and paint will not alter the building’s distinctive materials or features, which meets Secretary of Interior’s Standards #1, for, “A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships”.
5. The proposed treatment for doors and windows, including the repair or replacement of materials or missing items, matching inkind, meets the Secretary of Interior’s Standards #6: “Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence”.
6. The proposed installation of a Universal Access (ADA) ramp, ventilation louvers for code requirements, reglazing one window lite for privacy, and replacing north elevation windows for doors, are alterations that appear to be minimally visible, are compatible and do not destroy the character defining features on the property, thus meeting Secretary of Interior’s Standards #9: “New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property...and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment”.
7. The proposal to demolish the non-historic north elevation addition, removal of the exterior duct, and installation of a new roof, signs, exterior lighting, metal canopies, and new south entry elements are appropriate for the building’s new use and appear to have minimal change to the building’s distinctive features and historic character, thus, meeting, Secretary of Interior’s Standard #1, for, “A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships”.

## **RECOMMENDATION**

Staff recommends adoption of the above analysis as findings and recommends approval by the Commission.

### **AGENDA ITEM 4D: Spanish Steps at 565 Broadway (Old City Hall Historic District)**

*Michael Sullivan, Artifacts Consulting, Inc*

## **BACKGROUND**

Built in 1916 the Spanish Steps are a contributing element within the Old City Hall Historic District listed on the Tacoma, Washington and National Register of Historic Places. On March 10, 2010, the detail background on the Spanish Steps final repair and restoration proposal was approved by the Commission.

As part of the approval, the Commission’s purview is review of patchwork and appearance of the Spanish Steps. At this time, the current proposal is to review the paint color recommended by the consultants. Due to the very light color of the paint, a sample is not enclosed with this Staff Report. The actual sample color will be presented at the Commission meeting on September 22, 2010.

#### The following shows the previous scope of work and key dates.

In 2005, the City contracted Artifacts Consulting to generate a Historic Structures Report and preliminary recommendations for the future restoration of the Spanish Steps. This was used to build a scope of work, which was then used to pursue funding.

In 2006, the City of Tacoma was granted \$944,000 by Puget Sound Regional Council for the rehabilitation of the steps, and in 2007, was granted an additional \$280,000. The City has contracted several consulting firms to develop treatments and specifications for the development of bid documents.

At the July 27, 2007, the Commission's provided preliminary approval.

## **STANDARDS**

The proposal was developed using the relevant Secretary of the Interior's Standards for the Treatment of Historic Properties, in addition to National Park Service Preservation Briefs.

### *Preservation Briefs' List:*

42. "The Maintenance, Repair and Replacement of Historic Cast Stone"
2. "Repointing Mortar Joints in Historic Masonry Buildings."
15. "Preservation of Historic Concrete: Problems and General Approaches."
27. "The Maintenance and Repair of Architectural Cast Iron."

## **ANALYSIS**

1. Built in 1915-1916, the Spanish Steps, based on the influence of the Spanish Steps in Rome, are a contributing element in the Old City Hall Special Review District, which is listed on the Tacoma, Washington, and National Registers of Historic Places. The Artifacts Consulting Restoration Report state that the Spanish Steps are the primary landscape element in the several Classical buildings surrounding Old City Hall and comprise the only formalized, landscaped hill-climb in the downtown and formal public exterior stairway in Tacoma.
2. The Landmarks Preservation Commission has jurisdiction to review and approve, or not approve, changes to this property per TMC 13.07.095, prior to those changes being made, by virtue of its status as a City Landmark.
3. The Spanish Steps have been patched, repaired as well as painted in the past and many times using inappropriate methods of treatment.
4. The proposed paint for the Spanish Steps is an off-white color, which appears to meet Secretary of Interior's Standards for the Treatment of Historic Properties and National Park Service Preservation Briefs, for appropriate repair, restoration and replication methods affecting historic features.
5. The Commission will review the paint sample at the meeting.

## **RECOMMENDATION**

Staff recommends adoption of the analysis as findings and approval pending review of the paint sample by the Commission

## **BOARD BUSINESS**

### **AGENDA ITEM 5A: Historic Preservation Plan Follow-up**

Staff and Commission will discuss follow-up items from the September 15, 2010 joint meeting of the Planning and Landmarks Commissions, convened to review the Historic Preservation Plan.

\*\*\*

## **PENDING AGENDA ITEMS**

- |                    |   |
|--------------------|---|
| October 13, 2010 - | Landmarks Preservation Commission regular meeting |
| October 27, 2010 - | Public Hearing (TBD) - Nominations                |

\*\*\*

**Members**

Mark McIntire, Chair  
Ross Buffington, Vice Chair  
Edward Echtle  
Ken House  
Imad Al Janabi, PhD.  
Fred King  
Megan Luce  
Bret Maddox, S.E.  
Ha Pham  
Pamela Sundell

**DRAFT****MINUTES****Landmarks Preservation Commission  
Community and Economic Development Department****Staff**

Reuben McKnight, Historic Preservation Officer

Date: June 23, 2010

LPC 96/10

Location: 728 St. Helens, Tacoma Municipal Bldg North, Room 16

*Commission Members in Attendance:*

Ross Buffington  
Edward Echtle  
Ken House (late arrival)  
Imad Al Janabi, PhD.  
Fred King  
Kathryn Longwell  
Megan Luce  
Bret Maddox, S.E.  
Mark McIntire  
Ha Pham (late arrival)  
Pamela Sundell

*Staff Present:*

Tonie Cook

*Others Present:*

Dustin Osterhaus

*Commission Members Excused:*

Commissioners King and Luce

Chair Mark McIntire called the meeting to order at 5:00 p.m.

**1. CONSENT AGENDA****A. Excusal of Absences**

Commissioners Fred King and Megan Luce were excused.

**B. Approval of Minutes**

Meeting minutes of May 26, 2010 were approved.

**2. DESIGN REVIEW****A. 1419 N 8<sup>th</sup> Street**

Ms. Cook read the Staff Report into the meeting's record:

Built in 1922, this bungalow is a contributing property located in the North Slope Special Review District. The current proposal is to expand the kitchen area by enclosing the west porch wall, which will include one opening for the door on the Cushman Street elevation. The materials include vinyl siding and one wood door, both are salvage from the existing non-historic vinyl siding and kitchen door as shown in the submitted photo.

Staff requested additional information on the design and other details for the railing and steps, which will be provided at the Commission meeting. The proposal was initiated to satisfy insurance requirements for replacement of the electrical panel unit and now includes the remodel of the kitchen.

In addition, Building and Land Use Services reviewed the proposal for setback and building permit requirements. There is a requirement for a variance that will be presented at the Commission as the review was not final at the writing of this Staff Report, which is included in the below analysis.

Ms. Cook noted the photo sample of the proposed steps and railing.

North Slope Special Review District Guidelines to be considered:

#6, Exterior Materials. Goals: Use compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope Neighborhood were sided with shingles, or with lapped, horizontal wood siding of various widths. Subsequently, a few compatible brick or stucco-covered structures were constructed, although many later uses of these two materials do not fit the character of the neighborhood. Additions to existing buildings should be sided with a material to match, or be compatible with, the original or existing materials. New structures should utilize exterior materials similar to those typically found in the neighborhood.

#8. Additional Construction. Goal: Sensitive locate additions, penthouses, buildings systems equipment, or roof-mounted structures to allow the architectural and historical qualities of the contributing building to be dominant. While additions to contributing buildings in historic districts are not discouraged, they should be located to conceal them from view from the public right-of-way. Some new additions, such as the reconstruction of missing porches or the addition of dormers in the roof, may need to be located on the front facade of the building. When an addition is proposed for the front of the building, appropriate and sensitive designs for such modifications should follow the guidelines for scale, massing, rhythm, and materials.

Secretary of the Interior's Standard for Rehabilitation to be considered:

#10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired

Analysis to be considered:

1. The home on the property is historically significant as a contributing structure in the North Slope Historic District; it was constructed in 1922. As part of the North Slope it is listed on the Tacoma, Washington and National Registers of Historic Places.

2. The Landmarks Preservation Commission has jurisdiction to review and approve, or not approve, changes to this building including new construction per TMC 13.07.095, prior to those changes being made, by virtue of its status as a City Landmark.

3. Additional information on the railing and steps will be presented at the June 23, 2010 Commission meeting.

Ms. Cook noted the addition to the Staff Report, which provided the following information:

Additional Staff Analysis:

The proposed wood railing, landing and enclosed wood risers meets North Slope Historic District Guideline #6, Exterior Materials, specifically, for, "...New structures should utilize exterior materials similar to those typically found in the neighborhood".

Previously, per TMC 13.07.070, exemptions of standards including setbacks have been approved by the Commission.

4. The proposed west elevation porch enclosure is to increase livable space in the kitchen; it is located on the rear and side elevation, which reduces its visibility from the right of way, thus appearing to meet North Slope Historic District Guideline # 8, Additional Construction, specifically, for, "...located to conceal [it] from view from the public right-of-way...".

5. The use of salvage materials including the existing kitchen door and vinyl siding meets North Slope Historic District Guideline #6, specifically, for, "...existing buildings should be sided with a material to match, or be compatible with, the original or existing materials...". The existing non-historic vinyl siding covers the entire home and a very limited amount, proposed for re-installation around the wood door, will be visible on that side elevation.

Ms. Cook offered the following amended Staff recommendation.

Staff recommended approval of the analysis as findings and approval of the proposal at 1419 N 8<sup>th</sup> Street, including the proposed landing, railing and steps, and recommends granting a waiver from the 3-foot setback requirement to the west side property line under Tacoma Municipal Code Section 13.06.602.A.4.m. (10) - exterior door landings and Section 13.06.100.D - additions to non-conforming dwellings. Further dimensional details or a determination of whether a survey will be required will be handled through administrative review.

Note: The TMC citations above replace the previous (TMC 13.06.118F) reference number.

There was discussion on the dimensions of the proposed steps, location of the setback, and the request for a waiver of the 3-foot setback.

There was a motion:

*"I move that we, the Landmarks Preservation Commission, approve the analysis as findings and approve the proposal as presented, and grant the recommendation for a waiver from the 3-foot setback requirement to the property line under Tacoma Municipal Code Section 13.06.602.A.4.m. (10) - exterior door landings and Section 13.06.100.D - additions to non-conforming dwellings".*

MOTION: Buffington

SECOND: Maddox

MOTION: Carried

### 3. Chair Comments

There were no comments.

#### a. Other

There was a comment and announcement on the upcoming Wedge application and public hearing. In addition, it was confirmed that there has been only one administrative review that was returned to the full commission for additional review.

The meeting adjourned at 5:18 p.m.

Submitted as True and Correct:

---

Reuben McKnight

Historic Preservation Officer

**Members**

Mark McIntire, Chair  
Ross Buffington, Vice Chair  
Edward Echtle  
Ken House  
Imad Al Janabi, PhD.  
Fred King  
Megan Luce  
Bret Maddox, S.E.  
Ha Pham  
Pamela Sundell

**DRAFT**

# MINUTES

## Landmarks Preservation Commission Community and Economic Development Department

**Staff**

Reuben McKnight, Historic Preservation Officer

Date: June 9, 2010

LPC 90/10

Location: 747 Market Street, Tacoma Municipal Bldg, Conference Room 248

*Commission Members in Attendance:*

Ross Buffington  
Edward Echtle (late arrival)  
Ken House (late arrival)  
Imad Al Janabi, PhD.  
Fred King  
Bret Maddox, S.E.  
Mark McIntire  
Ha Pham (late arrival)  
Pamela Sundell

*Staff Present:*

Reuben McKnight  
Tonie Cook

*Others Present:*

Geoff Neary, Dawn Neary, Robert A. Cohn,  
Kacey Jurgens, Milt Tremblay

*Commission Members Excused:*

Commissioner Megan Luce

Chair Mark McIntire called the meeting to order at 5:05 p.m.

### 1. CONSENT AGENDA

#### A. Excusal of Absences

Commissioner Megan Luce was excused.

#### B. Approval of Minutes

n/a

### 2. DESIGN REVIEW

#### A. 1011 N Cushman

Ms. Tonie Cook read the staff report: Built in 1926, this house is a contributing property located in the North Slope Special Review District. The current proposal is to remove and replace 14 original existing wood single pane windows with aluminum clad wood windows for the purpose of increasing thermal efficiency. The proposed replacement windows are aluminum clad wood Talon Eagle Windows as shown and described in the enclosed application. Photos of eleven of the 14 existing windows proposed for replacement are included in the report. Staff requested a site visit to better understand the condition of the existing windows, which was scheduled for June 8, 2010 after the writing of the staff report. Ms. Cook confirmed her site visit.

North Slope Special Review District Guidelines to be considered:

#6, Exterior Materials. Goals: Use compatible materials that respect the visual appearance of the surrounding buildings. Buildings in the North Slope Neighborhood were sided with shingles, or with lapped, horizontal wood siding of various widths. Subsequently, a few compatible brick or stucco-covered structures were constructed, although many later uses of these two materials do not fit the character of the neighborhood. Additions to existing buildings should be sided with a material to match, or be compatible with, the original or existing materials. New structures should utilize exterior materials similar to those typically found in the neighborhood.

Secretary of the Interior's Standard for Rehabilitation to be considered

# 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Staff analysis to be considered:

1. The home on the property is historically significant as a contributing structure in the North Slope Historic District; it was constructed in 1926. As part of the North Slope it is listed on the Tacoma, Washington and National Registers of Historic Places.
2. The Landmarks Preservation Commission has jurisdiction to review and approve, or not approve, changes to this building including new construction per TMC 13.07.095, prior to those changes being made, by virtue of its status as a City Landmark.
3. Additional information on the condition of the windows will be presented at the June 9, 2010 Commission meeting.
4. Although the installation of exterior storm windows is evident in the submitted photos, the application did not include information on alternatives to increase thermal efficiency other than the removal and replacement of windows, which was requested by staff. This will be discussed at the June 9, 2010 meeting.
5. The removal of the wood windows does not meet Secretary of the Interior's Standard #6, which states, "*Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.*"
6. The use of aluminum clad wood windows for replacement windows has been approved by the Commission. In some of these cases, there has been an upgrade from vinyl or aluminum window materials, missing windows, location of windows or financial considerations.

Staff recommended adoption of the above analysis as findings and deferred recommendation to the Commission.

Property owner Mr. Geoff Neary stated that he lived in the house since 1992, pointed out that the single pane windows were in the house at the time he purchased the home; he had installed the custom storm windows; would like to change the existing windows considering their new adopted child and wanted safety glass in one window located at the bottom of the stairs and also wanted the windows to be more efficient; he researched only wood and aluminum clad wood windows.

Commissioners discussed the historic windows' locations, information on replacing the glass only with safety glass in the one window at the stairs, existing windows were operable in good shape and needed repair only, interior and exterior storm windows increase efficiency to the level of the proposed triple pane windows, consideration of all wood windows and consideration of a compromise by retaining original windows on front, and discussed the North Slope Historic District Guideline number 6 and Secretary of

Interior's Standard number 6, whereby the Commission was charged to follow the regulations to repair and not destroy historic window fabric; the Commission cited an example of repairing sash weights and ropes on one hundred year old houses. The Commission asked the Washington Energy Services representative about energy efficiency and to look at a window sample. There was also a brief discussion on the maintenance of owning a historic home and the previous twenty years of owning a home in a Historic District.

Mr. Neary confirmed the location of proposed replacement windows and previous 1960s replacements; the primary replacement reason was energy efficiency, but safety glass on one window and noise reduction were also added benefits; he confirmed most of the windows have non-functioning weights, must use a stick to keep the windows open, and clumsy operation of storm windows; he added that he did not want the added maintenance of old wood windows nor the wood windows' expense.

Mr. Robert Cohn representative of Washington Energy Services said it was virtually impossible to tell the exact energy savings. He added, "*I could give averages based on what the Department of Energy states, the average could be anywhere from 20 to 40 but there is grey area*". He said this proposal was to install triple pane, which would far exceed the criteria and with the stimulus package it would add to cost savings. He highlighted the window was an insert which would not affect trim, it would remain intact protecting the architectural integrity of the home. Mr. Cohn referenced a WES brochure and said the grid was on the exterior and interior of the window and later qualified that the triple panes were not divided lites; he presented a sample window cross section.

Mr. McKnight provided information on simulated divided lite that has a spacer with shadow, which is hard to tell from traditional muntins; he talked about Secretary of Interior's Standard number six referenced by Commissioner Buffington, which encourages repair before replacement; then replacement matching inkind, and then if possible, materials.

There was a brief discussion on the \$11,000 cost for the first phase of this project and affordability, and destroying functioning historic material and replacement w/nonhistoric materials.

There was a motion:

*"I move that we, the Landmarks Preservation Commission, deny the application to replace windows at 1011 N Cushman based on North Slope Historic District guideline number 6 and Secretary of Interior's Standard number 6, and adopt as findings, Staff Analysis numbers 1, 2, 4, 5 and 6, and replace Staff Analysis number 3, with the following; "The applicant has failed to sufficiently demonstrate that the existing windows have deteriorated to such an extent that they need to be replaced".*

MOTION: Buffington

SECOND: Sundell

MOTION: Approved (1-no)

Vice chair Ross Buffington added that the Commission was being consistent with this application decision and all other similar window applications in the North Slope Historic District, further, stating, "*In my five years [as a member], the Commission had never approved the replacement of windows that were in good shape or could be repaired*". He stated, "...approval of this request would be setting a new precedent. As far as the safety issue on the window near the stairs, it can be taken care of by replacing the glass with safety glass".

Ms. Cook stated that a written decision would be forthcoming; after which, the applicant would have ten days to appeal the decision.

Mr. McKnight added that an appeal could be submitted to staff which would then be forwarded to the hearing examiner's office.

**B. UWT-PH3B: 1902 Jefferson Avenue / JET Annex (Union Depot/Warehouse)**

Mr. Reuben McKnight read the Staff Report:

This is a proposal to construct a new Library Building (Jefferson Avenue Building) on the lot presently occupied by the JET Annex Building a c. 1952 noncontributing structure in the historic district. The 1952 structure will be demolished.

The new structure will be a four story, 49,000 square foot building providing for library expansion, classrooms, two levels of faculty/flexible office space and other academic program/support space. In addition, a partial basement and connector bridge to the existing library building are proposed.

Previous presentations to the Commission on this proposed new building were provided as part of the Master Plan update in August 2008, and in January 2009. Comments included the height of the proposed new building matching the neighboring Swiss Building, terracotta rain screen cladding, and the party-wall center atrium between the historic Tioga and the new building.

The Commission's demolition review process for noncontributing buildings includes two basic steps: 1) affirmation of noncontributing status, and 2) approval of a new design. The new design and noncontributing status must be approved by the Landmarks Preservation Commission prior to the issuance of demolition permits.

Specific exemptions from requirements for buildings listed as noncontributing, but are still subject to Commission approval on exterior changes, and submittal of a timeline, financing, and design plans, which were submitted in the application.

This application consists of two separate actionable items by the Commission:

1. Affirm that the JET Annex Building is a noncontributing structure in the Historic District, and approve the demolition of this structure
2. Approve the project timeline and design of the new proposed structure.

Union Depot Design Guidelines regarding Height, Scale and Materials to be considered:

1. Height. The centerpiece and height benchmark for the districts is the Union Station, with its dome cap height of approximately 96 feet above Pacific Avenue. Wing parapet walls are 30 feet in height above Pacific Avenue. No new buildings constructed in the districts shall exceed 85 feet in height.

In the rehabilitation of existing buildings, their existing height should be maintained and the parapets and cornices should be kept intact. Any rooftop additions, penthouses, building systems equipment, or roof-mounted structures should be set back from existing parapet walls sufficiently to conceal them from view from street level.

2. Scale. Scale refers to a building's comparative relationship to neighboring buildings and its fit within the districts. The typical four-story building in the districts is 50 feet wide and 100 feet deep. Two such "basic blocks" side by side are proportionally similar to the main section of Union Station and illustrate the scale and size of structural components in the districts.

Scale is also determined by the proportions of the architectural elements within the composition of the individual building facades. Exterior building facades shall be of a scale compatible with surrounding buildings and shall maintain a zero setback from the sidewalk. Window and door proportions, including the size and design of the wood sash and frame floor height, floor shapes, street elevations, and other elements of the building facades, shall relate to the scale of the surrounding buildings.

3. Materials. The predominant building material within the districts is masonry, including brick, granite, and terra cotta. Rehabilitation of existing buildings and construction of infill buildings shall utilize masonry as the predominant building material.

TMC 13.07.150, Demolition of City Landmarks – Specific Exemptions, Section C, to be considered:

*Objects, sites, and improvements that have been identified by the Landmarks Preservation Commission specifically as noncontributing within their respective Historic Special Review or Conservation District buildings inventory at the preliminary meeting, provided that a timeline, financing, and design for a suitable replacement structure have been approved by the Landmarks Preservation Commission pursuant to Section 13.07.095 of this chapter, or such requirements have been waived pursuant to TMC 13.07.130.A.*

Landmarks Preservation Commission, Administrative Procedures (Bylaws), Section 3, to be considered:

Historic District Rules and Policies: C. Union Depot/Warehouse District Guidelines Interpretations, #2, Exterior Materials, *"Contemporary building materials for new construction, such as glass, steel, concrete and masonry have been determined to be acceptable for the district".*

Secretary of Interior's Standards for Rehabilitation to be considered:

#9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Staff analysis to be considered:

1. The Landmarks Preservation Commission has jurisdiction to review and approve, or not approve, changes to buildings as well as new construction per TMC 13.07.095, prior to those changes being made, by virtue of its status as a City Landmark.

2. Applicable for consideration include TMC 13.07.270 for building design review in the Union Depot-Warehouse Historic District.

3. The JET Annex Building was originally listed as noncontributing during the original designation of the district, and was affirmed during the inventory update for the district adopted in June 2006. Therefore, it appears to meet TMC 13.07.150, Demolition of City Landmarks – Specific Exemptions Section C:

*Objects, sites, and improvements that have been identified by the Landmarks Preservation Commission specifically as noncontributing within their respective Historic Special Review or Conservation District buildings inventory at the preliminary meeting, provided that a timeline, financing, and design for a suitable replacement structure have been approved by the Landmarks Preservation Commission pursuant to Section 13.07.095 of this chapter, or such requirements have been waived pursuant to TMC 13.07.130.A"*

4. Regarding the painted wall sign on the Tioga Building's south elevation, the sign will be covered due to the proposed party-wall. The sign was painted onto the Tioga Building subsequent to the early 1960s when the JET company was founded. The Union Depot/Warehouse Design Guidelines #7, Signs, b (5), offer guidance on wall signs, specifically, *"Existing historic wall signs should be restored or preserved in place. New wall signs shall generally be discouraged".*

At the meeting, Mr. McKnight noted the Staff report should have added that the above cited guideline on Signs, probably does not apply to this particular sign.

5. The proposed exterior materials include steel framing, terracotta rain screen, metal paneling, cast in place concrete and aluminum curtain wall, which have been used in the district, and meet the Commission's Administrative Procedures (i.e. Bylaws), for Union Depot Warehouse District Design interpretations, Section 3, #2, Exterior Materials, "*Contemporary building materials for new construction, such as glass, steel, concrete and masonry have been determined to be acceptable for the district*"

6. The proposed height at the roof level of the new building is approximately 72 feet with additional equipment extending beyond that roof height, appearing to meet the height maximum of 85 feet for new buildings per Union Depot Warehouse Guideline #1, Height, specifically, for, "...*No new buildings constructed in the districts shall exceed 85 feet in height*".

Mr. McKnight added that this building is not located on Pacific Avenue in which the maximum building height for this guideline is based on the Union Depot's Dome height. There is more flexibility in this interpretation by the Commission because the building is not on Pacific.

7. Each of the two buildings' (Tioga and proposed new building) four stories have rows of windows that are vertically similar, which may meet Union Depot Guideline #2, for Scale, specifically, for, "...*the proportions of the architectural elements within the composition of the individual building facades... and ...Window and door proportions, including the size and design of...and other elements of the building facades, shall relate to the scale of the surrounding buildings*".

Mr. McKnight noted the inadvertent absence of the Staff recommendation in the written report. He stated that Staff recommended to affirm the noncontributing status and to demolish the JET Annex building, and recommended to approve the new design of the proposed new structure at 1902 Jefferson Avenue.

Kacey Jurgens, THA, presented the proposal to demolish, in August 2010, the existing building, which is the existing JET Annex, and to construct the new building, which is part of the University of Washington Tacoma Phase 3 Plan. The proposed new 50,000 square ft building will have a partial basement and four floors to meet the needs of the library, support space for the library, and classrooms. Ms. Jurgens presented the proposed new building's design and its compatibility within the context of the neighboring buildings, parking, ground floor retail, entry to campus, the city's plan for the Hood Street corridor with bike and pedestrian paths and parking. She described each of the new building's elevations including the proposed scale, materials as well as current and potential future space plans.

There was a discussion on the Tioga Building and confirmation that there was no work planned for Tioga other than the removal of the existing interior stair and maintenance and repair on the exterior, including painting the windows. The proposal incorporates a new exit for Tioga within the new building.

There was a discussion on the seismic soundness and if there was a plan for this type of analysis for Tioga; University representatives including Milt Tremblay described the recent work of tuckpointing three sides of the masonry façade on that building and to phase the seismic upgrade; concern was expressed if postponing the fourth wall's tuckpointing work, and the understanding that the plans have not been completely finalized for future maintenance and financial commitments on Tioga.

There was discussion on the window mullion patterns, which were designed to be sensitive to scale, texture within the historic district but to clearly indicate it is a new building.

There was a motion:

*"I move that we, the Landmarks Preservation Commission, affirm the noncontributing status of the JET Annex building at 1902 Jefferson, and approve the demolition of the structure".*

MOTION: Buffington  
SECOND: King

MOTION: Carried (1-recused)

There was an explanation of the proposed terracotta rainscreen exterior material, which is larger than the existing brick with a more modern appearance.

There was a motion:

*"I move that we, the Landmarks Preservation Commission, approve the timeline and proposed new design for the new structure at 1902 Jefferson".*

MOTION: Buffington

SECOND: King

MOTION: Carried (1-recused)

Commissioner Maddox was recused from voting on the two motions.

Mr. Reuben McKnight stated that a written decision would be forthcoming.

### 3. BOARD BRIEFINGS

#### A. 1716-30 Pacific Avenue (Russell T. Joy Building)

Ms. Kacey Jurgens presented information on the recent removal of the painted Heidelberg wall sign on the Joy Building. Ms. Jurgens reported on the sign's specification and fragility of the sign, and the expressed concern, involvement and levels of responsibility of the several parties: UW, UWT, THA, and construction company, for the loss of the sign; she talked about lessons learned for historic signage treatment in the future.

There was discussion on remediation for the loss of the sign, including the possibility of re-creating the sign, obtaining the coding on the original historic sign's remnants for protection, retaining what is there now; photo display in the interior for an educational opportunity, seeking Commission advice, repaint the same for interpretive purposes; hang a new image or projected image at the wall; create important elements of the sign onto a metal screen and hang in front of the wall; there was discussion on the original 1890 and 1933 ghost signs, and mention of previous discussions on heritage and period of significance, and the multiple layers through the several signs' histories, perhaps have a partial representation such as returning the image of the "Prince" only.

In summary, Commissioner House stated that he appreciated the frankness of the discussion and requested that the necessary mechanisms (i.e. prescriptive policy and procedures for guidance of design teams in the future) be put into place to prevent a repeat of the loss of the sign. Commissioner Imad Al Janabi stated that action be taken to bring forth the image in an appropriate method (s) so there is record of this important historic sign.

Mr. Milt Tremblay stated that the University was collecting information at this time.

Mr. McKnight confirmed this agenda item was for discussion purposes.

Vice chair Buffington commended the University representatives to commit to retail space on their Pacific Avenue buildings.

There were several comments regarding lessons learned and mechanism for guidance.

There was a brief discussion on plans for the future renewal and maintenance of the Swiss Hall building.

4. OTHER

- A. Commissioners briefly discussed the status of the proposed Wedge Neighborhood nomination and general discussion on window repair and energy savings.

The meeting adjourned at 7:12 p.m.

Submitted as True and Correct:

---

Reuben McKnight  
Historic Preservation Officer

**Members**

Mark McIntire, Chair  
Ross Buffington, Vice Chair  
Edward Echtle  
Ken House  
Imad Al Janabi, PhD.  
Fred King  
Megan Luce  
Bret Maddox, S.E.  
Ha Pham  
Pamela Sundell

Draft



# MINUTES

## Landmarks Preservation Commission Community and Economic Development Department

**Staff**

Reuben McKnight, Historic Preservation Officer

Date: July 8, 2010

LPC 97/10

Location: 728 St. Helens, Tacoma Municipal Bldg North, Room 16

*Commission Members in Attendance:*

Ross Buffington  
Edward Echtle  
Ken House  
Imad Al Janabi, PhD.  
Megan Luce  
Bret Maddox, S.E.  
Mark McIntire  
Ha Pham  
Pamela Sundell

*Staff Present:*

Reuben McKnight  
Tonie Cook

*Others Present:*

Nore Winter, Roger Johnson, Melissa McGinnis,  
Brett Sunthuff, Caroline Swope, Tansy Hayward

*Commission Members Excused:*

Commissioner Fred King

Chair Mark McIntire called the meeting to order at 6:02 p.m.

### 1. COMMISSION BRIEFING

#### A. Historic Preservation Plan Update

Nore Winter, Winter and Company, presented an update on the City's Historic Preservation Plan.

The meeting adjourned at 7:12 p.m.

Submitted as True and Correct:

---

Reuben McKnight  
Historic Preservation Officer



# Landmarks Preservation Commission

## Tacoma Community and Economic Development Department



747 Market Street ♦ Room 1036 ♦ Tacoma WA 98402-3793 ♦ 253.591.5220

## TACOMA REGISTER OF HISTORIC PLACES NOMINATION FORM

This form is required to nominate properties to the Tacoma Register of Historic Places per Tacoma Municipal Code 13.07.050. Type all entries and complete all applicable sections. Contact the Historic Preservation Officer with any questions at 253-591-5220.

### PART 1: PROPERTY INFORMATION (for 'HELP' press the F1 key)

#### Property Name

Historic Beutel, Conrad F. & Annie K. House Common \_\_\_\_\_

#### Location

Street Address 701 North 10<sup>th</sup> Street Zip 98403

Parcel No(s). 2040140070

Legal Description and Plat or Addition: Section 32 Township 21 Range 03 Quarter 23: NEW TACOMA L 10 THRU 12 B 4014 BEG NWLY COR LOT 10 TH SLY 70.81 FT TH ELY 18 FT TO PT 66.96 FT SLY FROM N LI & 43 FT FROM ELY LI OF BLK TH ELY 43 FT TO E LI OF BLK TH N TO NELY COR OF BLK TH WLY 75 FT TO BEG

#### Nominated Elements

Please indicate below significant elements of the property that are included in the nomination by checking the appropriate box(es) below. These elements should be described specifically in the narrative section of this form.

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Principal Structure   | <input type="checkbox"/> Site   |
| <input type="checkbox"/> Historic Additions               | <input type="checkbox"/> Historic Landscaping, Fencing, Walkways, etc.  |
| <input type="checkbox"/> Ancillary Buildings/Outbuildings | <input type="checkbox"/> Interior Spaces/Other (inventory in narrative) |

#### Owner of Property

Name Noel A. and Lawrence P. Helegda

Address PO Box 604

City Gig Harbor State WA Zip 98335

Is the owner the sponsor of this nomination?

Yes  No

#### Form Preparer

Name/Title Noel A. Helegda

Company/Organization \_\_\_\_\_

Address PO Box 604

City Gig Harbor State \_\_\_\_\_

WA Zip 98335

Phone 253-549-4053

Email Legendaryus@yahoo.com

#### Nomination Checklist—Attachments

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> \$100 Filing Fee (payable to City Treasurer)  | <input checked="" type="checkbox"/> Continuation Sheets |
| <input checked="" type="checkbox"/> Site Map (REQUIRED)   | <input type="checkbox"/> Historical Plans               |
| <input checked="" type="checkbox"/> Photographs (REQUIRED): please label or caption photographs and include a photography index                       | <input type="checkbox"/> Other (please indicate): _____ |
| <input checked="" type="checkbox"/> Last Deed of Title (REQUIRED): this document can usually be obtained for little or no cost from a titling company |   |

FOR OFFICE USE

Date Received \_\_\_\_\_

Fee Paid \_\_\_\_\_

11/2008

Nominations to the Tacoma Register of Historic Places are processed according to the procedures and standards described in TMC 1.42 and 13.07. Submittal of a nomination form does not obligate the City to place a property on the Register or to extend financial incentives to a property owner. Documents submitted become public record. Additional requirements may be imposed by other City, state or federal regulations.

### Narrative (continued)

## PART 2: PHYSICAL DESCRIPTION

### Extent of Changes

Please summarize the changes to plan, original cladding, windows, interior and other significant elements by selecting the choices below. If the property has been previously documented, these may be indicated on the Washington State Historic Property Inventory Form. These changes should be described specifically in the narrative section of this form.

	Original Materials Intact		Original Materials Intact	
Plan (i.e.: no additions to footprint, relocation of walls, or roof plan) <u>NOTE: Rear Stairwell</u>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Interior (woodwork, finishes, flooring, fixtures)	Yes <input checked="" type="checkbox"/> * No <input type="checkbox"/>
Original cladding	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Other elements	Yes <input type="checkbox"/> No <input type="checkbox"/>
Windows (no replacement windows or replacement sashes)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	*NOTE: <u>1940 Apartment Conversion</u>	

### Physical Description Narrative

Describe in detail the present and original (if known) physical appearance, condition and architectural characteristics (use continuation sheets if necessary).

See the enclosed National Register of Historic Places, listed on January 23, 2008.

## PART 3: HISTORICAL OR CULTURAL SIGNIFICANCE

### Criteria for Designation

Tacoma Municipal Code recognizes six criteria of eligibility for inclusion on the Tacoma Register of Historic Places. Please select any that apply to this property, for which there is documentary evidence included in this nomination form.

- A Is associated with events that have made a significant contribution to the broad patterns of our history; or
- B Is associated with the lives of persons significant in our past; or
- C Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or
- D Has yielded or may be likely to yield, information important in prehistory or history; or
- E Is part of, adjacent to, or related to an existing or proposed historic district, square, park, or other distinctive area which should be redeveloped or preserved according to a plan based on a historic, cultural, or architectural motif; or
- F Owing to its unique location or singular physical characteristics, represents an established and familiar visual feature of the neighborhood or City.

### Historical Data (if known)

Date(s) of Construction 1908-1909

Other Date(s) of Significance

1909-1918

Architect (s) Harry E. Keating

Builder \_\_\_\_\_

Engineer \_\_\_\_\_

### Statement of Significance

Describe in detail the chronological history of the property and how it meets the criteria for the Register of Historic Places. Please provide a summary in the first paragraph (use continuation sheets if necessary). If using a Multiple Property Nomination that is already on record, or another historical context narrative, please reference it by name and source.

See the enclosed National Register of Historic Places, listed on January 23, 2008.

**Narrative Continuation**

---

This page may be edited or copied as needed.

Continued from page \_\_\_\_.

---

----- BLANK PAGE -----

United States Department of the Interior  
National Park Service

## National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

### 1. Name of Property

Historic name Beutel, Conrad F. & Annie K., House

Other names/site number \_\_\_\_\_

### 2. Location

street & number 701 North 10<sup>th</sup> Street not for publication

city or town Tacoma vicinity

State Washington code WA county Pierce code 053 zip code 98335

### 3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1986, as amended, I hereby certify that this X nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. ( See continuation sheet for additional comments.)

Signature of certifying official>Title \_\_\_\_\_ Date \_\_\_\_\_

WASHINGTON STATE HISTORIC PRESERVATION OFFICE  
State or Federal agency and bureau \_\_\_\_\_

In my opinion, the property meets does not meet the National Register criteria. ( See continuation sheet for additional comments.)

Signature of certifying official>Title \_\_\_\_\_ Date \_\_\_\_\_

State or Federal agency and bureau \_\_\_\_\_

### 4. National Park Service Certification

I, hereby, certify that this property is:

- entered in the National Register.  
 See continuation sheet
- determined eligible for the National Register.  
 See continuation sheet
- determined not eligible for the National Register.
- removed from the National Register.
- other (explain) \_\_\_\_\_

Signature of the Keeper

Date of Action

**5. Classification**

**Ownership of Property**  
(Check as many boxes as apply)

- private
- public-local
- public-State
- public-Federal

**Category of Property**  
(Check only one box)

- building(s)
- district
- site
- structure
- object

**Number of Resources within Property**

(Do not incl. previously listed resources in the count.)

Contributing	Non-Contributing	
1		buildings
	1	sites
	1	structures
2	1	objects
		Total

Name of related multiple property listing:

(Enter "N/A" if property is not part of a multiple property listing.)

N/A

Number of contributing resources previously listed in the National Register

None

**6. Functions or Use****Historic Functions**

(Enter categories from instructions)

DOMESTIC: Single Dwelling

**Current Functions**

(Enter categories from instructions)

DOMESTIC: Multiple Dwelling

**7. Description****Architectural Classification**

(Enter categories from instructions)

LATE 19<sup>th</sup> and EARLY 20<sup>th</sup> CENTURY

AMERICAN MOVEMENT: Craftsman

**Materials**

(Enter categories from instructions)

foundation      Concrete

walls      Wood: Shingle

roof      Asphalt

other

**Narrative Description**

(Describe the historic and current condition of the property.)

SEE CONTINUATION SHEET

**8. Statement of Significance****Applicable National Register Criteria**

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B Property is associated with the lives of persons significant in our past.
- C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D Property has yielded, or is likely to yield, information important in prehistory or history.

**Criteria Considerations**

(Mark "x" in all the boxes that apply.)

Property is:

- A owned by a religious institution or used for religious purposes.
- B removed from its original location.
- C a birthplace or grave.
- D a cemetery.
- E a reconstructed building, object, or structure.
- F a commemorative property.
- G less than 50 years old or achieving significance within the past 50 years.

**Narrative Statement of Significance**

(Explain the significance of the property.)

SEE CONTINUATION SHEET

**9. Major Bibliographical References****Bibliography**

(Cite the books, articles, and other sources used in preparing this form.)

SEE CONTINUATION SHEET

**Previous documentation on file (NPS):**

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- # \_\_\_\_\_ recorded by Historic American Engineering Record# \_\_\_\_\_

**Primary location of additional data:**

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

**Name of repository:**

University of Nebraska (Lincoln Library)

Tacoma Public Library (PNW Room)

**10. Geographical Data****Acreage of Property** Less than One Acre**UTM References**

(Place additional UTM References on a continuation sheet.)

1	10	5	40	713	52	35	043	3	Zone	Easting	Northing
Zone	Easting	Northing			Zone	Easting	Northing				
2								4	Zone	Easting	Northing
Zone	Easting	Northing			Zone	Easting	Northing				

**Verbal Boundary Description**

(Describe the boundaries of the property.)

See continuation sheet.

**Boundary Justification**

(Explain why the boundaries were selected.)

See continuation sheet.

**11. Form Prepared By**

name/title Noel Helegda  
organization \_\_\_\_\_ date 9/1/06 (edited 12/06 - DAHP)  
street & number PO Box 604 telephone 253-549-4053  
city or town Gig Harbor state WA zip code 98335

**Additional Documentation**

Submit the following items with the completed form:

**Continuation Sheets****Maps**A **USGS map** (7.5 or 15 minute series) indicating the property's location.A **Sketch map** for historic districts and properties having large acreage or numerous resources.**Photographs**Representative **black and white photographs** of the property.**Additional items**

(Check with the SHPO or FPO for any additional items.)

**Property Owner** (Complete this item at the request of the SHPO or FPO.)

name Noel A. and Lawrence P. Helegda  
street & number PO Box 604 telephone 253-549-4053  
city or town Gig Harbor state WA zip code 98335

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet -

BEUTEL, CONRAD F. & ANNIE K., HOUSE  
PIERCE COUNTY, WASHINGTON

Section number 7

Page 1 of 3

---

### Narrative Description

Completed in 1909, the Conrad & Annie Beutel House is located on the northwest corner of North 10<sup>th</sup> Street and G Street, in Tacoma, Washington. The home faces southeast on 10<sup>th</sup> Street and is located just inside the northwestern edge of the National Register listed Stadium Seminary Historic District. The corner lot slopes down to the north and consists of small decorative trees, foundation plantings and a manicured lawn.

The 2½ story home has a front facing gable roof with two lower cross gables on the perpendicular sides. The asphalt covered roof has wide overhanging eaves with exposed decorative-cut rafter tails and large braces in the gable ends. On the east and north façades, the gables are highlighted by a projecting wall plane held by a row of modillions. The exterior of the Beutel Home is clad with alternating rows of large and small exposure cut shingle siding. Painted grey, the shingles, were originally stained a dark brown.

On the main façade is a large multi-colored brick chimney which rises on the exterior surface before being covered at the attic or gable level by a projecting wall. The chimney has a decorative corbelled cap. At the second floor level on the northeast corner, is a projecting corner bay window. The south and north facades have simple boxed bay windows with shed roofs.

Originally a large porch wrapped around from the 10<sup>th</sup> Street side of the house to the "G" Street side. This has now been removed. Entrance to the home is via an enclosed entry foyer capped with a shallow shed roof. Here, two solid core doors with Tudor style hardware, allow access to the interior.

The double hung wood windows are located on all sides of the home and are typically multi-pane sashes over a single pane. Many are grouped in pairs or threes. Per historic images, some of these window openings have been modified, most likely dating from the conversion of the home in 1940 to apartments.

In 1940, the "G" Street side of the house was excavated to create a daylight basement apartment. At that time a door and windows were added to provide

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet -

BEUTEL, CONRAD F. & ANNIE K., HOUSE  
PIERCE COUNTY, WASHINGTON

Section number 7 Page 2 of 3

---

access to the unit. The rear or north façade of the home has an exposed wooden exterior stairwell above a projecting enclosed porch.

Reportedly the Beutel's had a concrete driveway poured alongside the south side of house at the time of construction, but did not build a garage. Instead they used the two car garage for the home next store (707 North 10<sup>th</sup> Street house) which they also owned. In the 1920's a single car garage was built at the end of the driveway. It has a front facing gable roof. Clad with matching coursed shingles, the garage boasts its original swinging carriage style doors. In 1941 a second single-car garage was constructed on the "G" Street side of the house. This garage has concrete walls and a flat roof.

Despite the conversion of the home into apartments, the interior retains many of the architectural and decorative details from the original period of construction. Throughout the house is original oak and fir flooring. Original tile flooring can be found in the second and third floor bathrooms, as well as original windows and door trim and mouldings. The three large fireplaces built by the Beutel's are all in working order and have their original mantels and brick fireplace surrounds.

Key interior spaces such as Conrad Beutel's den remain intact. Here original ceiling light fixtures and the wall sconces, boxed beams and highly decorative wainscoting indicate the use of the space. The original clinker brick fireplace rests next to built-in bookcases. Over the fireplace is the original hidden safe. The face of the safe is hand painted. At the top it reads "BENJ. F. HEDGES". In the middle there is a painting of mountains, water and trees. At the bottom are the words "SEARS, ROEBUCK & CO." and under them it reads "CHICAGO, ILL'S.". A gilded scroll surrounds the perimeter of the face. Benjamin F. Hedges was the individual the Beutel's purchased the property from.

Other spaces include the large main floor living room with its massive brick fireplace. Designed to entertain family and guests, the combined living room and dining area originally spread across an area 18' x 39'. Window boxes are located by the corner windows. During the conversion to apartments, a portion of the dining room was walled off to form a bedroom and the large boxed beams on the ceiling were removed.

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet -

BEUTEL, CONRAD F. & ANNIE K., HOUSE  
PIERCE COUNTY, WASHINGTON

Section number 7 Page 3 of 3

---

The on the first floor has been upgraded. The second floor, home to three bedrooms, now serves as one apartment unit. As such a newer kitchen has been installed one of the bedrooms. The third floor, or attic level, housed the maids rooms and children's play area. It has also been slightly modified to accommodate the use as an apartment unit.

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet -

BEUTEL, CONRAD F. & ANNIE K., HOUSE  
PIERCE COUNTY, WASHINGTON

Section number 8 Page 1 of 6

### Statement of Significance

The Conrad F. & Annie K. Beutel House in Tacoma, Washington is eligible for the National Register of Historic Places under criterion "B" as home to prominent businessman and educator, Conrad F. Beutel and his wife Annie "Keating". The house served as home for the Beutel family for nine years and is the last intact standing structure associated with the family business, the Beutel Business College. Beutel Business College was an important educational facility in the Puget Sound area for over 70 years and supplied the workforce that fueled the growth of Tacoma during the early part of the 20<sup>th</sup> century. The home was designed by Harry Keating, brother of Annie Beutel and is one of a handful of known structures designed by him.

#### Conrad F. Beutel

Conrad F. Beutel was born in Kansas in 1870. His parents, Godfreid and Augusta had immigrated to the United States from Prussia in the mid 1800s. Despite their limited income, they sent Conrad to college, hoping for a better life for him. After graduation in 1889, at the age of 29, Conrad traveled to Duckabush, Washington on the Olympic Peninsula to live with his older brother Emil. Soon thereafter, Conrad became one of the first teachers on the Olympic Peninsula, teaching in a one-room schoolhouse. On several occasions he visited Tacoma.

In 1892 Conrad moved back to the Midwest to Afton, Iowa where he took a position at Afton Normal College as Professor of Natural Sciences and Penmanship. While there he met his future wife, Annie Keating. Annie, a native of Afton, was a colleague at the school and served as a Professor of Elocution and Physical Culture. She had recently returned home to Iowa via Ann Arbor, Michigan where she had been attending the University of Michigan. Well educated, Annie was known for the many recitals which she performed in Iowa. An issue of the Des Moines, Iowa Saturday Review for December 1896 described Keating as "...one of Iowa's most gifted young ladies..."

Reportedly Annie found the six-foot tall Conrad Beutel quite charming and accounts of his demeanor and skill were widely known. The Afton Enterprise newspaper on January 7, 1897 reported that Conrad Beutel was, "... a fine penman, thoroughly versed in business methods, and in the fundamental branches, as well as science and languages, and is an accomplished instructor. He is capable of commanding first-class positions

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet -

BEUTEL, CONRAD F. & ANNIE K., HOUSE  
PIERCE COUNTY, WASHINGTON

Section number 8 Page 2 of 6

---

*anywhere. Though somewhat reserved, the professor is an affable young man of fine appearance and his deportment betokens the gentleman and scholar."*

During Annie and Conrad's courtship, he reportedly accepted a professorship at the State Normal School in Montgomery, Alabama. The two were married on December 30, 1896 in the home of Miss Keating's parents. Shortly thereafter on October 23, 1897 their first child, Frederick K. was born. After Frederick's birth Conrad took another job, a position in Houston, Texas as Principal of one of the largest commercial business schools in the south, Massey Business College.

On April 30, 1901 Conrad Beutel wrote a letter to the Afton, Iowa newspaper which the paper titled "Texas Oil Wells: Professor Beutel Writes of the Fortunes being Made in the Oil Fields of Texas." In a portion of the article Mr. Beutel wrote "*A poor widow owned 20 acres of land near Beaumont. It had cost her \$20 per acre. In January she was offered \$10 per acre and her friends advised her to sell, but she kept it until the well was complete when she realized one hundred dollars per acre. It was again sold at an advance of a hundred dollars and continued to rise in value until the last sale a week ago when the neat little sum of \$90,000 was paid for a single acre. Nor has it stopped yet."*"

Heading his own advice, Buetel purchased several plots of land and quickly made a handsome profit on his investment. The Afton newspaper wrote of Conrad Beutel "...He then took up his abode in the Lone Star State and now when the richest oil fields in the world have been discovered in Texas C. F. Beutel was on the ground floor and purchased a large body of land that promises to make him a multiplied millionaire...Elsewhere we publish an interesting letter from Mr. Beutel, omitting at his request an account of his own good fortune".

With money in hand, Buetel now had the capital to obtain his dream, opening his own business school. Remembering fondly the time he had spent on Puget Sound and wanting to live closer to his brother, the Beutel family moved to Tacoma in 1904. Once in Tacoma, the Beutel's began to look for a site to construct a large family home.

They chose a prominent corner lot in an up-and-coming area called "New Tacoma". Home to an increasing number of businessmen and civic leaders, the site offered wonderful views of Puget Sound, access to the street car line two block away, and more

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet -

BEUTEL, CONRAD F. & ANNIE K., HOUSE  
PIERCE COUNTY, WASHINGTON

Section number       8      

Page 3 of 6

importantly a direct connection to Tacoma's social elite. The 75' x 100' lot already had a small Victorian era cottage on site. The Beutel's moved into the small home with Conrad's mother while they completed plans for their new home.

Architect Harry E. Keating, Annie Beutel's brother, prepared the architectural plans for the home in close consultation with Conrad and Annie. Little is known of Keating's educational background or work. He resided on Vashon Island and is credited to at least three other homes in Tacoma. He reportedly served as architect and contractor on the Beutel house as well as his other projects.

Construction of the \$7,500 home commenced on June 29, 1908, the day after the birth of the Beutel's second child, Mary. Work on the dwelling progress rapidly. The October 3, 1908 issue of the Tacoma Daily Ledger carried a 3x4 inch photograph of the nearly completed Beutel home. Above the photo in bold the title read "RESIDENCE OF C. F. BEUTEL". The caption under the picture read "*This is another specimen of the stately North End homes erected the past year. It is the property of C. F. Beutel, president of the Beutel Business College, and was designed by the owner. There are twelve spacious rooms in the structure, finished in oak and fir...*".

Completed in January of 1909, the 2½ story Arts & Crafts style home has a strong presence in the neighborhood. Its architectural style is reflective of a then new aesthetic to encourage simple honest design with a regard for the integrity of the materials employed in the construction.

Known as the Arts and Crafts movement, the style expressed dissatisfaction that industrialization had failed to provide a decent environment for working people and at the same time resulted in shoddy mass-produced goods. The Arts & Crafts movement began in 19th century England, as an outraged response to the Industrial Revolution, which was threatening time-honored manual crafts with extinction. In the United States the ideas of the Arts and Crafts movement appealed not only to wealthy intellectuals, but also to workers whose identity was being lost by the ever-increasing push for standardization and mechanization. Quickly the ideas spread to all facets of design. Architecturally, building became less cluttered with mass produced ornamentation, structural elements became exposed and roof-lines became simplified.

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet -

BEUTEL, CONRAD F. & ANNIE K., HOUSE  
PIERCE COUNTY, WASHINGTON

Section number 8 Page 4 of 6

---

The Beutel House is an early example of the style. Clad with continuous rows of coursed shingles, originally stained medium brown tone, the trim was painted white. Exposed rafter tails and knee braces at the roof line, offset a multi-colored chimney on the main façade and several boxed bay windows. The home originally had a shed roof covered entry and wrap-around porch on the main façade.

When Beutel moved to Tacoma in 1904 he purchased Tacoma Business College and renamed the school after himself, the Beutel Business College. Under new ownership, the college reopened on September 6, 1904. Located in the Lucerne Building at 901 Tacoma Avenue, the college was located in the heart of the business and financial district and quickly became noted for its skilled graduates.

The college produced the work force of accountants, bookkeepers, secretaries, stenographers, high school business teachers, traffic agents, bank tellers, and business managers that supported the growing economy of Tacoma. Beutel wrote further in the 1921 Beutel Business College Catalog "*Since January, 1916, the demand for Beutel Graduates has been so great that frequently business men have asked us to send them undergraduates when no student was available who had completed his course.*" So successful was student placement that Beutel Business College offered students completing the "Combined Course" guaranteed placement in a job within 15 days of graduating or they received the full amount of their tuition back.

Beutel wrote for the 1921 Beutel Business College Catalog "*By giving our students the best possible instruction, we perform a service which they in turn pass on to their employers and to the general public. We thus are rendering a service that is valuable alike to those who serve and to those who are served.*"

A partial list of employers hiring Beutel Business College students appeared in the 1922 Beutel Business College catalog. It included a variety of businesses from banks, to retail and commercial business, to the federal government. The list follows:

Northern Pacific Railway, Lincoln High School, City of Tacoma, National Bank of Tacoma, Metropolitan Park Board, Fife High School, Merchants Trans. Company, Bordeaux Lumber Co., Internal Revenue, Red Cross, Ford Agency, Cascade Paper, Rhodes Bros., Bank of California, W.H. Opie & Co., Peoples Store, Pacific Telephone & Telegraph, Mt. States Power Co., Sherman-Clay, Sumner High School, Dr. Rich, Shelton High School, Union Pacific Railroad, Blangy Motor Co., Pacific Rent & Collection, Henry Mohr Hardware, Tacoma Building, Fidelity Rent & Collection, Olympic Steam Laundry, Puget Sound Flour Mills,

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet -

BEUTEL, CONRAD F. & ANNIE K., HOUSE  
PIERCE COUNTY, WASHINGTON

Section number 8 Page 5 of 6

---

U.S. Post Office, Foster & Kleiser Co., Ryan Fruit Company, Chicago, Milwaukee, & St. Paul Railroad, Standard Oil, A.V. Love Company, Rhodes Post, American Legion, and the U.S. War Department, Washington, D.C.

In 1922 Beutel wrote "*We have always done high-class work, preferring to go about our business in a quiet, unostentatious manner, employing the latest and most efficient business methods. We do not spend large sums in glaring advertisements to attract patronage; but depend upon our graduates to establish the merits of the school. This straight-forward business policy has brought us a class of students of which any school might be justly proud*".

Despite some eight other business colleges in Tacoma in the teens, Beutel College was one of the few to succeed. In 1908 Beutel opened a branch campus in Everett. Through the college, Conrad Beutel quickly became a well respected and influential businessman in Tacoma. Reportedly he was a "silent partner" in a number of Tacoma businesses. The social status and influence of Beutel is evidenced by a caricature of him looming above a rendering of his business school on the front page, top center of the August 29, 1908 issue of The Tacoma Dailey Tribune. In the piece, Beutel, arms stretched, is cast from behind by a large sun and clouds. Below are two additional caricatures, one of Beutel working above a stenographer and a sketch of a man catching a large happy fish with the caption "A disciple of Isaac Walton". Under the caricature the caption reads:

*"Beutel Business Colleges of Tacoma and Everett, among the largest and most business-like schools of the Pacific Northwest; author and compiler of several widely used text books on commercial subjects, Ex-president of the Washington Commercial Teachers Association, Member of the Commercial Club and Enthusiastic Tacoma Booster. Though apparently a young man, he has been engaged in educational work for over twenty years, eight in public schools and normal colleges and twelve in commercial schools. Though a Silent Partner in a Number of Business Enterprises in Tacoma, his main hobby is helping young people to secure a start in the business world."*

While the college prospered, the Beutel family had personal tragedies to endure. In 1917 Annie Beutel started having stomach difficulties which doctors were unable to diagnose. Gradually they grew worse. Then the Beutel's live-in housekeeper, who had been with the Beutel's many years, decided she had to leave their employ. Ill, Annie didn't feel she was strong enough to train another housekeeper and wasn't well enough

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet -

BEUTEL, CONRAD F. & ANNIE K., HOUSE  
PIERCE COUNTY, WASHINGTON

Section number 8 Page 6 of 6

---

to keep the home in order by herself, so the Beutel's had to make a difficult decision. After nine years in the beautiful home they had built and raised three children in, they would have to move to a smaller residence. In 1918 they sold the home to A.W. Anderson. Four years later, in 1922, Anderson sold the home.

Not long after moving, a friend told Annie about a doctor in Portland who might be able to help. Conrad took Annie to Portland where she was diagnosed with ulcers. Surgery was performed in Portland and her stomach problems were cured.

In 1925 Conrad visited his dentist in Tacoma about a prolonged sore throat. Reportedly the dentist told him that he needed to have his tonsils removed and stated that he could do it right in the office. Apparently, Beutel didn't hear exactly what the dentist was saying, but trusted him and consented to what he thought would be a simple procedure. Quickly, and without anesthetic, the dentist cut out Conrad's tonsils and he was then sent home.

Conrad Beutel never completely recovered from his quick surgery, and relatives believe that an infection set in. On January 17, 1925 Conrad Beutel passed away at the age of 54. His son, Frederick, was at Harvard Law School. At the time, Margaret was attending the University of Washington and Mary was in her junior year at Stadium High School. His death hit the family hard and they left the Tacoma area that they had contributed so much to. Annie Beutel, with her daughters and her sister, moved to Hawaii on September 1, 1926. Frederick Keating Beutel continued his education and received his Bachelor of Law from Harvard in June of 1925. Later he became an internationally acclaimed educator, legal authority, author, historian, and lecturer.

Through this time, the business college continued to contribute to the Tacoma economy and to the lives of its citizens. The college quickly became the oldest business college in the state and officially closed its doors in 1973. Today, while the building still stands, the structure has been drastically altered. The Beutel Home at 701 North 10<sup>th</sup> Street, remains the best, most intact property that represents the life of Conrad F. Beutel. In the summer of 1940 the house was converted to four apartments. The change was well planned and executed so that the least possible changes were made to the interior and exterior of the home. One apartment was placed on each floor of the house.

---

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet -

BEUTEL, CONRAD F. & ANNIE K., HOUSE  
PIERCE COUNTY, WASHINGTON

Section number 9 Page 1 of 2

---

### Bibliography

- Beutel, Conrad. 1921. *Beutel Business College Catalog*. Tacoma: Publisher Unknown
- Beutel, Frederick Keating. 1965. *Record of Employment*. Provided by the University of Illinois at Urbana-Champaign.
- Carey, Roland. *The Sound and the Mountain*. Seattle, WA: Alderbrook Publishing Co., 1970
- Fletcher, Sir Banister. *A History of Architecture*. Jordan Hill, Oxford, England: Butterworth-Heinemann 2001.
- (Keating) Beutel, Annie. *Annie's Family Scrapbook*. Page 52. With Additions from Mary (Beutel) Rothwell 1898 - 1989
- Nerheim, J.N. *The History of Lumber Mills in "Old Town"*. Tacoma: Privately Published, 2004.
- No Author Given. Berkely PATH Wanderers Association. 2006. Accessed 1 September 2006. [//berkeleypaths.org](http://berkeleypaths.org). Internet
- Morgan, Murray. *Puget's Sound*. Seattle, WA. University of Washington Press, 1979
- Morgan, Murray & Rosa. *South on the Sound*. Woodland Hills, CA: Windsor Publications 1984
- R. L. Polk & Co. Directories: 1904 – 1916. *Tacoma City Directory*. Tacoma: R. L. Polk & Co.
- Rothwell, Gar. Interview by Author, Via Telephone Washington State to Ohio, October 14, 2006.
- Rothwell, Jack. Interview by Author, Stadium High School, Tacoma, WA, September 16, 2006
- Rothwell, Mary. Interview by Author, 1630 – 43<sup>rd</sup> Avenue East, Seattle, WA: June 12, 2006
- Rothwell, Mary. Interview by Author, 701 North 10<sup>th</sup> Street, Tacoma, WA, September 1994
- Scully, Vincent. *Modern Architecture and Other Essays*. Princeton, New Jersey: Princeton University Press 2003.

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet -

BEUTEL, CONRAD F. & ANNIE K., HOUSE  
PIERCE COUNTY, WASHINGTON

Section number 9 Page 2 of 2

---

*The Forum*. 1904. Beutel Business College Advertisement. August 11

*The Tacoma Sunday Ledger*. "A Magnificent Home". August 6, 1922..

*The Tacoma Daily Ledger*. "Harry Keating Architect...". September 12, 1908.

Von Baeyer (Beutel), Beatrice. Telephone interview by author. Tacoma, WA to Greenville, S.C. July 3, 2006.

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet -

BEUTEL, CONRAD F. & ANNIE K., HOUSE  
PIERCE COUNTY, WASHINGTON

Section number 10 Page 1 of 1

---

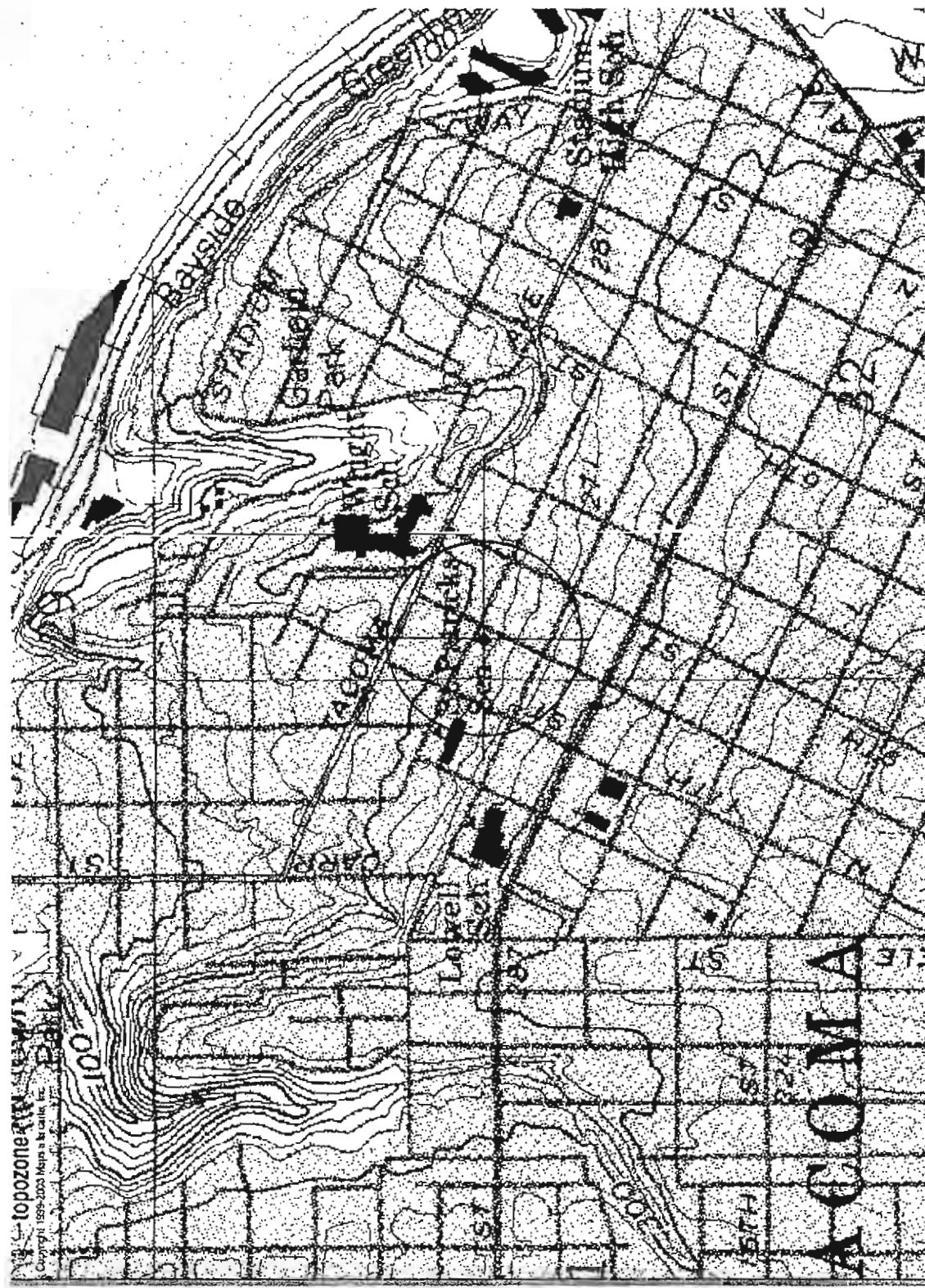
### **Verbal Boundary Description**

The nominated property is located at 701 N 10<sup>th</sup> Street in Tacoma, Pierce County, Washington. The home is located in Section 32 of T21, R03. It is legally described as New Tacoma lots 10 to 12 B 4014 Beg Nwly Cor Lot 10 Th Sly 70.81 Ft Th Ely 18 Ft to Pt 66.96 Ft Sly From N Li & 43 Ft From Ely Li of Blk Th Ely 43 Ft To E Li of Blk Th N to Nely Cor of Blk Th Wly 75 Ft To Beg.

### **Boundary Justification**

The nominated property encompasses the entire urban tax lot that is currently occupied by the Beutel House.

↑ N -



Conrad & Annie Beutel House: Tacoma, WA  
**UTM 10 540713E 5235043N (NAD83/WGS84)** – Tacoma Quad

# Parcel Map for 2040140070

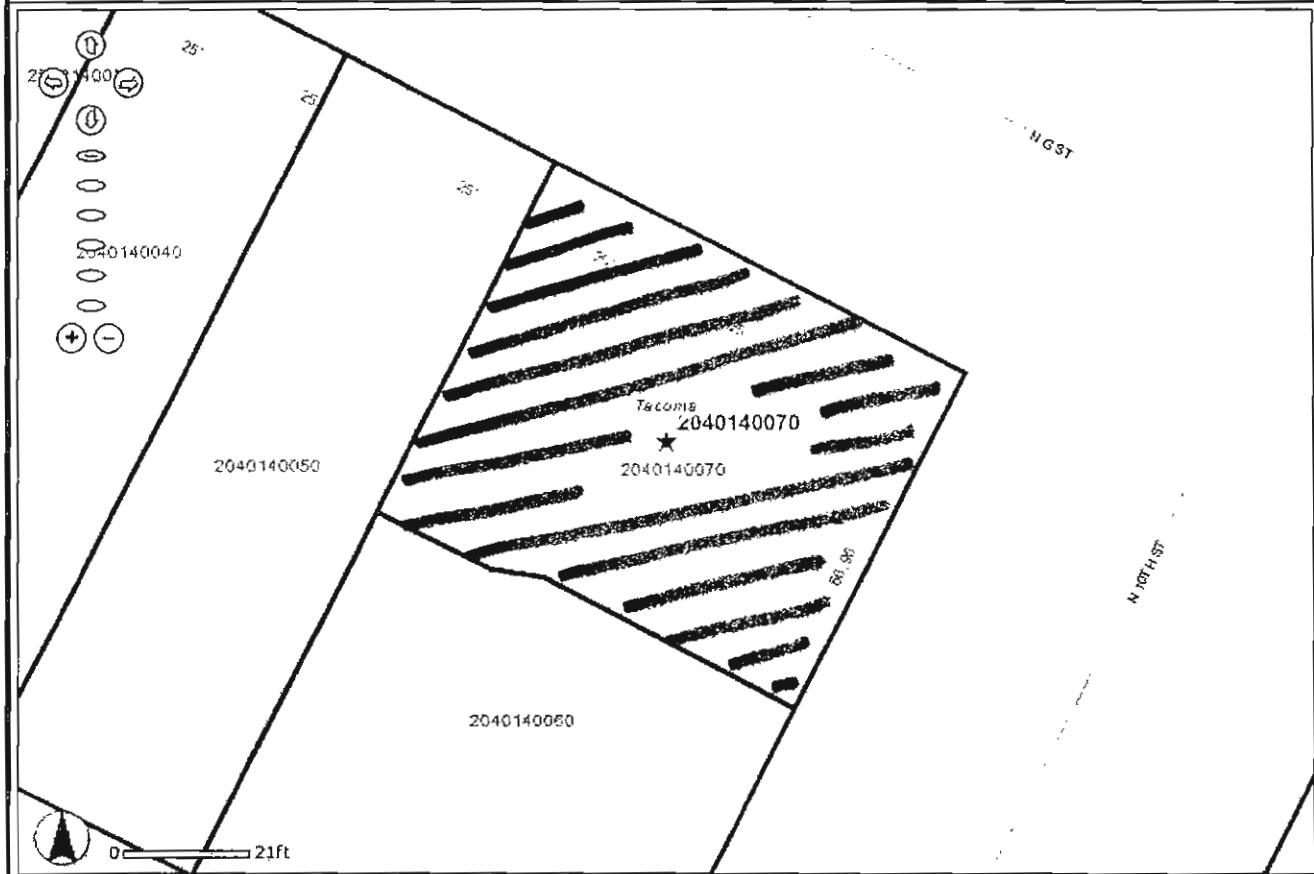
02/01/2007 01:43 PM

## Taxpayer Details

Taxpayer Name: HELEGDA NOEL A & LAWRENCE P  
Mailing Address: PO BOX 604  
GIG HARBOR WA 98335-0604

## Property Details

Parcel Number: 2040140070  
Site Address: 701 N 10TH ST  
Account Type: Real Property  
Category: Land and Improvements  
Use Code: 1204-FOURPLEX 4 UNITS

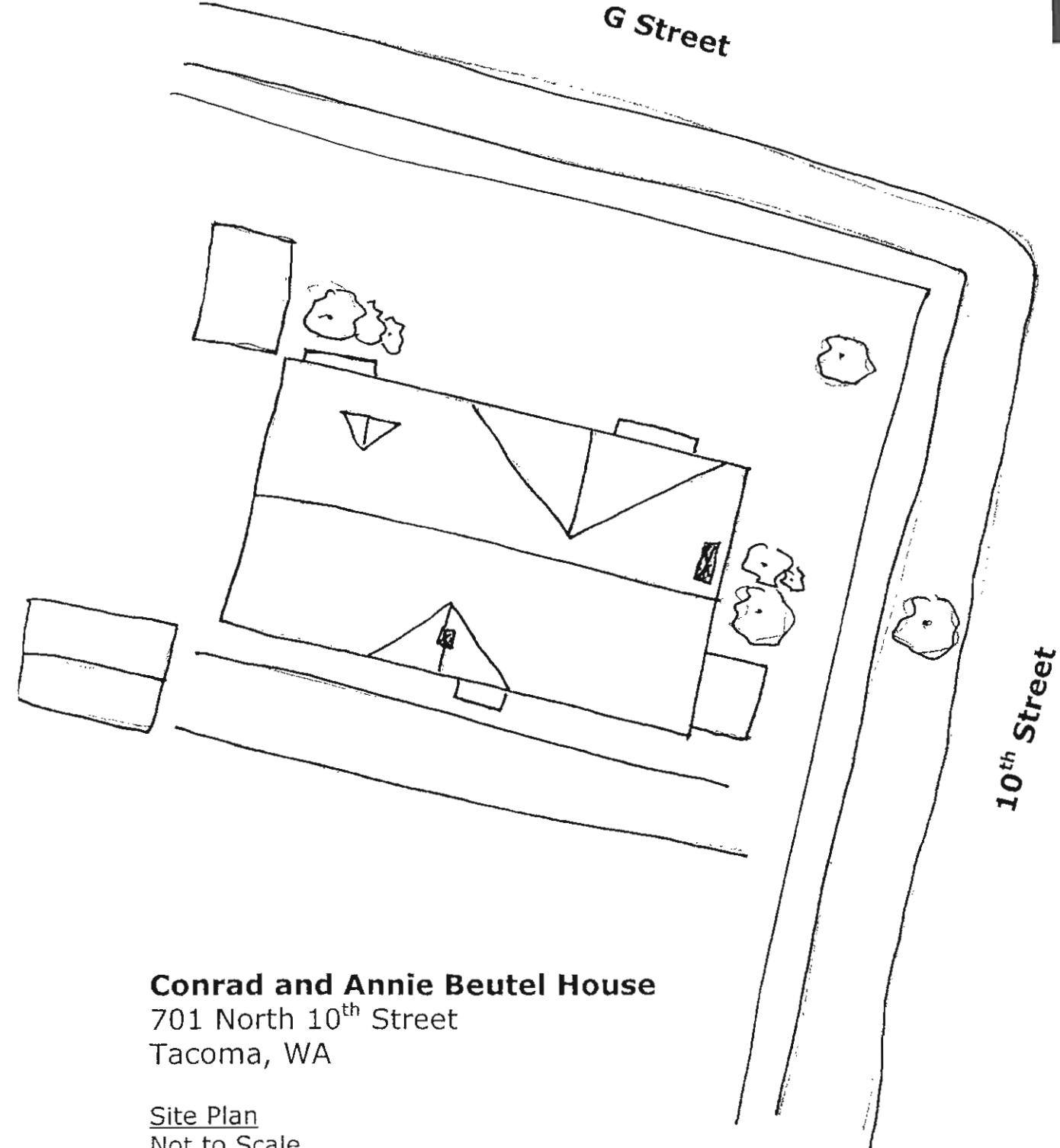


For additional mapping options, visit Public GIS

I acknowledge and agree to the prohibitions listed in RCW 42.17.260(9) against releasing and/or using lists of individuals for commercial purposes. Neither Pierce County nor the Assessor-Treasurer warrants the accuracy, reliability or timeliness of any information in this system, and shall not be held liable for losses caused by using this information. Portions of this information may not be current or accurate. Any person or entity who relies on any information obtained from this system, does so at their own risk.  
*All critical information should be independently verified.*

*.....decreed released*

↑  
N  
—



**Conrad and Annie Beutel House**  
701 North 10<sup>th</sup> Street  
Tacoma, WA

Site Plan  
Not to Scale





The Daily Ledger  
October 4, 1908



The Tacoma Sunday Ledger  
August 6, 1922



The Daily Ledger  
October 4, 1908



The Tacoma Sunday Ledger  
August 6, 1922

The Tacoma Daily Tribune  
August 29, 1908

POPULATION OF TACOMA IN 1910—200,000

# TACOMA DAILY TRIBUNE

11 AM

TACOMA, WASHINGTON, SATURDAY, AUGUST 29, 1908.

TIME

es in  
e Hold

11 AM  
12 PM  
1 PM  
2 PM  
3 PM  
4 PM  
5 PM  
6 PM  
7 PM  
8 PM  
9 PM  
10 PM  
11 PM

IS ON  
H

ent  
man



President Roosevelt's visit to Tacoma has been a great success. A large crowd of people gathered at the station to see the President off on his return to the West Coast. Large numbers of people crowded the streets of the City, and the streets were filled with automobiles, trucks, and horse-drawn carriages. The President was received by a large delegation of officials and prominent citizens. The President's speech was well received, and he expressed his admiration for the beauty and progress of the City of Tacoma.

11 AM

11 AM  
12 PM  
1 PM  
2 PM  
3 PM  
4 PM  
5 PM  
6 PM  
7 PM  
8 PM  
9 PM  
10 PM  
11 PM



## SUMMER SCHOOL BUETEL COLLEGE

**Young Man or Young Woman** How could you better spend your summer than by taking a Business Course in a thoroughly up-to-date school? If you do not know it now, this day will come when you will find that the college handles business as well as the business world. The want of a business education

With your other educational courses at the Buetel Business School, and if Indians and Canadas study it, many Indians are likely to succeed.

**DO IT THIS SUMMER** Come to the Buetel Business School and get a thorough education in a course of six weeks.

## WHAT NOW?



## A Business Education

The Buetel Business College offers the best methods of modern business education. The courses taught are none too good. The cost has been reduced, but the extra expense is more than offset by the quality of instruction. Another reason is that we offer a much wider field of opportunity.

## Buetel Business College

1000 University Street, Seattle, Washington



*Beutel family 1910*

Beutel Family in front of home - 1910

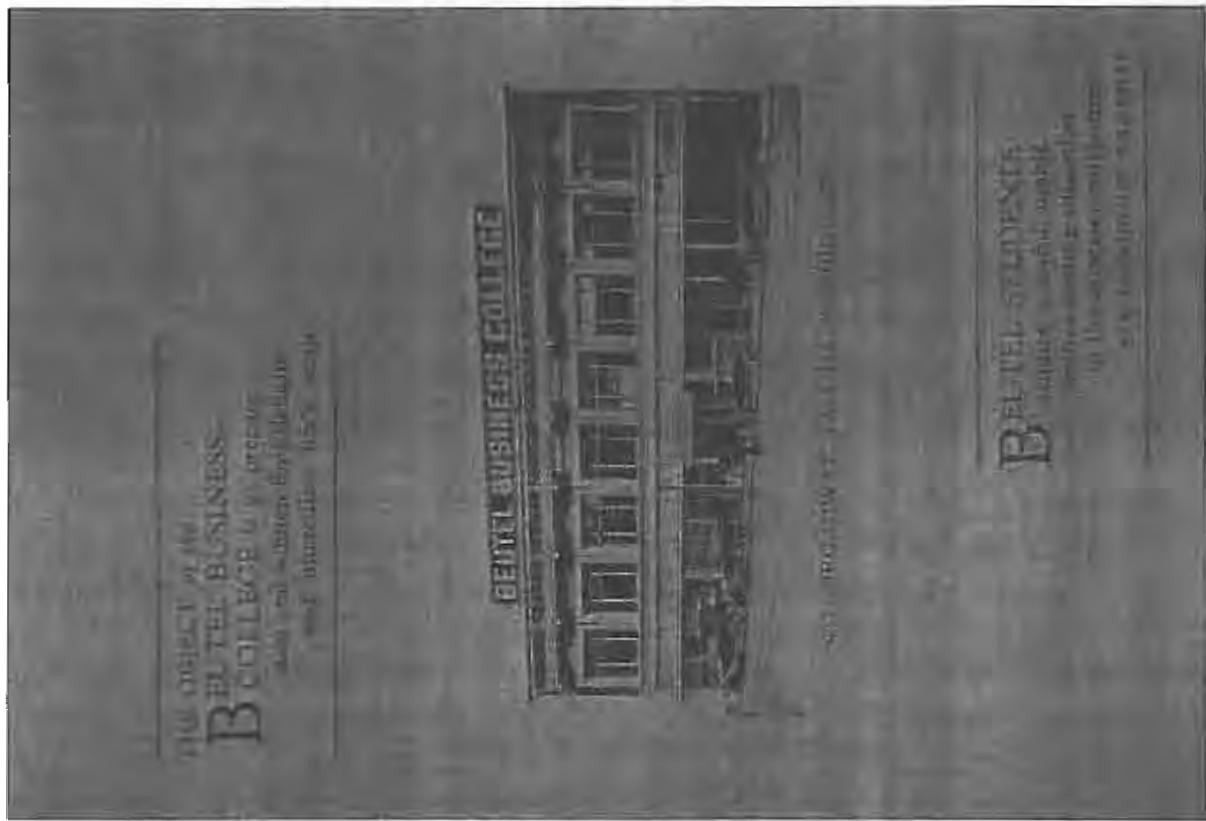
Conrad F. Beutel



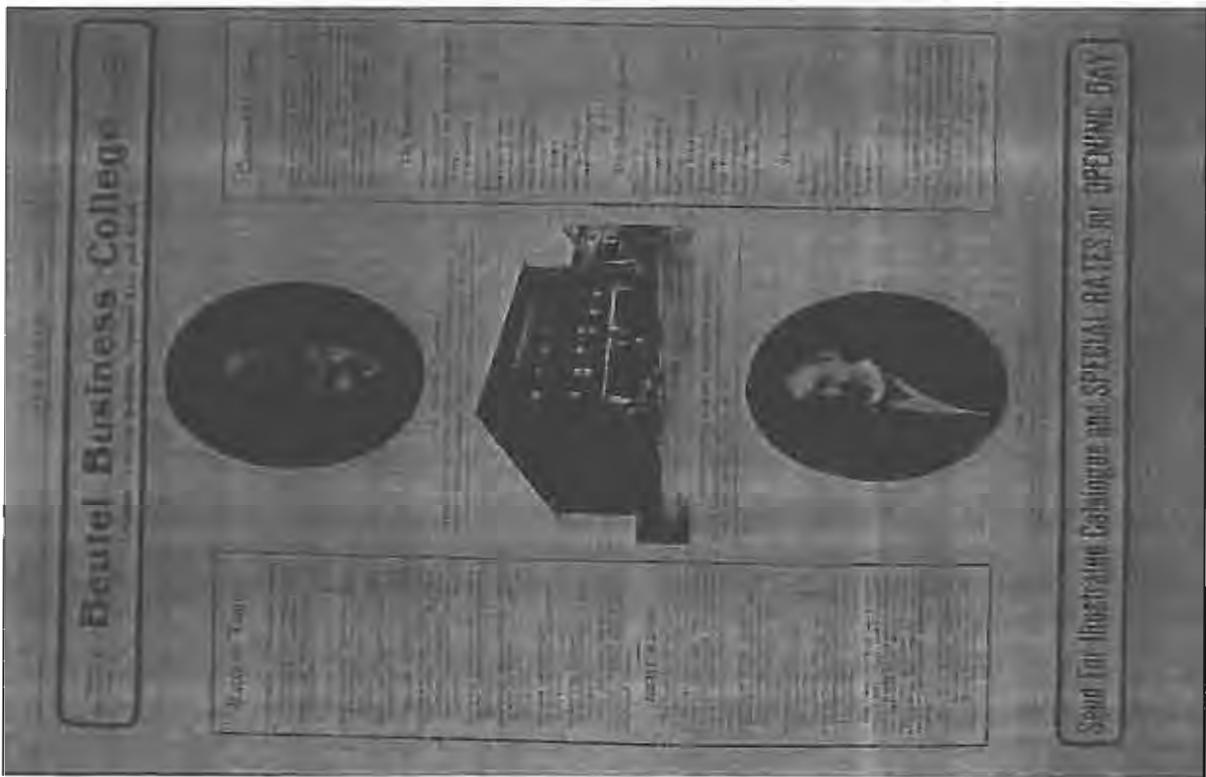
Second home of Beutel Business College (773 Broadway -  
(demolished, current site of Winthrop Hotel )



Third home of Beutel  
Business College (937 1/2  
Broadway, heavily  
remodeled)



Third home of Beutel Business College  
(937 ½ Broadway, heavily remodeled)



First home of Beutel Business College  
(901 Tacoma Ave - Lucerne Building,  
heavily remodeled)













# NATIONAL REGISTER OF HISTORIC PLACES

Washington State Advisory Council on Historic Preservation  
and

United States Department of the Interior

In recognition of its significance to our cultural heritage,

the

**Conrad & Annie Beutel House**  
in

*Tacoma, Washington*

has been entered in the National Register of Historic Places.

Date Entered:

January 23, 2008

John R. Stoddard  
Chairman  
Advisory Council on Historic Preservation



State Historic Preservation Officer

# Landmarks Preservation Commission

## Tacoma Community and Economic Development Department



747 Market Street ♦ Room 1036 ♦ Tacoma WA 98402-3793 ♦ 253.591.5220

## TACOMA REGISTER OF HISTORIC PLACES NOMINATION FORM

This form is required to nominate properties to the Tacoma Register of Historic Places per Tacoma Municipal Code 13.07.050. Type all entries and complete all applicable sections. Contact the Historic Preservation Officer with any questions at 253-591-5220.

### PART 1: PROPERTY INFORMATION (for 'HELP' press the F1 key)

#### Location

Street Address Multiple Addresses, see additional sheet Zip \_\_\_\_\_

Parcel No(s). <u>Multiple Parcel numbers, see additional sheet</u>	Legal Description and Plat or Addition: <u>Multiple descriptions, see additional sheet</u>
--	--

#### Nominated Elements

Please indicate below significant elements of the property that are included in the nomination by checking the appropriate box(es) below. These elements should be described specifically in the narrative section of this form.

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Principal Structure                 | <input type="checkbox"/> Site   |
| <input checked="" type="checkbox"/> Historic Additions (Fern Hill only) | <input type="checkbox"/> Historic Landscaping, Fencing, Walkways, etc.  |
| <input type="checkbox"/> Ancillary Buildings/Outbuildings               | <input type="checkbox"/> Interior Spaces/Other (inventory in narrative) |

#### Owner of Property

Name Tacoma School District, Planning and Construction

Address 3223 South Union Avenue City Tacoma State WA Zip 98409

Is the owner the sponsor of this nomination? Yes  No

#### Form Preparer

Name/Title Caroline Swope Company/Organization Kingstree Studios

Address 2902 North Cedar St. City Tacoma State WA Zip 98407

Phone 370-6984 Email \_\_\_\_\_

#### Nomination Checklist—Attachments

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> \$100 Filing Fee (payable to City Treasurer)   | <input type="checkbox"/> Continuation Sheets            |
| <input checked="" type="checkbox"/> Site Map (REQUIRED)  | <input type="checkbox"/> Historical Plans               |
| <input checked="" type="checkbox"/> Photographs (REQUIRED): <i>please label or caption photographs and include a photography index</i>                       | <input type="checkbox"/> Other (please indicate): _____ |
| <input checked="" type="checkbox"/> Last Deed of Title (REQUIRED): <i>this document can usually be obtained for little or no cost from a titling company</i> |   |

FOR OFFICE USE

Date Received \_\_\_\_\_

Fee Paid \_\_\_\_\_

## PART 2: PHYSICAL DESCRIPTION

### Extent of Changes

Please summarize the changes to plan, original cladding, windows, interior and other significant elements by selecting the choices below. If the property has been previously documented, these may be indicated on the Washington State Historic Property Inventory Form. These changes should be described specifically in the narrative section of this form. SEE WSHPIF FOR DETAILED INFORMATION ON EACH STRUCTURE.

	Original Materials Intact		Original Materials Intact	
Plan (i.e.: no additions to footprint , relocation of walls, or roof plan) VARIES BY SCHOOL	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Interior (woodwork, finishes, flooring, fixtures) VARIES BY SCHOOL	Yes <input type="checkbox"/> No <input type="checkbox"/>
Original cladding	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Other elements	Yes <input type="checkbox"/> No <input type="checkbox"/>
Windows (no replacement windows or replacement sashes) VARRIES BY SCHOOL	Yes <input type="checkbox"/>	No <input type="checkbox"/>		

### Physical Description Narrative

Describe in detail the present and original (if known) physical appearance, condition and architectural characteristics (use continuation sheets if necessary).

Fern Hill Elementary School (Only 1911 & 1919 portions of structure)

8442 South Park Avenue

Tacoma, WA 98444

Construction Date: 1912 & 1919

Architect: Frederick Heath

Builder: O. F. Larson, Knoell Brothers

Style: Classical Revival (simple, almost vernacular)

Tax Parcel #: 5595000040, 5595000440, 0320321031, 5595000020, 5595000030

Legal Description:

Section 32 Township 20 Range 03 Quarter 14 MAYHEWS TACOMA: MAYHEWS TACOMA L 10 THRU 12 B 1, L 1 THRU 13, L 14 TOG/W 86TH ST VAC B 2 EXC POR CYD TO CY OF TAC BY FEE # 2338520

Section 32 Township 20 Range 03 Quarter 14 MAYHEWS TACOMA: MAYHEWS TACOMA L 1 THRU 5 B 7 TOG/W VAC ALLEY

Section 32 Township 20 Range 03 Quarter 14 : BEG 663.43 FT N OF 1/4 POST IN E LI SEC TH N 20 RODS W 16 RODS S 20 RODS E 16 RODS BEG TOG/W 1/2 VAC 86TH ST ABUTT EXC POR CYD TO CY OF TAC BY FEE # 2338520

Section 32 Township 20 Range 03 Quarter 14 MAYHEWS TACOMA: MAYHEWS TACOMA L 5 & 6 & N 15 FT OF 7 B 1

Section 32 Township 20 Range 03 Quarter 14 MAYHEWS TACOMA: MAYHEWS TACOMA S 10 FT OF L 7, L 8 & 9 B 1

Central Administration Building (Only 1912 portion of structure nominated)  
(Central School)  
601 South 8<sup>th</sup> Street  
Tacoma, WA 98405

Construction Date: 1912, original structure (addition in 1967)

Architect: Frederick Heath, original structure (Robert A. Parker, addition)

Builder: F. H. Goss

Style: Collegiate Gothic

Tax Parcel #: 2007140010, 2007140020, 2007140040, 2007140050, 2007140060, 2007140070

Legal Description:

Section 05 Township 20 Range 03 Quarter 11 : NEW TACOMA & PARKERS PLAT NE OF NE 05-20-03E  
L 1 THRU 3 B 714 INC PT ALLEY VAC ALSO TOG/W ABUTT POR OF VAC "G" ST PER ORD 26271  
APPROX 12,750 SQ FT DC 8/12/99 MA

Section 05 Township 20 Range 03 Quarter 11 : NEW TACOMA & PARKERS PLAT NE OF NE 05-20-03E  
L 4 & 5 B 714 INC PT ALLEY VAC ALSO TOG/W ABUTT POR OF VAC "G" ST PER ORD 26271  
APPROX 8,500 SQ FT DC 8/12/99 MA

Section 05 Township 20 Range 03 Quarter 11 : NEW TACOMA & PARKERS PLAT NE OF NE 05-20-03E  
L 7 B 714 INC PT ALLEY VAC ALSO TOG/W ABUTT POR OF VAC "G" ST PER ORD 26271 APPROX  
4,250 SQ FT DC 8/12/99 MA

Section 05 Township 20 Range 03 Quarter 11 : NEW TACOMA & PARKERS PLAT NE OF NE 05-20-03E  
L 8 B 714 INC PT ALLEY VAC ALSO TOG/W ABUTT POR OF VAC "G" ST PER ORD 26271 APPROX  
4,250 SQ FT DC 8/12/99 MA

Section 05 Township 20 Range 03 Quarter 11 : NEW TACOMA & PARKERS PLAT NE OF NE 05-20-03E  
E 80 FT L 9 THRU 12 B 714 TOG/W ABUTT POR OF VAC "G" ST PER ORD 26271 APPROX 12,000  
SQ FT DC 8/12/99 MA

Section 05 Township 20 Range 03 Quarter 11 : NEW TACOMA & PARKERS PLAT W 40 FT L 9 THRU  
12 B 714 INC 10 FT ALLEY VAC

---

Jason Lee Middle School (Only 1924 portion of structure nominated)

602 North Sprague Avenue

Tacoma, WA 98465

Construction Date: 1924

Architect: Roland E. Borhek

Builder: O. F. Larson

Style: Collegiate Gothic

Tax Parcel #: 0320061056, 0320061045, 3525000090

Legal Description:

Section 06 Township 20 Range 03 Quarter 12 : BEG 4.47 CHS S & 40 FT W OF NE COR OF SEC TH W  
682.4 FT TH S 553.71 FT M/L TO N LI OF 6TH AVE TH E 227.5 FT TH N 96.4 FT TH E TO N BDRY  
DIV AVE TH NELY ALG SD AVE TO A PT 40 FT W OF E LI OF SEC TH N TO BEG ALSO L 1 THRU  
3, L 4 THRU 8 LESS PART FOR ST L 9 THRU 12 B 1 OF DIVISION AVE ADD SEG G 5162

Section 06 Township 20 Range 03 Quarter 12 : BEG 331.06 FT W & 220.02 FT S OF NE COR SEC TH S

75 FT W 110 FT TO E LI FERRY ST TH N 75 FT E 110 FT TO BEG

Section 06 Township 20 Range 03 Quarter 11 DONAHUES 1ST: DONAHUES 1ST L 1 THRU 11 B 2

---

Stewart Middle School (Only 1924 portions of structure)  
5010 Pacific Avenue  
Tacoma, WA 98422

Construction Date: 1924  
Architect: Roland Borhek  
Builder: unknown  
Style: Neo-Classical, Beaux Arts  
Tax Parcel #: 0320212004  
Legal Description:

Section 21 Township 20 Range 03 Quarter 21 : BEG AT INTER S LI S 50TH ST AND W LI OF PACIFIC AVE IN SW OF NE OF NW TH S 585.89 FT M/L TO N LI S 52ND ST TH W 553 FT M/L TO E LI E D ST TH N 585.89 FT M/L TO N LI S 50TH ST TH E 553 FT M/L TO BEG

---

McCarver Elementary School  
2111 South J Street  
Tacoma, WA 98405

Construction Date: 1925  
Architect: Hill & Mock  
Builder: Bachelor & Wallin  
Style: Collegiate Gothic  
Tax Parcel #: 2021180010, 2021190010, 2805000660, 6560000080, 6560000090, 7685001470, 7685007710  
Legal Description:

Section 08 Township 20 Range 03 Quarter 11 : BARLOWS ADD L 1 THRU 13 B 2118 TOGETHER WITH VAC STREET

Section 08 Township 20 Range 03 Quarter 11 : BARLOWS ADD L 11 & 12 B 2119

Section 08 Township 20 Range 03 Quarter 11 BYRDS ADD: BYRDS ADD L 1 THRU 15 & L 17 THRU 32 B 7 L 16 LESS 1463 SQ FT REPLATTED # 1968870 TOG/W VAC ALLEY SEG E 8065

Section 08 Township 20 Range 03 Quarter 11 O REILLYS ADD & REPLAT OF: O REILLYS ADD & REPLAT OF L 1 & 2 B 2

Section 08 Township 20 Range 03 Quarter 11 O REILLYS ADD & REPLAT OF: O REILLYS ADD & REPLAT OF L 3 THRU 7 B 2 TOG/W ALLEY VAC

Section 08 Township 20 Range 03 Quarter 11 SMITH & FIFE ADD: SMITH & FIFE ADD L 1 THRU 26 B 17 SUBJ TO CITY EASE TOG/W VAC ST & ALLEY

Section 08 Township 20 Range 03 Quarter 11 SMITH & FIFE ADD: SMITH & FIFE ADD L 1 THRU 3  
BLK A

---

Whitman Elementary School  
1120 South 39<sup>th</sup> Street  
Tacoma, WA 98404

Construction Date: 1951

Architect: Lea, Pearson & Richards

Builder: Standard Construction Company

Style: Modern- International Style

Tax Parcel #: 8935021700

Legal Description:

Section 17 Township 20 Range 03 Quarter 13 TAC LAND CO 6TH: TAC LAND CO 6TH L 1 THRU 11 B  
8924, L 1 THRU 11 B 8925, L 1 THRU 11 B 8926, L 1 THRU 11 B 8927 SUBJ TO EASE INC ST VAC

---

### **Fern Hill (1911)**

#### **Description:**

This two-story school faces east and is comprised of three main sections, the original 1911 and 1919 addition in the center, and additions to the north and south constructed in 2005. The building occupies the center of the site with playgrounds to the west, parking to the south, and a large playfield to the north.

The 1911/1919 building is a brick structure, rectangular in design. The truncated hipped roof is clad with a combination of asphalt shingles and composite material. A newly constructed belfry is on the roof, with a small monitor on either end. The building is clad with common bond brick. Primary window massing on the main façade has three main bays, each with five ganged windows. Windows are six-over-six, double hung. The original stone entry is marked by a small column-supported portico to the south, while an identical entry was added during the 1919 addition. Decorative stone quoins and glazed bricks forming geometric patterns between each floor provide additional visual interest.

The 2005 additions mimic the original school in massing and details. Care was taken to differentiate the original building from the additions with the colored concrete block joining the buildings. The southern addition houses the new entry to the school, which is marked by a Doric portico similar to those on the original school. The use of clapboard as a floor divider on the new construction further differentiates the addition from historic construction.

The school district spent considerable effort at the urging of the community to preserve this school during the 2005 remodel. The district accommodated the original structure as best they could, given significant site limitations. The main entrance has been relocated and the original building has been partially engulfed by new additions.

### **Central Administration (1912)**

This three-story banked school faces east and has a seven-story tower located on the southern end. The original building was constructed in 1912, while a multi-story addition located to the southwest was built in 1967. The building occupies the eastern end of two city blocks. Most of the remaining portion of the site is covered with an asphalt parking lot. Towards the center of the site is a three-story annex building, constructed in 1970.

The 1912 structure is clad with common bond brick, and is L shaped in design. The roof is flat. Windows are a combination of the original multi-light glazing and metal replacement units, all installed in the original openings. Decorative tiles, cut stone tracery, quoins, lancet arches, copper details, and crenellated parapets on the tower add significant Gothic detailing to the original structure.

The 1967 structure mimics the vertical massing of the original building through neo-formalist styling. Poured concrete ogee arches create a screen in front of the common bond brick walls. Minimal glazing makes it difficult to determine the number of floors from the exterior.

### **Jason Lee Intermediate (1924)**

This two-story school faces southeast and is comprised of two sections, the original building to the south, constructed in 1924 and a gymnasium/shop addition to the north, which is predominately part of a 2001 building modernization. The building occupies the center of the site with large grass fields on either side. Two portable classrooms are located to the northeast of the building.

The 1924 building is approximately rectangular in design, with a flat roof. The brick cladding is raked tapestry brick laid in a common bond. Windows on the primary façades appear to be replacements. They are six-over-six, single hung, with bull-noses on the upper sash. The windows dominate the main façade. Bays on the side wings are clustered with four windows per a bay, while the center section of the façade has windows grouped in twos and fours. The center of the building protrudes from the wings slightly, emphasizing the two entrances flanking either end of the core. Engaged buttresses and a slight pediment at the center help provide vertical lift to a larger horizontal building. The entrances are recessed. Paired wooden doors with Gothic lancet arches are topped by transoms with various inspirational quotes, including “Wisdom is Better than Rubies.”

The 2001 modernization project removed the back wall of the school to provide space for an addition, and to link the school to a remodeled/new gymnasium and shop area to the north. Two interior courtyards were covered during this remodel, to provide additional interior space. Although the windows may be new, they are in keeping with the original windows and the historical integrity is quite good for this structure.

In 1988 there was concern that the metal pins anchoring brick veneer to the concrete structure might not sustain an earthquake. In 2001 the structure underwent a 27 million dollar remodeling project which gutted most of the interior and removed the entire back wall of the building for an addition. The two interior courtyards were also filled in during this time. While some preservationists were critical of this method, period newspaper articles indicate that the building had gone through numerous interior modifications through the years. In 1968 a new gym and industrial arts complex were added, which necessitated the reworking of the original industrial arts rooms located in the main building. During the 1968 the auditorium underwent a remodel which dropped the ceiling and covered much of the original plasterwork with wood paneling and new trim. A major focus point of the 2001 remodel was restoring the original auditorium

design, including replacing missing plasterwork.

### **Stewart Middle School (1924)**

This two-story school faces east and is comprised of three major sections, the original building to the east, constructed in 1924, and two large additions to the west. The northwest addition was a gymnasium and art complex constructed in 1973, while the southwest addition was constructed in 1963. The building occupies northwestern portion of the site, and a large track and playfield are to the south. Parking and a grass lawn are to the east.

The 1924 building is clad in a common bond raked tapestry brick. The original portion is primarily rectangular in plan while the two extensions are attached via corridors. The roof is not visible from the street, although ariel photos show multiple roof forms. The middle third of the building is extended out a few feet from the main structure. The majority of the windows on the primary façade are six-over-nine, double hung. Windows often alternate between single units and paired units. The upper floor mirrors the bay arrangement on the first floor. A raised balustraded terrace runs the length of the center bay between the two entry doors. The main entry doors were originally on either end of the of the extended center bay. These are marked by a portico supported by two slender Corinthian columns. The entablatures have inspirational words, "Character" is to the south while "Knowledge" is to the north. Doorways on the secondary facades have inspirational words as well. The double entry doors are recessed, each door has 15 lights, with a 16 light transom above. A single arched double-hung multi-light window is located on the second floor above each door. The parapet on the central section has bias-relief classical detailing and the school's name. These Classical details are the defining features of the structure.

The 1963 addition is one-story and clad with common bond brick. It has a monitor roof. The 1973 gymnasium addition is constructed from cinderblock. It also has a flat roof.

The building has excellent integrity with few modifications other than additions. Earthquake bolts were added to anchor the brick veneers at some point, likely after the 1949 earthquake. The southern main entry door has been boarded up as well.

### **McCarver Elementary (1925)**

Constructed in 1925, this two-story school faces east and occupies the northern end of the site. A large asphalt play yard separates the building from a 1961 structure, designed to accommodate primary grades. This structure is towards the center of the site. To the far south are playfields and an athletic track.

The 1925 structure is clad with a common bond raked tapestry brick. The main façade is stepped, with the center entry pulled away slightly from the main elevation and the end sections also slightly protruding from the structure's mass. The roofline is hidden by shallow parapets located in the center and either end of the structure. Large banks of windows, divided by engaged buttresses, dominate the façade. Most window banks are separated into three large units per a bay, each unit with fifteen lights. Lower portions of the windows have awning components. The main entry is recessed under a three-part colonnade. Main decorative elements are Gothic relief tracery on the two ends and the center of the structure, a decorative frieze above the second floor windows, and small sculptural elements on the main façade.

The 1961 structure is roughly T-shaped in plan and faces west. Two rectangular buildings connected by a paired set of covered walkways forms the addition. The larger building, one-story, forms the top of the T,

while a smaller tall single-story (perhaps a gymnasium) forms the base. An interior atrium is located towards the west end of the larger building. The structure is concrete block laid in a stacked bond. Plywood panels and lap siding are also used on the exterior walls. The addition has a series of shallow gable roofs, supported by large extruding beams.

### **Whitman Elementary (1951)**

This two-story banked school faces north. There are two small additions from a 2003 remodeling, one on the northwest corner and one to the south. The building occupies the northeastern end of the site, while asphalt and grass play areas fill the rest of the site.

The poured concrete structure is irregular shaped in plan, with a flat roof. The main form of the building is that of a U, with a substantial extension located on the western end. The building is a series of low rectangles, the predominately horizontal massing of the structure broken only by a tall “fin” towards the center of the main façade. Windows are metal and glaze substantial portions of the structure. Windows are banked in long rows, typical of the ribbon window pattern seen in International Style modern buildings. Each window on the west end of the main façade is comprised of three staked horizontal panes, a combination of fixed and operable glazing. Operable sections are casement. The main entry is centered on the north façade and is slightly recessed. Two pairs of double doors provide access to the interior. The doors are surrounded on either end by large glass sidelights and a glass transom above. The building has minimal design details, typical of this style. The types of windows, extensive glazing, use of poured concrete and molded, ridged concrete often used to decorate the areas between window bays on the ground floor, are the key design features.

Changes to the exterior of the structure are minimal and it has excellent integrity. The windows were replaced in the 2003 remodel, but with units that are period appropriate. The far northwestern corner, which according to period photos was originally stepped, was filled in during prior remodels. The rear of the structure (south) has a new curved roof addition, but this is not visible from the main façade.

**Physical Description Narrative (continued)**

---

**(Page Blank)**

## PART 3: HISTORICAL OR CULTURAL SIGNIFICANCE

### Criteria for Designation

Tacoma Municipal Code recognizes six criteria of eligibility for inclusion on the Tacoma Register of Historic Places. Please select any that apply to this property, for which there is documentary evidence included in this nomination form.

- A Is associated with events that have made a significant contribution to the broad patterns of our history; or
- B Is associated with the lives of persons significant in our past; or
- C Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or
- D Has yielded or may be likely to yield, information important in prehistory or history; or
- E Is part of, adjacent to, or related to an existing or proposed historic district, square, park, or other distinctive area which should be redeveloped or preserved according to a plan based on a historic, cultural, or architectural motif; or
- F Owing to its unique location or singular physical characteristics, represents an established and familiar visual feature of the neighborhood or City.

### Historical Data (if known)

Date(s) of Construction Varied Other Date(s) of Significance \_\_\_\_\_

Architect (s) Varied Builder Varied Engineer \_\_\_\_\_

### Statement of Significance

Describe in detail the chronological history of the property and how it meets the criteria for the Register of Historic Places. Please provide a summary in the first paragraph (use continuation sheets if necessary). If using a Multiple Property Nomination that is already on record, or another historical context narrative, please reference it by name and source.

As part of a multiple property thematic nomination the six schools submitted in this nomination are considered eligible under criteria A, B, C, D, and in the case of Jason Lee and Whitman criterion E. These schools, each a unique neighborhood landmark, are associated with the development of Tacoma and the broad patterns of our history. Each structure was designed by a significant architect and represents a distinctive architectural style. Fern Hill and Central represent early examples of school architecture in the district, Jason Lee, Stewart and McCarver showcase a significant investment by the district in the 1920s when changing educational ideals and rapid population growth impacted new school construction and Whitman is an example of Post-WWII era construction techniques. While each building is significant in its own right, the massing of six historic schools into a single thematic register nomination is significant and exemplifies the Tacoma School Districts stewardship of these historic structures.

### **Early School Construction in Tacoma**

At the opening of Central Elementary School in 1912 the president of the Tacoma School Board proclaimed “The school house is the first lien of fortifications of the nation, and as the cost of education increases the cost of the penitentiary and asylum must decrease.” … and… “This building we … dedicate will add another stone to the bulwarks of free government.”

The Tacoma school system, like many urban school systems in America, was influenced by a massive influx of immigrants before World War I. While earlier immigrant groups had primarily settled along the eastern seaboard and were from western European heritage, new immigrant groups were primarily eastern or southern Europe. By 1900 half the population of the United States were either foreign-born or the children of foreign-born parents. Governmental and religious agencies struggled with the best ways to integrate ethnic groups. Many of the newly arrived immigrants were from rural areas and not familiar with urban life. Confusion on how to use urban services, the role of sanitation, and a growing concern over communicable diseases (including Tuberculosis) led many to believe that schools were the logical place to prevent potential problems. In 1913 the National Conference on Immigration and Americanization promoted three key issues of immigration assimilation: literacy, learning democratic values, and health and hygiene. Schools were viewed as the most logical tool for introducing these values.

A number of programs previously unheard of were nationally introduced during this time, and the Tacoma School District closely followed national trends. Concern with hygiene and health helped support the introduction of nurses, health care facilities, showers and home-economic departments (usually added at the middle school level). Programs were introduced to keep children occupied after school to help reduce juvenile delinquency. Playgrounds and summer school were also thought to help relieve delinquent tendencies. Schools became neighborhood social centers and a number of after-hours programs were available, including programs for adults. Cafeterias promoted an “American diet” and providing lunches on-site became increasingly common. Previously, students had walked home for lunch or brought home-packed lunches with them.

The tremendous expansion in social services impacted building designs. School structures previously had provided three main types of space: classroom, an auditorium and/or gymnasium and one or two rooms for administrative functions. Expanded services required specialized types of rooms, additional recreational activities, larger libraries, lunchrooms and their support areas and substantially increased the

need for administrative and support rooms. In 1911 Tacoma residents passed a \$690,000 bond issue that provided for the construction of Lincoln High School, Central, Fern Hill, Franklin and McKinley Elementary Schools.

### ***Development of Middle Schools***

World War I brought significant changes to Tacoma, with the establishment of Fort Lewis in 1917. Located only a few miles south of the city, the post had 37,000 soldiers stationed by the end of the year, making it the largest military post in the United States at that time. Tacoma's population also increased with the opening of the Panama Canal three years earlier, which substantially increased business and industries associated with the Port of Tacoma. As the population increased, Tacoma's school district needed to find ways to accommodate new students and changing educational philosophies.

By the early 1900s the Tacoma school system was showing the stress of rapid growth, and the district had 14,211 students in 16 aging schools. By 1920 enrollment was 18,203 students, a 22% increase in just five short years. The district examined various ways to address the growing student population and in 1920 the school board debated between three possible educational models, each having its own impact on future school construction. The first model was to continue with the current high school system, which held four grades. The second model was to adopt a 6-6 plan, with grades one through six in elementary schools, and grades seven through twelve in high schools. The final plan, and the one eventually adopted was the 6-3-3 plan, which fostered the addition of middle schools to hold seventh, eighth, and ninth grades.

In 1923 Tacoma voters authorized an intermediate school building program at a then unheard of cost of 2.4 million dollars. The goal was to transition Tacoma from the old grade school - high school program (the 8-4 plan) to a more modern grade school - intermediate school - high school program (the 6-3-3 plan). At the time of the bond Tacoma had two high schools, Stadium and Lincoln, and fourteen grade schools serving the entire city. The bond provided funds for additions to several elementary schools and the resources to build six new intermediate schools - Jason Lee, James P. Stewart, Morton M. McCarver, Captain Robert Gray, Allan C. Mason, and Franklin B. Gault. Jason Lee was the first of the intermediate buildings erected while Stewart was the second, and McCarver was the third. Gray, Mason and Gault all opened on the same day. Five of the original six schools still stand. From the start of the building campaign planning until its completion, Tacoma had an additional 1,910 students enrolled. To keep construction costs within budgets, while increasing the size of some of the schools, classrooms were clustered around auditoriums - eliminating additional interior corridors in some of the schools.

### ***Post World War II Era***

The greatest challenge facing American educational systems in the post-World War II era was a dramatically increasing student population and rapid suburban growth. At the same time, older urban school enrollments were declining. Tacoma, with the rapid growth of its port and the nearby Ft. Lewis Army base, was a part of this national trend. The exodus from downtown was fueled by public policies that stimulated road building combined with inexpensive gasoline and personal transportation. Between 1940 and 1960 America's suburban population grew by 27 million people, more than two times the increase in central cities.

The pressure of growing school enrollment was so severe that in 1955 editors at *Architectural Forum* worried that every 15 minutes enough babies were born to fill another classroom. The shortage of classrooms forced school systems to consider a number of solutions, including portables and split sessions.

Tacoma's enrollment numbers mirror the national trend with the student population increasing from 22,157 in 1950 to 29,778 in 1956, a 26% jump in enrollment. The school board began to prepare a new building campaign to address overcrowding in aged elementary schools and the new construction needed in growing suburbs. Outside forces also dictated replacement of older schools. The April 13, 1949 earthquake damaged a number of vintage school buildings. Both Lowell and Whitman schools were demolished and replaced by new structures. Cost, more so than in any previous era, became one of the single greatest factors in new school construction.

Architects and school boards rejected traditional historical revival styles from prior generations. While part of this was due to changing architectural fashion, the high cost of masonry construction and added architectural embellishments also contributed to the disdain of past styles. Quick, cheap and flexible school construction was the ideal. The National Council on School House Construction suggested one story, single loaded (classrooms on one side) corridors, which more easily accommodated additions. Outdoor corridors were popular for their ability to further reduce costs. Single-story buildings were considered safer for fire evacuation, and did not require the same floor space dedicated to circulation. These new designs worked best in suburban areas where large tracts of land could still be obtained at reasonable cost. In more tightly condensed neighborhoods poured concrete with its strength and fire-resistant properties was favored when multi-story structures were needed.

## SCHOOL BIOGRAPHIES

### Fern Hill

The first Fern Hill School was built in 1880 on a two-acre plot donated by settler G. W. Byrd. The current building is the third building on the site, which started as a four-room brick unit designed by Frederick Heath 1911. The building was designed so additional units could be added to enlarge the structure. In 1919 a sixteen-room addition was completed by the general contracting firm the Knoell Brothers. The architect for this addition is not listed in period accounts.

In 1925 a large addition was completed. The two-story section had four additional classrooms and a basement, while the one-story section held an assembly hall, teachers' rooms, a stage, dressing rooms and a kitchen. This addition was part of the 2.4 million dollar bond that added 6 middle schools and paid for additions and renovations on several elementary schools approved by Tacoma voters in 1923. A 1955 bond paid for an addition in 1957, which added another twelve classrooms and a new kitchen. The architect for this was Nelson J. Morrison, and the general contractor was Norman Strom.

The community was exceptionally proud of this school, and plans to tear down the vintage building met with intense opposition during the mid-1990s. The neighborhood packed community meetings and encouraged school officials to remodel the vintage building which anchors one of Tacoma's historic neighborhoods. The school board listened, and in 2005 the building was renovated and substantial additions were completed. The original 1888 school bell was placed in a new tower at this time. BLRB Architects was the firm responsible for the remodel, and Babbit Newman served as the general contractor.

### Central Administration (Elementary)

The original central school, built in 1883, was located at South 11<sup>th</sup> and G Streets, the site of the current Bates Vocational Institute. A rise in the city's population necessitated a new elementary school building, and the new Central Elementary School was planned in 1912. The cornerstone for the brick, sandstone and terracotta building was laid on November 22, 1912. The school, widely reported by the local press as

being “among the best of its kind in the West, if not the nation,” had a four story main building with an eight-story tower. The main section of the building housed 24 schoolrooms but was designed to accommodate a twelve room expansion at a later date. The building was the largest school in the city and reported to be one of the largest in the west. It was sited to take advantage of territorial views of Mt. Rainier, the port, and Tacoma. Designed by the firm of Heath and Gove (Heath served as the Tacoma School District Architect at this time) the building was considered modern in every possible way, and was called a “house of glass” for the remarkable amount of glazing which provided tremendous interior light. Heath, who worked in a number of revival styles, selected Gothic Revival for this structure. The press made several observations that the style was English Gothic, the same as used for the campuses of Cambridge and Oxford. No expense was spared in creating Tacoma’s own institution for enlightenment. The building had an estimated cost of \$185,000, which would be worth approximately \$71,464.677.08 in today’s dollars.

The sub-basement had a driveway that opened onto 7<sup>th</sup> Street. This provided access to a garage and a storage area for school desks and supplies in addition to a mechanic’s office and heating plant. The next floor (at times referred to as the “basement” even though it was above grade) provided space for four playrooms, one each for large and small girls and boys. This arrangement at this level, which opened directly into the u-shaped enclosed courtyard in the back, was reported as a long-desired feature by parents who were concerned about older and younger children placed together in the same play groups. This floor originally held a large domestic science department, and was equipped with a modern laundry, a model bedroom, a pantry, cold storage cupboards and a cooling closet. This area was to benefit those girls not going beyond eighth grade. The tremendous influx of immigrants in the early 20<sup>th</sup> century led to expanded domestic science departments as schools were tasked with teaching young females how to cook “American” meals, and address hygienic concerns. A woodworking workshop for boys was also on this level.

The arrangement of the top floors was less publicized, but appeared to have large departmental rooms and classrooms with roll-up partitions. When all partitions were lifted, the created area could seat 400 students for an assembly. The school library and a teachers parlor were also located on this floor. All classrooms were connected by telephone to the principal’s office, a modern marvel at the time.

Period reports vary as to the location of the district doctors, dentists, and nurses. Some newspaper articles indicate these staff members were housed in the tower, while other articles indicate that the top floor provided office space for this staff division. Also on the top floor was a special open-air room, developed for students with Tuberculosis. While not finished at the same time as the rest of the school, this room was designed to be open on all sides (period newspapers indicate that the windows may have stayed open year round, and that the room faced south) and was intended to provide fresh air for the sick children. This feature, which was common in Chicago and eastern cities, was a modern technique for working with sickly students. Outdoor study and recitation periods were broken up with breathing exercises and physical activity. The use of open-air school was first documented in Charlottenburg, Germany, in 1904. The eight-story tower contained the offices of the school board, the superintendent, secretary and space for Central’s principal. Office space for the district’s architect, Frederick Henry Heath, was also included in the upper portion of the tower. The amazing modern technologies showcased in the building, combined with the sheer size of the structure led a period newspaper to proudly proclaim: “One of the Finest Public School Buildings in America... Central Has No Superior.”

The bell from the old Central School (cast in 1883) was hung in the bell tower. The bell was cast by J.H. Lister, father of Alfred Lister (president of the school board) and Governor Ernest Lister. J. H. Lister owned the first foundry in Tacoma. David Lister, J.H.’s brother, was a member of the Tacoma Board of

Education.

During World War II the courtyard of Central was a staging place for the war-time steel drive. Row after row of steel cans were flattened into a more compact, transportable form by a steam roller, loaned by the public works department. The war-time drive was popular with the students, who delightedly picked up the cans after flattening. More than 166,110 pounds of steel was collected in Tacoma, and sent to San Francisco for recycling. The 1949 earthquake, which damaged several school buildings to the point they were razed, barely impacted Central at all. The newspaper did report that on the 8<sup>th</sup> floor of the tower, the entire curriculum library (all 12,000 volumes) flew off the shelves and onto the floor.

In 1967 a two-story addition, designed by Tacoma architect Robert A. Parker, was added off the administrative tower to provide additional space for business offices, computers, and instructional resource storage. Two floors of the tower were remodeled at this time as well. As administrative needs for the district increased, and the number of school-aged children living downtown decreased, Central School increasingly became an administrative center. By 1968 the school serviced 165 students, and primarily occupied the third floor of the building. The rest of the building was used for administrative offices. The decision to move the remaining students to the reorganized McCarver School was made, starting with the 1969-70 academic year.

### **Jason Lee Middle School**

Called West Intermediate School during the planning stages, the final name of Jason Lee was selected after deliberating between a number of names, including Woodrow Wilson. Jason Lee was a New York based Methodist-Episcopal missionary who served in Oregon Territory from 1834 until 1845. Lee primarily served as a missionary to Native Americans but was very active in creating territorial schools. He helped to create the petition for a territorial government and was founder of Willamette University. He also established the first school in Oregon and the first school in Pierce County. The Tacoma school is one of three schools named after Lee in the state.

Jason Lee perhaps more so than any other school in this study served as a city anchor by providing space for numerous non-school related functions. This seems to be due to a number of factors; the site's central location, located between the North End and Hilltop, and the size of the school's auditorium, which could seat more than 1,000 people. In 1927 the school, along with Lincoln High School, provided space for a Tacoma Religious Week Program. In 1932 more than 1,000 people filled the auditorium to listen to the National Girl Scout Association president speak. During the 1940s the school hosted Norwegian crown prince Olav and crown princess Artha and Minnesota Governor Harold E. Stassen, the youngest American governor, who was a political celebrity at that time.

Jason Lee was built on the old campus site of the College of Puget Sound. There are reports that it might be the first true middle school in Washington State, although these have not yet been substantiated. The school was designed by Roland E. Borhek, architect of Tacoma's Rialto Theatre. Borhek was originally hired to design all six of the new intermediate schools, but massive cost over-runs on construction costs created a rift between Borhek and the school district and he was dismissed in 1924. Only two of the original middle schools, Stewart and Lee were designed by him. The other four schools were designed by other architects. While different historical details are used to ornament Lee and Stewart Middle Schools, the two are clearly the most formally designed and ornate of the six schools. In 1927 Borhek received an award from the Washington State Chapter of the American Institute of Architects for his design of Jason Lee.

Jason Lee was designed to accommodate approximately 1,200 students, and was the largest of the six original intermediate schools. When it opened it held 7-9<sup>th</sup> grades, including the entire freshman class of Stadium High. This helped relieve congestion at Stadium and several elementary schools. Period reports indicate that classes were segregated by gender, which might explain why there were two gymnasiums and two study halls in the original plan. In addition to dozens of classrooms, the interior of the school had a number of vocational training rooms, which was in keeping with contemporary thoughts regarding intermediary school training. There was a model housekeeping suite, which held a girls' rest room, dining room, small kitchen and a bath. Two sewing rooms, a fitting room, lecture room, three art rooms and domestic science rooms rounded out the area used by the female students. Male students made use of the manual training shops, which included a machine shop, tool room, and carpenter shop (these were located in the north wing of the building.) A key feature of the original building was the large two-tiered auditorium, which seated 1,350.

### **Stewart Middle School**

Stewart Middle School was named for James P. Stewart, who served as Tacoma's first teacher from 1869-1870. He farmed hops in the Puyallup Valley and was the first mayor of Puyallup. He also was an organizer of the Pacific National Bank of Tacoma and elected to the territorial legislature in 1886. This is one of three schools in the state named for him.

In 1923 Tacoma voters authorized an intermediate school building program at a cost of more than \$2.4 million dollars. The goal was to transition Tacoma from the old grade school-high school program (the 8-4 plan) to a more modern grade school-intermediate-high school plan known as the 6-3-3 due to the number of grades in each division.

The program provided funds for additions to several elementary schools and build six new schools, Jason Lee, James P. Stewart, Morton M. McCarver, Captain Robert Gray, Allan C. Mason, and Franklin B. Gault. Stewart was the second of these schools to open.

A 1964 addition designed by the architectural firm of Liddle & Jones added six classrooms, an arts room, a crafts room, a multipurpose room, storage space, and a teachers' conference room. An addition in 1974 provided space for an industrial arts program.

### **McCarver Elementary (Middle School)**

Erected on the grounds of the original Logan Grade School, McCarver served as an intermediary school when it opened in 1925. The architectural firm of Hill & Mock designed the building, which was to accommodate about 900 7<sup>th</sup>, 8<sup>th</sup> and 9<sup>th</sup> grade students. In 1938, with the closure of Lincoln Elementary, McCarver offered a mixture of both elementary and middle school courses. Since 1968 it has served as an elementary school. In 1964 plans were proposed to convert the junior high into an advanced high school that ran for 14 hours a day, 11 months a year. Part of the proposal was to also change the school's name to "John F. Kennedy Memorial High School," as a tribute to the assassinated president. Students would stay enrolled at their home schools and would only attend the new high school for a portion of each day. The proposal was never implemented.

The school was named for Morton Mathew McCarver, a native of Kentucky. McCarver was an early pioneer, farmer, goldminer and politician. He was elected to the Oregon legislature in 1844 and to the California legislature in the 1860s. In 1868 he bought the Carr claim in Tacoma and the next year built the

first clapboard house in what was to become Tacoma.

The building was designed with twenty-two classrooms, and two gymnasiums. The basement level had a lunchroom, printing laboratory, a classroom, two bicycle and locker rooms, heating plant and building mechanical rooms. The main floor housed a large auditorium, two gymnasiums, locker rooms, shower rooms, three sewing rooms, carpentry shop, mechanical drawing room, library, principal's office, public office and classrooms. The top floor accommodated a music room, two commercial rooms, sheet metal shop, art room, electrical shop, conference rooms, two science laboratories, five classrooms and teacher's rest rooms. The Washington State Chapter of the American Institute of Architects awarded McCarver an honorable mention in its city-wide building survey.

During the late years of WWII and in the immediate post-war era, students had access to the school basement and gymnasium as part of an after hour recreational center program. The program was run in cooperation with the Metropolitan Park District starting in 1944. Teenage centers and athletic centers for boys were funded by the school district in the winter, and the park district funded summer playgrounds, beaches and recreational facilities at Salishan and Lincoln Heights housing projects. During March of 1946 more than 4,000 youths took part in games and dances at Fern Hill, Oakland, Mason, McCarver. Gymnasiums were open at Gray, Jason Lee, McCarver, Mason, Stewart, and Gault. More than 2,000 young men participated in these programs. A planned closing of the school's recreational center in 1946 led to a student protest, which succeeded in keeping the program open for a while longer.

In 1961 plans were made for an auxiliary unit to serve elementary students. A new nine-room building located to the south of the main building was opened in 1962. The unit designed by the architectural firm of Worthen, Wing, Seifert & Forbes housed kindergarten, first, second and third grade students in addition to additional office space and a multi-purpose room. The Northwest Division of the National Association for the Advancement of Colored People attempted to block construction of the primary unit on the grounds of the school, claiming it would lead to a segregated school. They did not succeed, but in following years the district did change resource allotment to address growing concerns over self-segregated schools. In 1968 the decision was made for McCarver to transition into an elementary school. Students from the former Central Elementary (which was then being used for an administrative building) also transferred to the site. Junior high students attending McCarver were transferred to other schools in the district. The decision to alter school district resources was made to eliminate de facto segregation. The majority of students attending McCarver Middle School were black. After closure of the middle school these students were bused to other middle schools in the district.

### **Whitman Elementary**

The original Whitman School was built in 1892 but was damaged in the 1949 earthquake and replaced with the current structure in 1952. Early school board records indicate that the building was one of the schools named for writers including Bryant, Lowell, Emerson, Hawthorne, Whittier and Irving. Thus Whitman was likely named for Walt Whitman. In 1949 school board president Fran Pratt declared the school to have been named for Narcissia and Marcus Whitman.

At the time of construction the International Styled Whitman was the largest elementary school in Tacoma, with 18 classrooms, a gymnasium, and other facilities.

### **SCHOOL STYLES**

### **Collegiate Gothic Revival (Central, Mc Carver, & Jason Lee)**

Gothic Revival is one of a number of historical revival styles that became popular in the 19<sup>th</sup> century, both abroad and in the United States. It was a common style for church and public school construction in Tacoma until the end of the 1920s. The original Gothic style developed in the late 1100s in the region surrounding Paris, France. The style, while used for a number of building types, became associated with ecclesiastical architecture, in part due to the numerous new cathedrals built during this time, and soon spread to other countries. The style, which emphasized vertical massing, masonry construction, and heavily sculpted façades, and prominent use of stained glass (in ecclesiastical forms), eventually lost favor to the newly emerging Italian Renaissance style by 1500.

Interest in Gothic forms revived during the late 18<sup>th</sup> century, and continued through the late 19<sup>th</sup> century. There are a number of reasons for the style's revival. In an era of nation building, many European countries were searching for an architectural style they could claim as their own, a native style not Roman or Italian influenced. The newly formed nation of Germany, and the much older countries of France, and England all claimed Gothic as a native architectural style. Additionally, there was a substantial aesthetic movement in Britain, started by the Pre-Raphaelites, which longed to return to the simpler and more religious lives believed to have been typical during the Gothic era. This group of artists and designers focused on the rich colors, heavily patterned forms, and abundant detail found in earlier art. Architectural critics and designers associated with the movement were uncomfortable with Neo-Classicism's pagan origins and also rejected the mechanization and standardization of contemporary society. Gothic forms were praised for their focus on nature, the guild societies which traditionally created them, and the relationship between the workers and God. In the early 19<sup>th</sup> century Gothic Revival began to transform with grander, more detailed examples, and was increasingly used for collegiate and ecclesiastical construction. This was due in part to the significance some placed on Gothic architecture as a perfect melding between religious and creative values.

American Collegiate Gothic is predominately an early 20<sup>th</sup> century style. The primary difference between general Gothic Revival and Collegiate Gothic Revival is one of massing. Collegiate Gothic buildings are typically rectangular in plan, and frequently have flat rooflines. The multiple spired towers, heavily sculpted facades, and irregular massing more common with religious versions of the Gothic style are missing. Architects and clients specifically selected the Collegiate Gothic for its direct connotations with the two most renowned academic institutions in the world, Oxford and Cambridge. The style was commonly used by school districts during this time, and a pictorial review of larger public schools built during the 1910s shows that Collegiate Gothic is one of the most common styles, with Beaux Arts/Neo-Classical Revival a distant second followed by a few Mission Revival examples, mostly centered in California. Occasionally one finds Gothic Revival details mixed with Classical or Tudor Revival detailing.

### **Modern (Whitman)**

Many modern styles were heavily influenced by new building technologies and the rising cost of materials, which necessitated a change in traditional building patterns. The use of poured concrete, concrete block, expansive window walls, engineered wood products (including plywood) and new plastics were common components of this style.

Many architects in Tacoma focused on the International Style, which tried to break with the past by rejecting all historical ornament, and often historical forms as well. The International Style was named

after an exhibit at the Museum of Modern Art in 1931. This exhibit showcased works by well-known European architects Le Corbusier, Mies van der Rohe, and Walter Gropius. The style was praised for its ability to move beyond slavishly copying previous architectural forms, and instead “emulating the great styles of the past in their essence without imitating their surface.” The design details that increasingly surfaced with this style were flat roofs and glass or brick walls without ornament. Another modern substyle is Neo-Expressionist, which can be identified by massive sculptural shapes, lack of symmetry and a direct connection with the immediate landscape. In many cases examples of this style failed to move beyond planning and model stages, and could be more fanciful than pragmatic.

### **Neo-Classical Revival (Stewart & Fern Hill)**

Neo-Classical style, in the form of Greek Revival was one of the first national styles in the United States, and was common on the east coast from 1818 until right before the Civil War. Neo-Classical revivals focused on Greco-Roman design elements. The grander forms of the style, when applied to monumental buildings, are often referred to as Beaux-Arts. This academic style was originally taught at the École des Beaux-Arts in Paris and influenced American architecture from 1880-1920. A flat roof, raised first story, grand entrances, classical details, and symmetry are some of the most typical design elements for the Beaux-Arts substyle.

## **ARCHTECT BIOGRAPHIES**

### **Frederick Heath (Heath & Gove, Heath, Gove, & Bell) Architect for Fern Hill & Central Schools**

Frederick Heath served as the official school architect for Tacoma from 1902 through 1920. Heath formed a number of partnerships: Spaulding, Russell & Heath, Russell & Heath, Heath & Twitchell, Heath & Gove, Heath, Gove & Bell. Through these various firms, Heath was responsible for a number of significant buildings in Tacoma and, completed more than 600 projects. Design work was far reaching and varied from private residences, commercial buildings, and fraternal lodges, to churches, hospitals and school buildings.

Frederick Henry Heath, principal of the firm, was born April 15, 1861, in LaCrosse, Wisconsin. As a child his family moved to Caledonia, Minnesota. After high school Heath moved to Minneapolis and worked for a newspaper. Unhappy with his choice of professions, Heath decided to work in the construction industry instead. He eventually secured a position with Warren H. Hayes, a local architect. Heath spent twelve years in Hayes' employment, ten of which he served as chief draftsman. Heath moved to Tacoma in the late 1800s, searching for a climate more suitable for his wife's health. By 1896 he opened his own architectural office and in 1901 he became principal in the firm of Spaulding, Russell & Heath. After the departure of Spaulding in 1901, the firm became Russell & Heath, but by 1903 Heath had decided to work on his own again. During this time Heath was appointed as architect for the Tacoma School District. While Heath worked individually for most of his later career, he did form the short-lived firm of Heath & Twichell from 1908 to 1910. Luther Twichell was a former colleague who had worked with Heath under Warren Hayes in Minneapolis.

Heath spent considerable time developing what he called the “Unit School” which he felt helped resourcefully address growing school populations and the need for constant building additions. The basic plan was to use a two-story design with a daylight basement and classrooms flanking a central corridor. The school was a four-classroom module, with two units per a floor. Adding a second module created an eight-classroom design, and so on with additional expansions. Fern Hill Elementary was designed using

this plan, and additions followed this model as well. The Unit School seems to be indicative of a broader national approach that shows up in school literature at this time. Heath may have been better read on this subject than is contemporaries, or may have reached the same basic design independently.

Heath received a patent for a hollow wall tile in 1917. Period newspapers reported the tiles as costing less than brick, equal in strength, and weighing 42% less. The federal government purchased Heath's tile for all the buildings at the Rockwell Aviation Field and Navy Buildings in San Diego. Heath continued to work until the time of his death in 1953. He was 91 years old.

George Gove arrived in Tacoma in 1908. Period newspaper accounts indicate that he had studied in Europe briefly, but additional information on his early career has been elusive. Although he collaborated with Heath for many years, Gove was also a respected architect in his own right. He was responsible for a number of buildings at the Western State Hospital in Steilacoom and two academic buildings at the University of Washington, Seattle, Communications Hall and Thomson Hall. Gove had a strong interest in professional development and served on the Washington Board of Examiners for Architects and was a founder of the Tacoma Society of Architects. Gove also aided architectural students and sponsored several sketching and design competitions. The American Institute of Architects honored him with a national citation for his work in 1949. He died less than a decade later, in 1956.

The final partner of the Heath, Gove & Bell firm was Herbert Bell, a Tacoma native. Bell studied architecture at the National Academy of Design in New York and started working with Heath & Gove upon his return to Tacoma. He was promoted to partner in 1914.

Notable works: McKinley Elementary (1908), Barlow Annex (1910), Oakland High School (1912), Lincoln High (1913); the Swiss (1913); Trinity Methodist Church (1915); First Methodist Church (1916, demolished); Paradise Inn (1917) at Mt. Rainier; Central School (1912), Bethany Presbyterian (1924); Toby Jones Home (1924); First Baptist Church (1925); and 6th Avenue Baptist Church (1925).

Frederick Heath was responsible for a number of buildings either independent of the firm or with his earlier partner, George Gove, including St. Patrick's Catholic Church, First Church of Christ Scientist, Central School, Washington Elementary and the Rhodes Department Store.

### **Hill & Mock Architects for McCarver**

Irwin H. Hill was a University of Illinois graduate, originally associated with Tacoma architect George W. Bullard. Ernest Thornton Mock also worked for George W. Bullard, starting as a draftsman. Mock, a Tacoma native, attended Bryant and Emerson schools, and graduated from the Tacoma High School when it was located on the current Central Administration site. Mock's father, Charles Wesley Mock, arrived in Tacoma in 1881 and served as clerk for the school district.

Hill and Mock formed an architectural firm, which lasted from 1918 until 1923. Shortly after Hill's death in 1928 the firm became Mock and Morrison, and in later years was reorganized as just Morrison Architects. The firm designed several dozen buildings, but specialized in school construction.

Nelson John Morrison, a Tacoma native and graduate of Stadium High School, attended the University of California and the University of Pennsylvania, where he received his Bachelors in architecture. He was the first president elected (1954) of the South Western Washington Chapter of the American Institute of Architects. He served as mayor of Fircrest from 1945-52.

Notable works include: Fife High School (1919), Lakeview School (1921, demolished), Central School Puyallup (1923, demolished), Meeker School Puyallup (1923), Mary Lyon Elementary School (1924), Madison Elementary School (1924), McCarver Middle School (1925), Gault Middle School (1926), Puyallup High School (1927), Clover Park Middle School (1928).

**Roland E. Borhek**  
**Architect for Jason Lee and Stewart Schools**

Born in Bethlehem, Pennsylvania, Borhek studied at Lehigh University in Bethlehem before moving to Boston to work for the firm of A. Warren Gould. Borhek served as chief draftsman and followed Gould to Seattle in 1905. While in Seattle, Borhek assisted in the design of the American Savings Bank and the Empire buildings. These buildings were the second and third reinforced concrete structures in the United States. By 1908 Borhek took a position with the Tacoma firm of Heath & Twitchell and by 1910 had opened his own firm. He served as president of the Tacoma Society of Architects for a decade and was vice-president of the Washington State chapter of the American Institute of Architects in 1926. Borhek's designs for Jason Lee and Stewart cost significantly more than his estimates, and period sources indicate that the tension over increased fees eventually led to his dismissal by the district. Other architects furnished plans for the remaining four middle schools. Jason Lee and Stewart are indeed the most ornately decorated of the six schools.

Notable works: the Puget Sound Bank Building (1912), Rialto Theatre (1918), and the Tacoma Motors Company (1919), Stewart Middle School (1924), and Jason Lee Middle School (1924, the first middle school in Washington State).

**Lea, Pearson & Richards**  
**Architects for Whitman School**

Charles Winthrop Lea, Jr. was born in Tacoma in 1903, but grew up in Seattle. He received his education at the University of Washington, University of Pennsylvania, and New York University. He worked as a draftsman in various architecture firms in Philadelphia and for the New York firm of Delano & Aldrich before returning to Tacoma in the early 1930s. Lea was known for his residential projects and was praised by his peers for his special talent with Colonial details. In 1937 Lea formed a partnership with Pearson and Richards that lasted until 1984. The firm specialized in the design of banks, churches and high-end residences.

Charles T. Pearson was a native of Chicago who moved to Tacoma as a child in 1919. He attended Stadium High and earned a degree in architecture from the University of Washington in 1931. Pearson worked for Heath, Gove and Bell in the early portion of his career. Pearson was made an AIA fellow in 1973, and retired from architecture in 1984.

John Greenway Richards was the founder of one of oldest architectural firms in state. From Waltham, Massachusetts originally, Richards moved to Tacoma as a child in 1920. He graduated from Stadium High School and then attended the University of Washington, earning his architectural license in 1932. Like Pearson and Richards he became an associate of Heath, Gove & Bell.

Notable works by the firm include: National Bank of Washington, Chehalis (1949), the National Bank of

Washington, Parkland (1950), Tacoma Savings & Loan Association (1956), Central Lutheran Church (1957), Trinity Lutheran Church at Parkland (1958), the Swasey Branch of the Tacoma Public Library (1960), Kilworth Chapel at the University of Puget Sound (1966), the Bank of Washington Plaza, in cooperation with Skidmore Owings Merrill (1970), United Mutual Savings Bank (1973).

### **BIBLIOGRAPHY:**

Swope, Caroline T. "Reconnaissance & Intensive Level Historic Survey for the Tacoma Public School District, 2009." Unpublished report for the Tacoma School District, Planning & Construction. Copy archived with district and with the Washington State Historic Preservation Office.

**Statement of Significance (continued)**

---

## **Fern Hill Elementary School**



**New addition and entrance to south**



**Original structure**

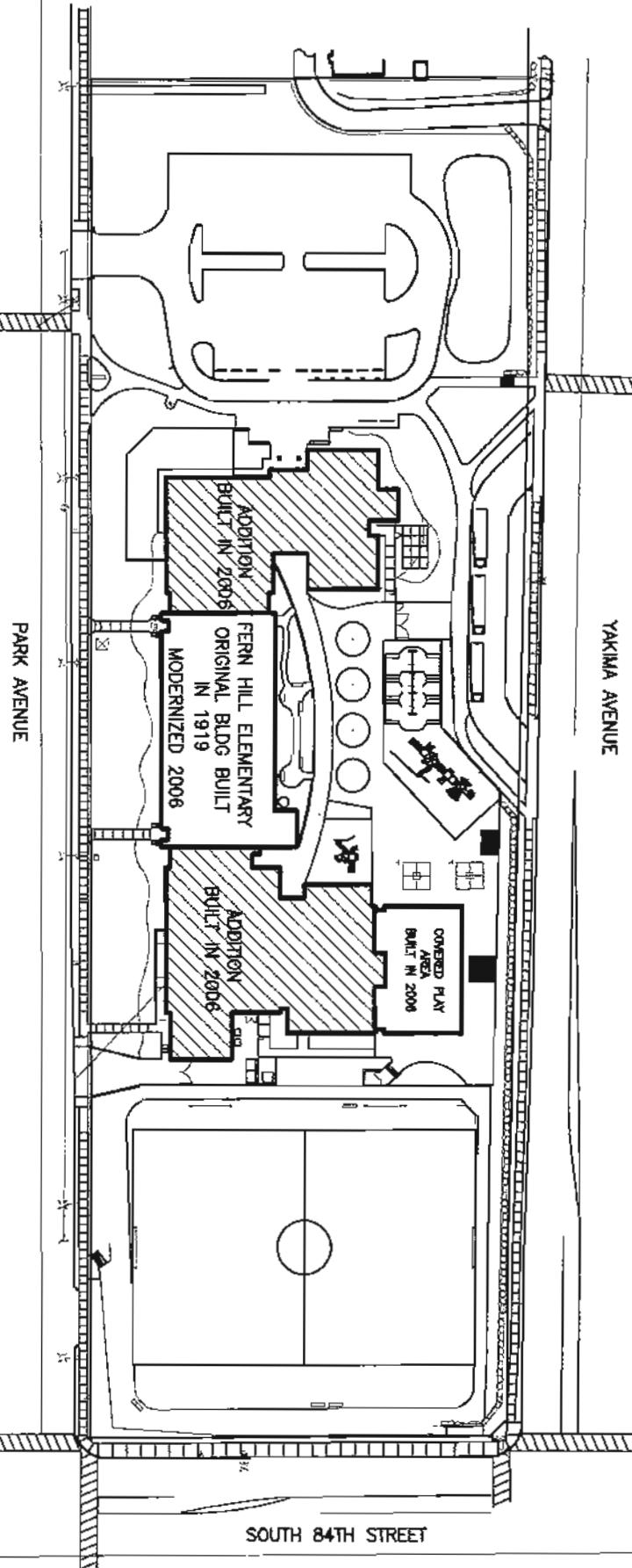


**Interior corridor**



**Demarcation between new and historic structures**

YAKIMA AVENUE



# SITE PLAN

SCALE: 1"=100'



FERN HILL ELEMENTARY  
8442 SOUTH PARK

TACOMA, WA 98444

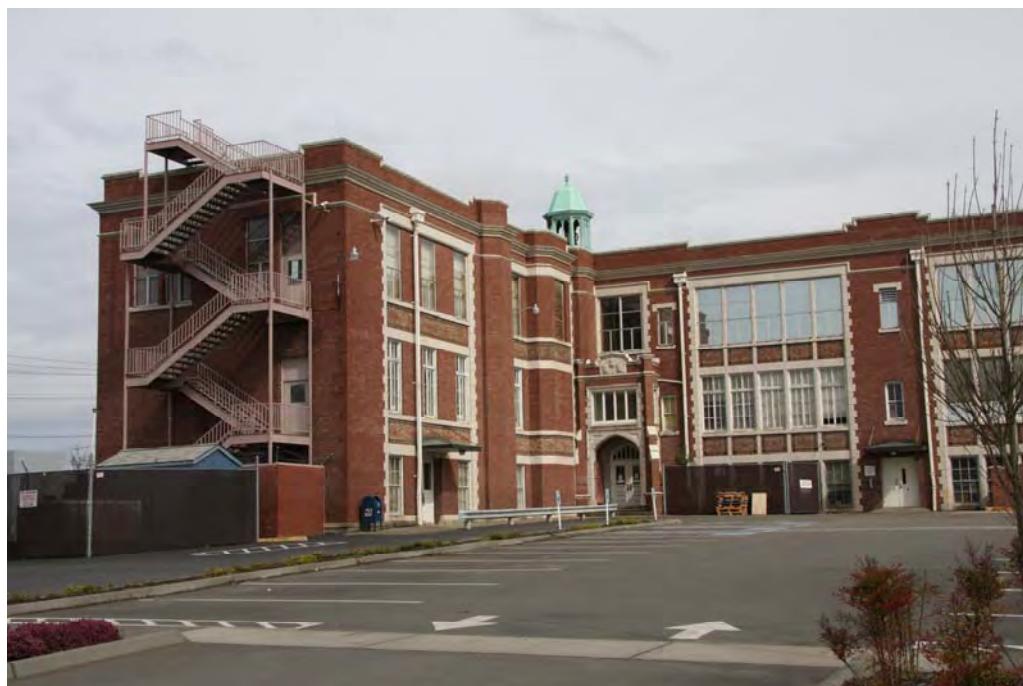
SITE PLAN

Planning & Construction  
Tacoma Public Schools  
3223 South Union Avenue, Tacoma WA 98409

## **Central Administration Building (Central Elementary)**



**Main façade**



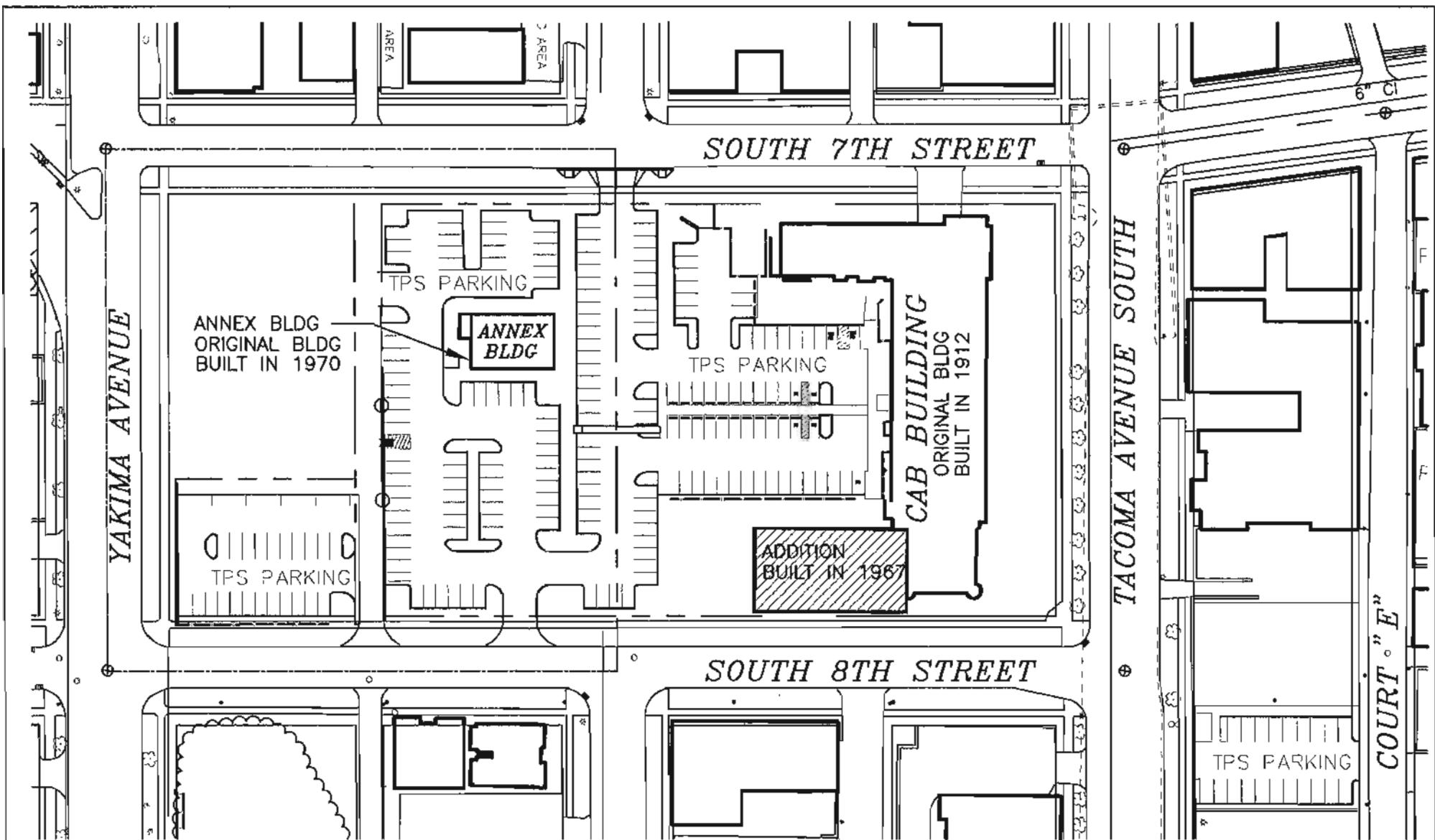
**Rear façade**



**Main corridor**



**Main stairwell**



**SITE PLAN**  
SCALE: 1"=100'



CENTRAL ADMINISTRATION BLDG  
601 SOUTH 8TH STREET  
TACOMA, WA 98405  
SITE PLAN

Planning & Construction  
Tacoma Public Schools  
3223 South Union Avenue, Tacoma WA 98409

## **Jason Lee Middle School**



**Main façade**



**Façade detail**

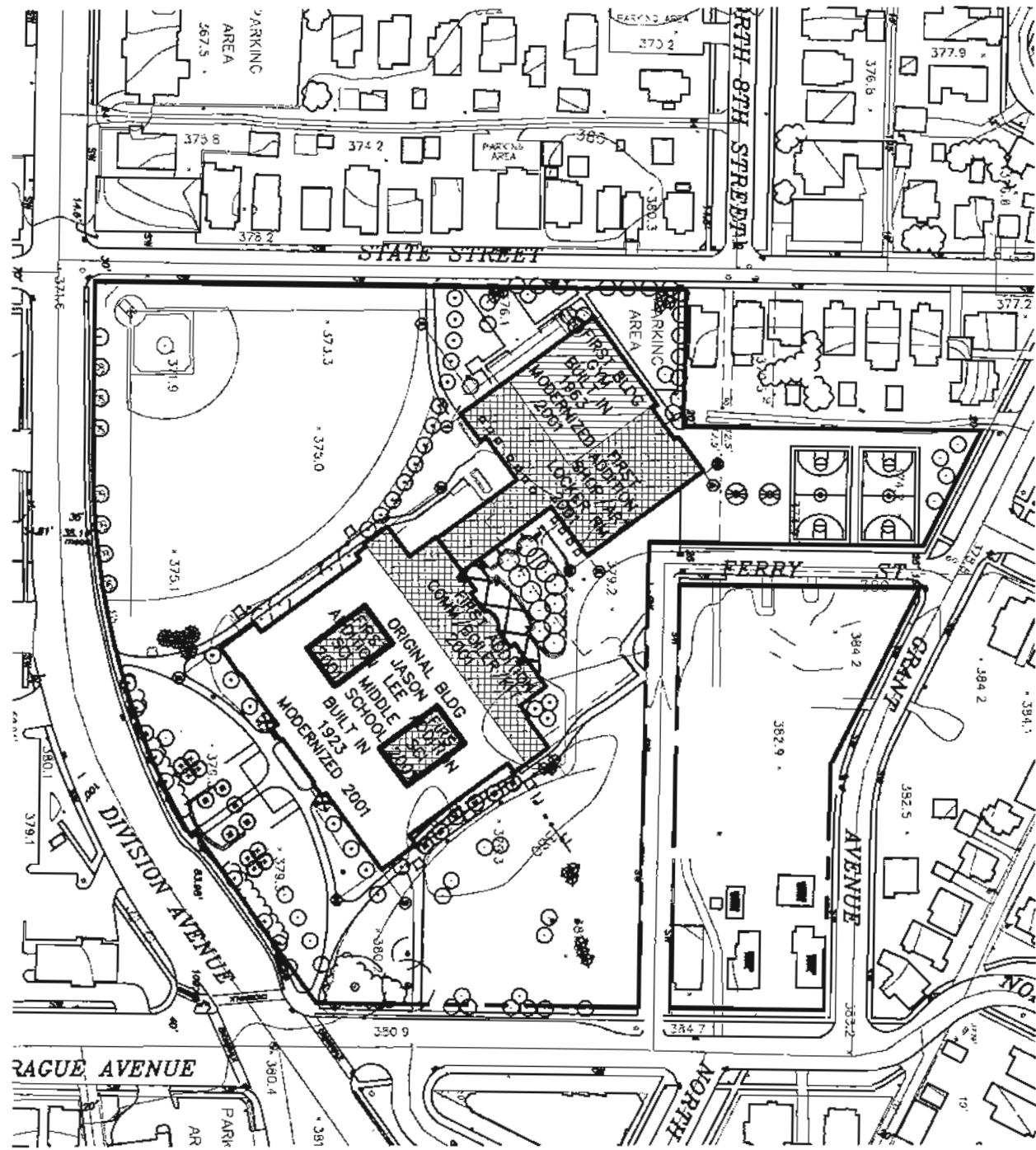
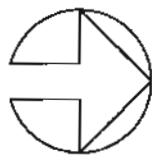


**Interior corridor**



**Auditorium**

# SITE PLAN



JASON LEE MIDDLE SCHOOL  
602 N. SPRAGUE AVE  
TACOMA, WA 98405  
SITE PLAN

Planning & Construction  
Tacoma Public Schools  
3223 South Union Avenue, Tacoma WA 98409

SCALE: 1"=150'

## **Stewart Middle School**



**Main façade**



**Main façade detail**



Main façade detail



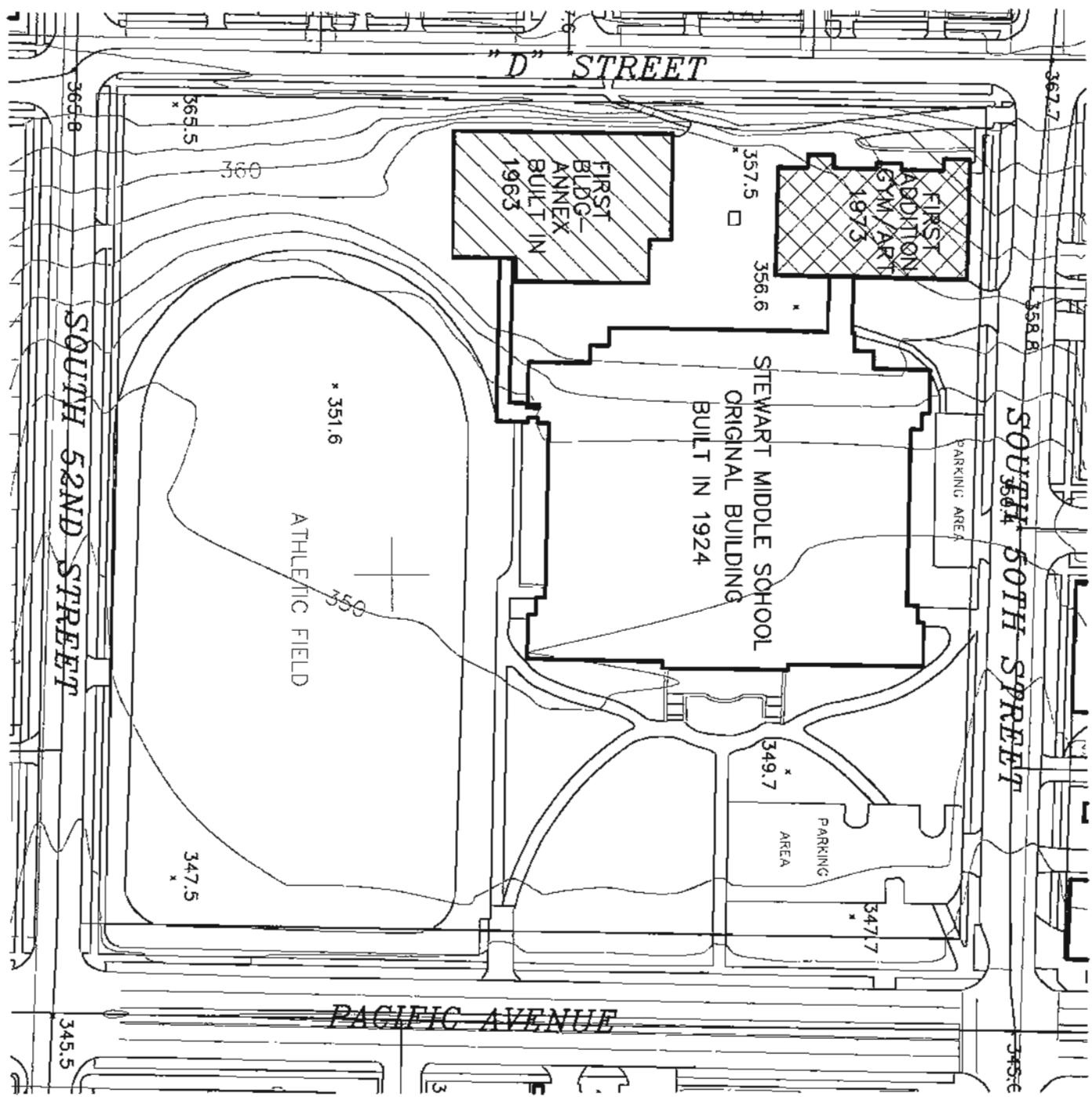
Main entry



**Auditorium**



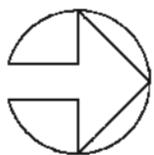
**Gymnasium door dividers**



# SITE PLAN

SCALE: 1" = 100'

STEWART MIDDLE SCHOOL  
5010 PACIFIC AVENUE  
TACOMA, WA 98422  
SITE PLAN



Planning & Construction

Tacoma Public Schools

3223 South Union Avenue, Tacoma WA 98409

## **McCarver Elementary School (McCarver Middle School)**



**Main façade**



**Façade detail**



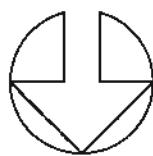
**Main corridor**



**Corridor detail**

# SITE PLAN

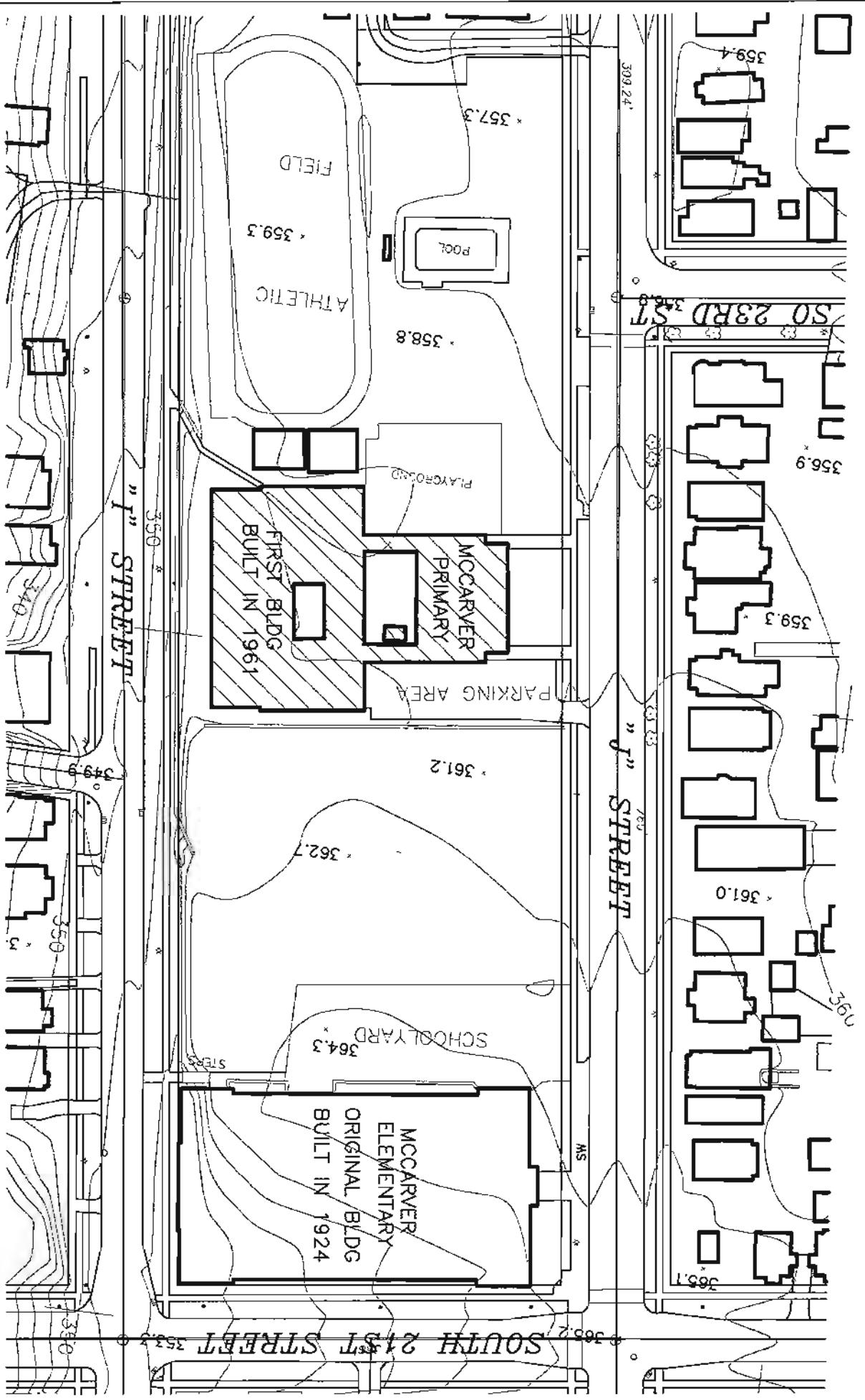
SCALE: 1"=100'



MCCARVER SITE PLAN  
2111 SOUTH J STREET  
TACOMA, WA 98405  
SITE PLAN

Planning & Construction

Tacoma Public Schools  
3223 South Union Avenue, Tacoma WA 98409



## **Whitman Elementary School**



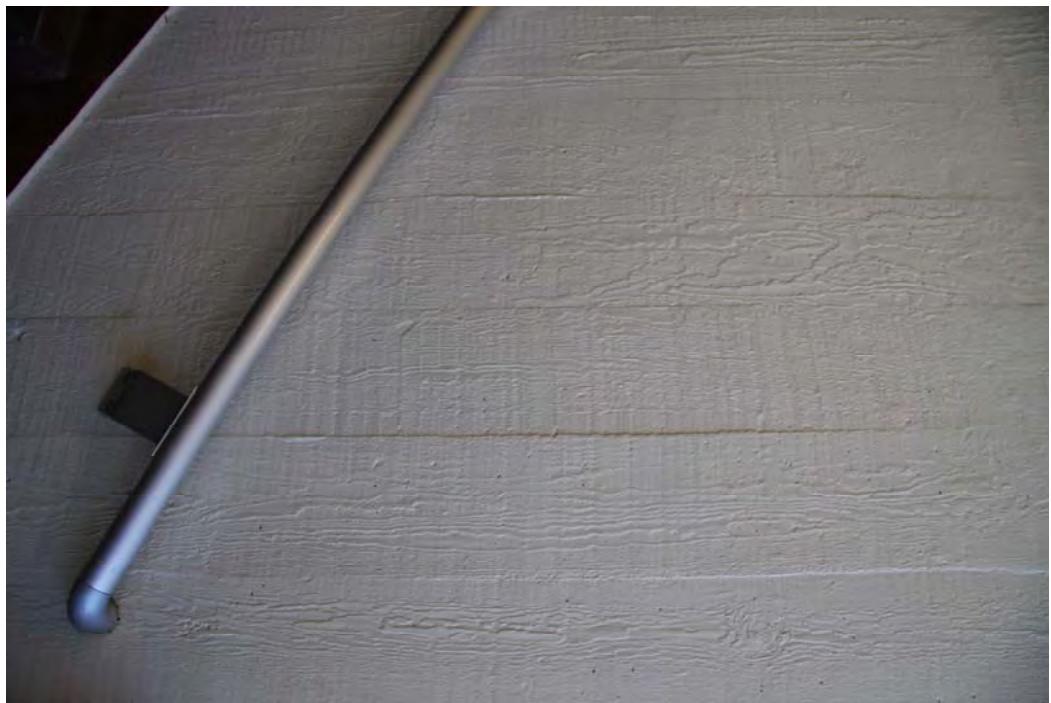
**Main façade**



**Secondary façade**



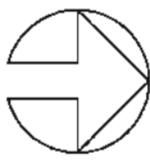
**Gymnasium/auditorium**



**Detail of poured concrete**

# SITE PLAN

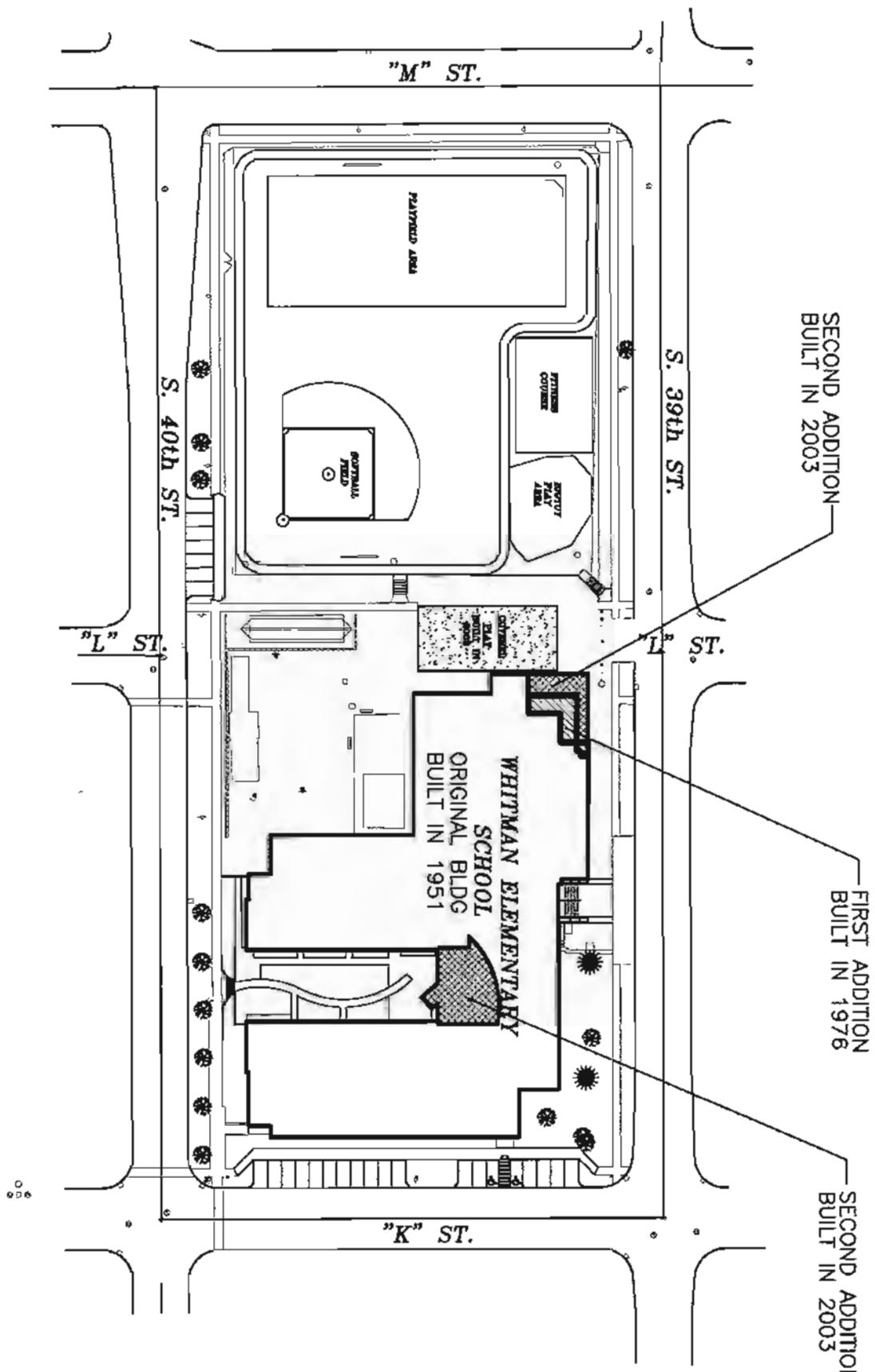
SCALE: 1"=100'



WHITMAN ELEMENTARY SCHOOL  
1120 S. 39TH ST  
TACOMA, WA 98408  
SITE PLAN

Planning & Construction

Tacoma Public Schools  
3223 South Union Avenue, Tacoma WA 98409



FIRST ADDITION  
BUILT IN 1976

SECOND ADDITION  
BUILT IN 2003

SECOND ADDITION  
BUILT IN 2003

WHITMAN ELEMENTARY  
SCHOOL  
ORIGINAL BLDG  
BUILT IN 1951

# Landmarks Preservation Commission

Tacoma Economic Development Department  
Culture and Tourism Division



747 Market Street ♦ Room 103B ♦ Tacoma WA 98402-3793 ♦ 253.591.5220

## APPLICATION FOR DESIGN REVIEW FOR SINGLE FAMILY RESIDENTIAL PROPERTIES

Please include ALL of the following information with your application. Insufficient application materials will result in a delay in processing of your application. If you have any question regarding application requirements, or regulations and standards for historic homes and neighborhoods, please call the Historic Preservation Officer at 253.591.5220.

### PART 1: APPLICANT INFORMATION

House Address 805 N. Ainsworth Landmark/Conservation District (if applicable) \_\_\_\_\_

#### OWNER INFORMATION

Name (printed) Ron and Sandra Johnson Email \_\_\_\_\_  
Address (if different than above) \_\_\_\_\_ Phone 253-627-8423  
Homeowner's Signature\* Sandra Johnson

\*Application must be signed by the property owner to be processed.

#### CONTRACTOR INFORMATION

If application will be presented by a representative or contractor, please fill in the following:

Representative's Name Duke York Company York Enterprises  
Address P.O. Box 7270, Tacoma 98417 / 3517 S. 13, Tacoma 98405  
Email duke@yorkenterprises.com Phone 253-752-3189

#### FOR OFFICE USE ONLY

PRELIMINARY PLAN CHECK DATE: \_\_\_\_\_

INITIALS \_\_\_\_\_  
CHECKED FOR BUILDING CODE\*: \_\_\_\_\_

LAND USE/ZONING (IF APPLICABLE)\*: \_\_\_\_\_

\*PRELIMINARY PLAN CHECK IS NOT AN APPROVAL OF A PROJECT. A SEPARATE PERMIT APPLICATION MAY BE REQUIRED.

#### APPLICATION FEE (please see page 2)

Estimated Project Cost,  
rounded to nearest \$1000 \$77,000.00

Application Fee Enclosed

\$500.00

### PART 3: PROJECT DESCRIPTION

Please describe below the overall scope of work, including all proposed new construction, changes to existing buildings, and any elements to be removed and replaced. (For complex remodeling projects, it may be beneficial to divide the description into different areas [north façade, west façade] or by type of work [windows, doors, siding]).

Attach additional pages if needed.

*See attached*

**805 N. Ainsworth; Tacoma, Washington**  
**Scope of Exterior Work**

**Remove the breakfast nook on the back of the above residence and construct a new nook with the addition of unfinished basement storage space underneath. Please refer to the attached plans.**

The power mast and meter will be relocated to the west side of the residence. The existing breakfast nook, back deck and stairs will be removed and disposed of. The windows, door, and skylight, will be saved for re-installation. The foundation and sidewalk at the perimeter of the nook will be removed. An area approximately 3'x9' will be excavated to create additional basement space. A new foundation will be formed and poured. The new nook walls will be framed. The exterior door will be set at a 45 degree angle at the northeast corner of the new construction. The original door will be reinstalled. Two (2) new Marvin windows, matching size and style to the newer TV room windows, will be installed on the north wall of the nook area. The original window will be installed on the east side of the new nook area. The back patio concrete will be removed. The area will be graded to slope away from the house. A new gutter drain field will be installed under the new patio and around the west side of the home. All window and door openings will be finished / trimmed on the exterior as they were in the old nook.

**Additional Exterior Work:** Three (3) new Marvin insert windows matching size and style to the newer TV room windows; will be installed in the dining room area. Two (2) Marvin insert windows matching size and style to the newer TV room windows; will be installed in the northeast bedroom area. All window openings will be finished / trimmed on the exterior as they are in the existing home.

## RESIDENTIAL APPLICATION CHECKLIST A

(For Garages, Porches, Decks, Additions, Foundations and other Major Projects)

CHECKLIST to include the following:

- Accurate Measured Site Plan (which shows ridgelines and dormers of existing and new buildings)
- Accurate Measured Elevation Drawings (all sides, with dimensions, siding materials, windows, and doors indicated)
- Photograph(s) of Site and surrounding area
- Detail illustrations of trim, casing, balusters, posts and railings (if applicable)
- Material samples (ie. stained glass, or if proposing uncommon material)
- Paint samples (from hardware store) *Paint to match existing*

In addition to the above, please provide the following information:

Size of new construction (footprint, i.e. 22' X 30'):

*13'8" x 11'*

amendment: NO HARDI  
PLANK, PROPOSED SIDING  
IS CEDAR

Overall height and pitch of roof (for new buildings):

*height 15'8", pitch 6/12*

Exterior cladding material(s):

*Hard Plank Siding to match existing*

Window types and materials:

*Marvin, double hung, insert windows to match existing*

Door types and materials:

*Reusing existing door.*

Window trim (attach drawings, catalog sheets, etc. if necessary):

*To match existing.*

Roof Material:

*Composition to match existing.*

### \*ADDITIONAL TIPS

- Drawings required for building permits can often be used for Landmarks Review, as long as information regarding finish detail, exterior materials, and windows and doors are indicated.
- For information about drawing site plans, please refer to BLUS Publication B1, Site Plan.
- Elevations should be scale drawings and should include dimensions, heights, window and door locations; eave overhangs, trim details, and the locations of materials and other elements.
- Please include a photograph of existing house (for new garages if the new garage is to match any existing features of the house).
- For structures within the North Slope Historic District, refer to the North Slope Design Guidelines for more information about design. Contact the Historic Preservation Officer for more information.











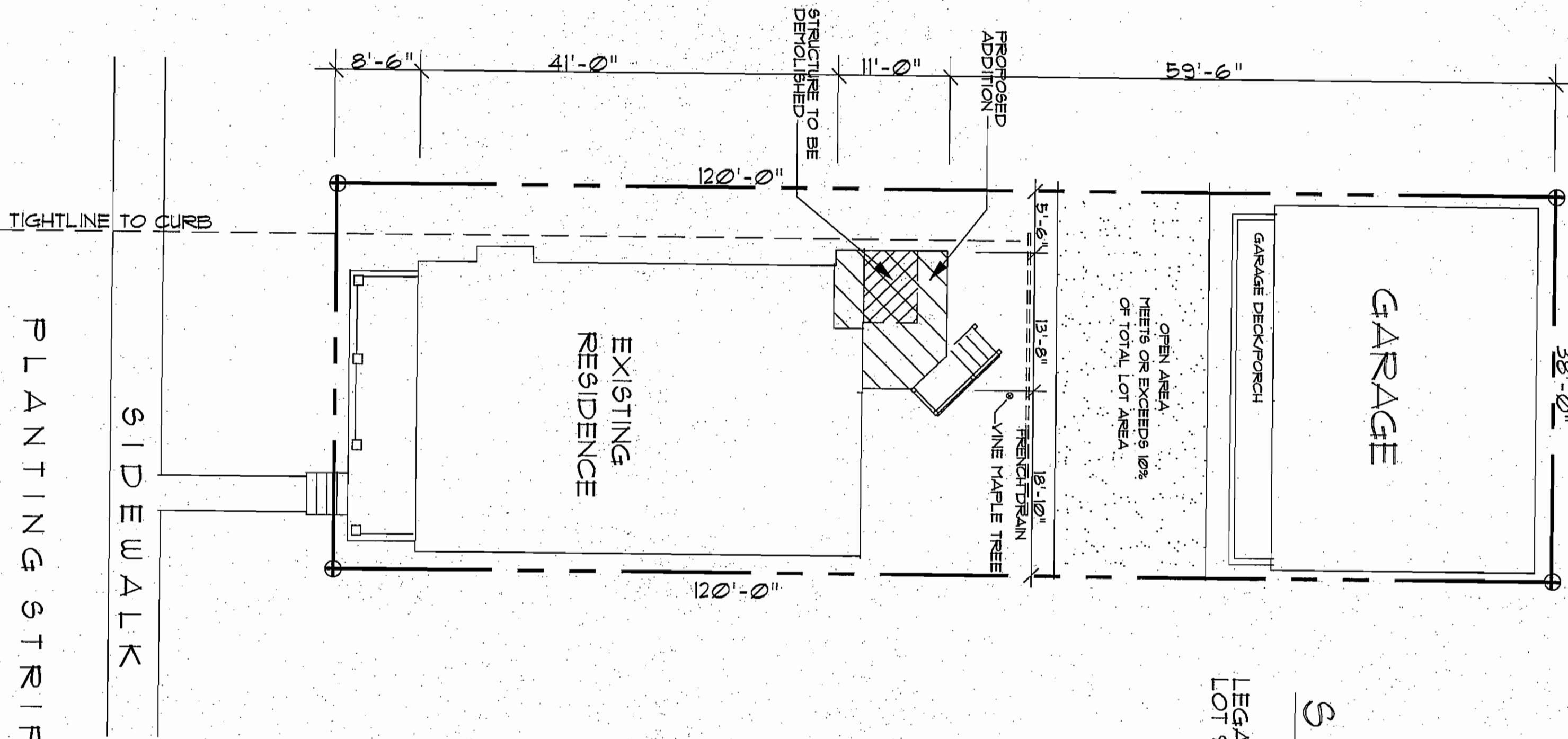
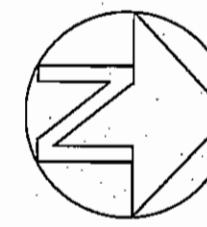
ALLEY

GARAGE

SITE PLAN

SCALE 1" = 10'-0"

PARCEL # 2038310010  
LEGAL DESCRIPT: NEW TACOMA E 1/2 OF  
LOT 9, LOT 10 B 3831 NCL 10 FT. ALLEY VAC



DRAWN BY:  
J PARKER

PROJECT NO.:  
30040

DATE:  
AUG. 16, 2010

PROJECT TITLE:  
RESIDENTIAL ADDITION

RONN & SANDRA JOHANSON  
805 NO. AINSWORTH AVE  
TACOMA, WASHINGTON 98403

DRAWING TITLE:  
SITE PLAN

SCALE:  
1" = 10'-0"

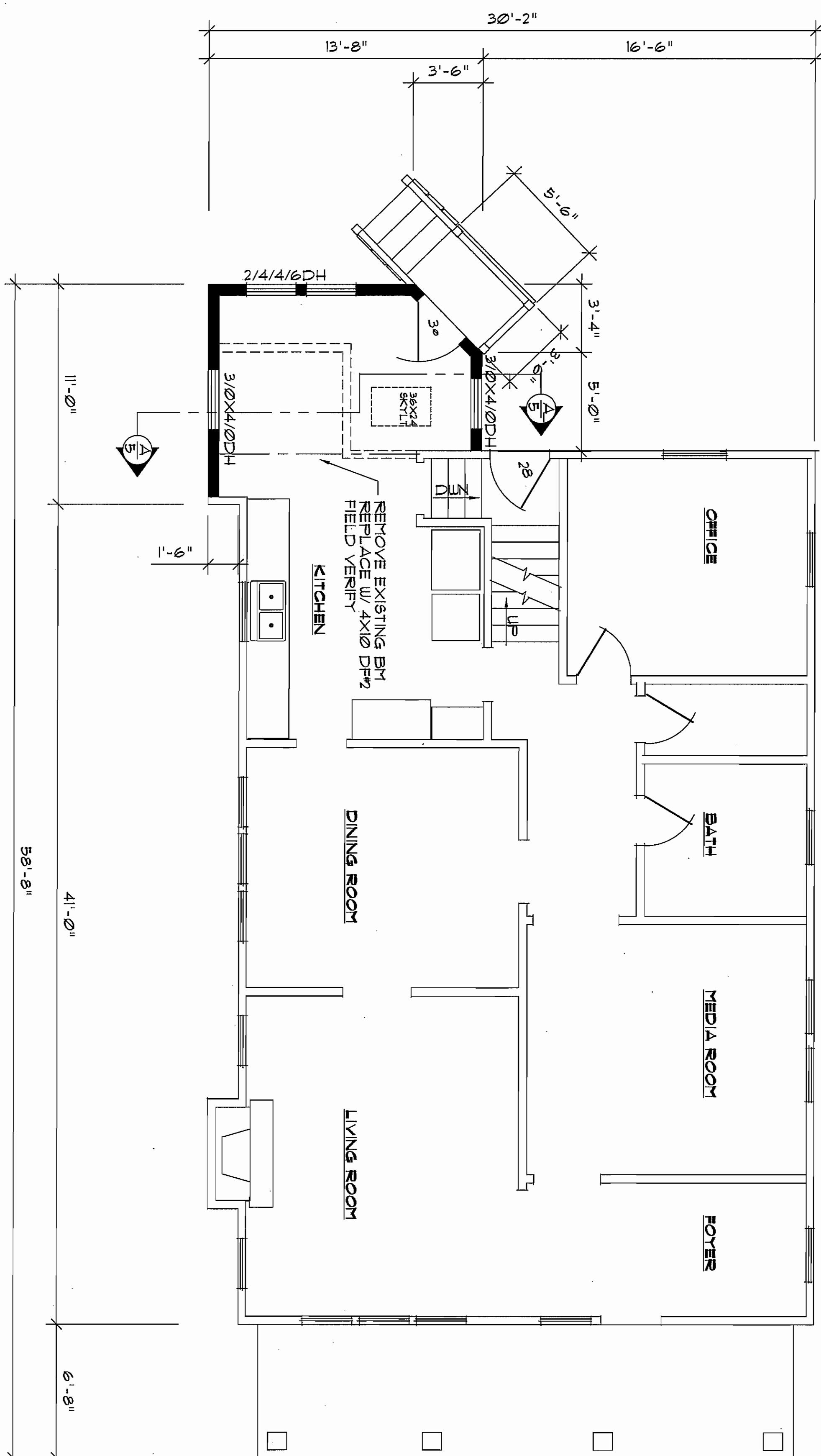
PARKER  
DRAFTING SERVICE  
JOEL A. PARKER CPBD  
TACOMA WASHINGTON  
(253) 752-1386 FAX (253) 752-0993

CONTRACTOR:  
YORK ENTERPRISES  
(253) 752-3189

COPYRIGHT 2010  
PARKER DRAFTING SERVICE  
ALL RIGHTS RESERVED  
THIS COPYRIGHTED PLAN MAY NOT  
BE USED OR REPRODUCED WITHOUT  
THE WRITTEN PERMISSION OF  
PARKER DRAFTING SERVICE.

WASHINGTON STATE ENERGY CODE  
PRESCRIPTIVE REQUIREMENTS PER CHAP 6 OF WSEC

PATH III ZONE 1  
VERTICAL GLAZING U - VALUE .35 MAX  
OVERHEAD GLAZING U - VALUE .58 MAX  
EXT. DOOR U-VALUE R-38 MIN  
CEILING U-VALUE R-38 MIN  
VAULTED CEILING U-VALUE R-30 MIN  
WALL ABOVE GRADE R-21 MIN  
FLOORS U-VALUE R-30 MIN  
SLAB ON GRADE R-10 MIN. PERIMETER



SNOW LOAD	25 PSF
WIND SPEED	90 MPH
EXPOSURE	B
SEISMIC	D
FROST DEPTH	12" MIN

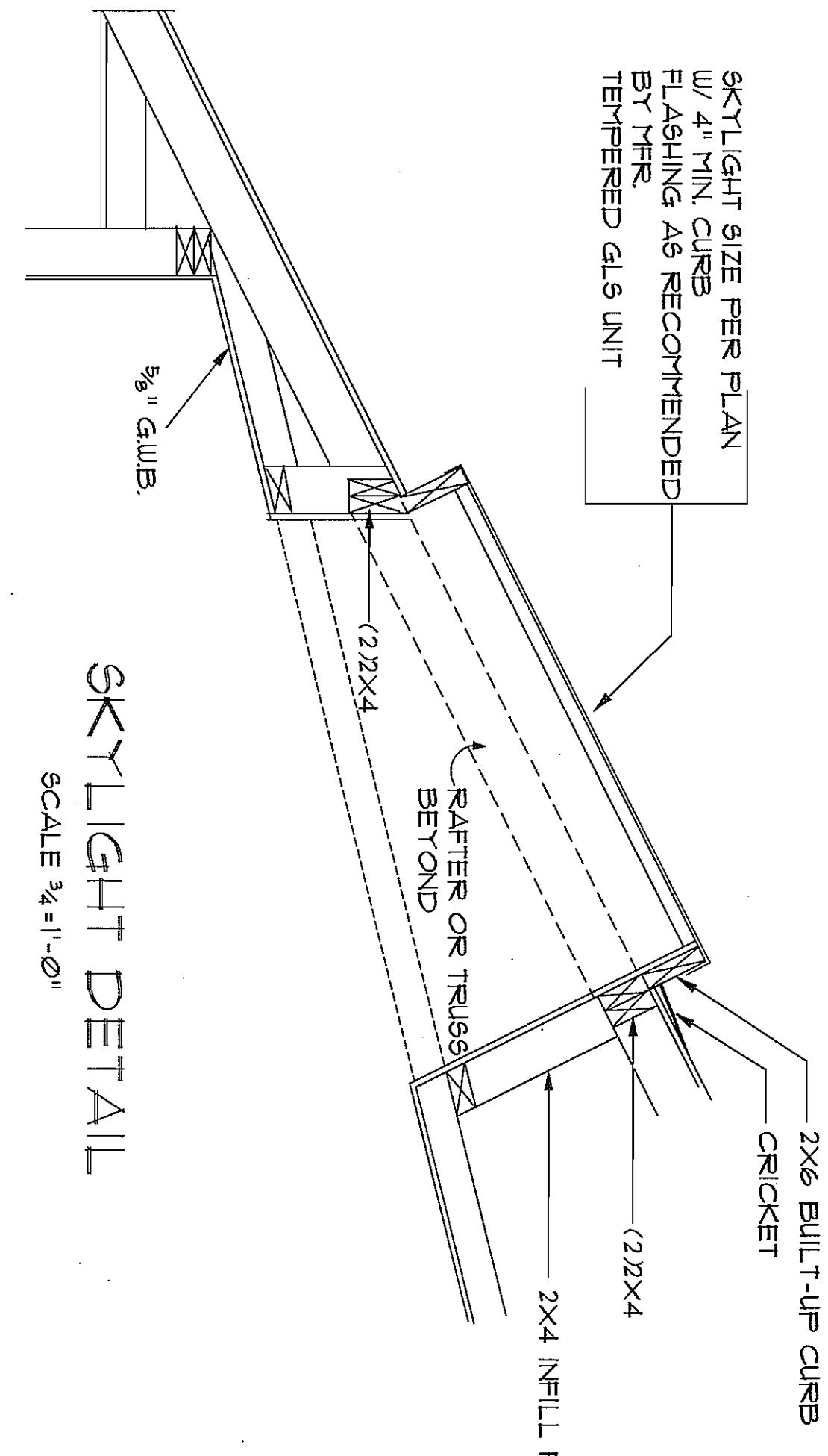
DRAWN BY:  
J PARKER  
PROJECT NO.:  
30040  
SCALE:  
 $1/4 = 1'-0"$   
DATE:  
AUG. 16, 2010

PROJECT TITLE:  
RESIDENTIAL ADDITION  
RONN & SANDRA JOHANSON  
805 NO. AINSWORTH AVE  
TACOMA, WASHINGTON 98403  
DRAWING TITLE:  
MAIN FLOOR PLAN

CONTRACTOR:  
YORK ENTERPRISES  
(253)752-3188  
PARKER DRAFTING SERVICE  
JOEL A. PARKER CPBD  
TACOMA WASHINGTON  
(253) 752-1386 FAX (253)752-0993

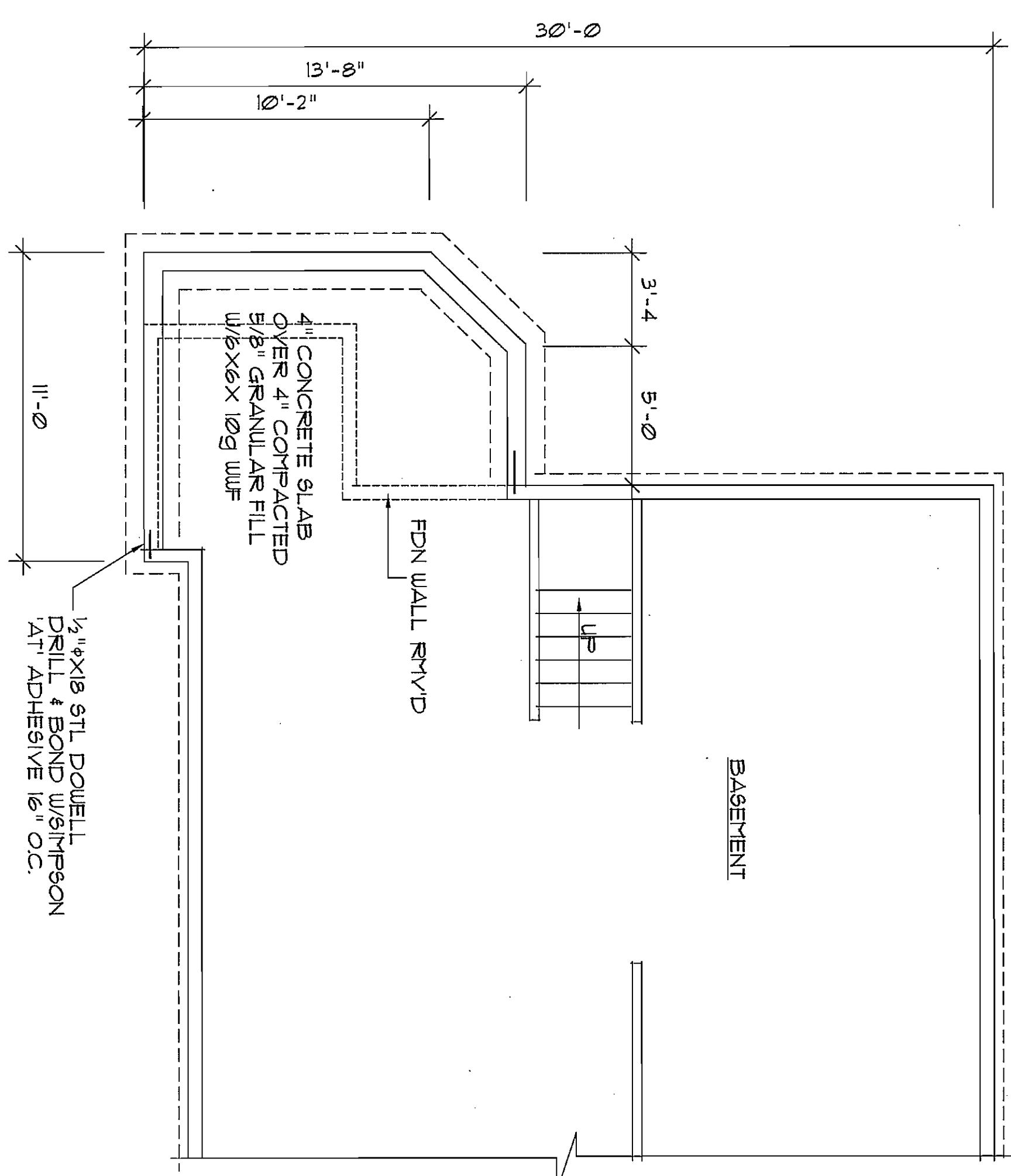
COPYRIGHT 2010  
PARKER DRAFTING SERVICE  
ALL RIGHTS RESERVED  
THIS COPYRIGHTED PLAN MAY NOT  
BE USED OR REPRODUCED WITHOUT  
THE WRITTEN PERMISSION OF  
PARKER DRAFTING SERVICE.

SHEET  
2  
OFF



**SKYLIGHT DETAIL**

SCALE  $\frac{3}{4}=1'-0''$

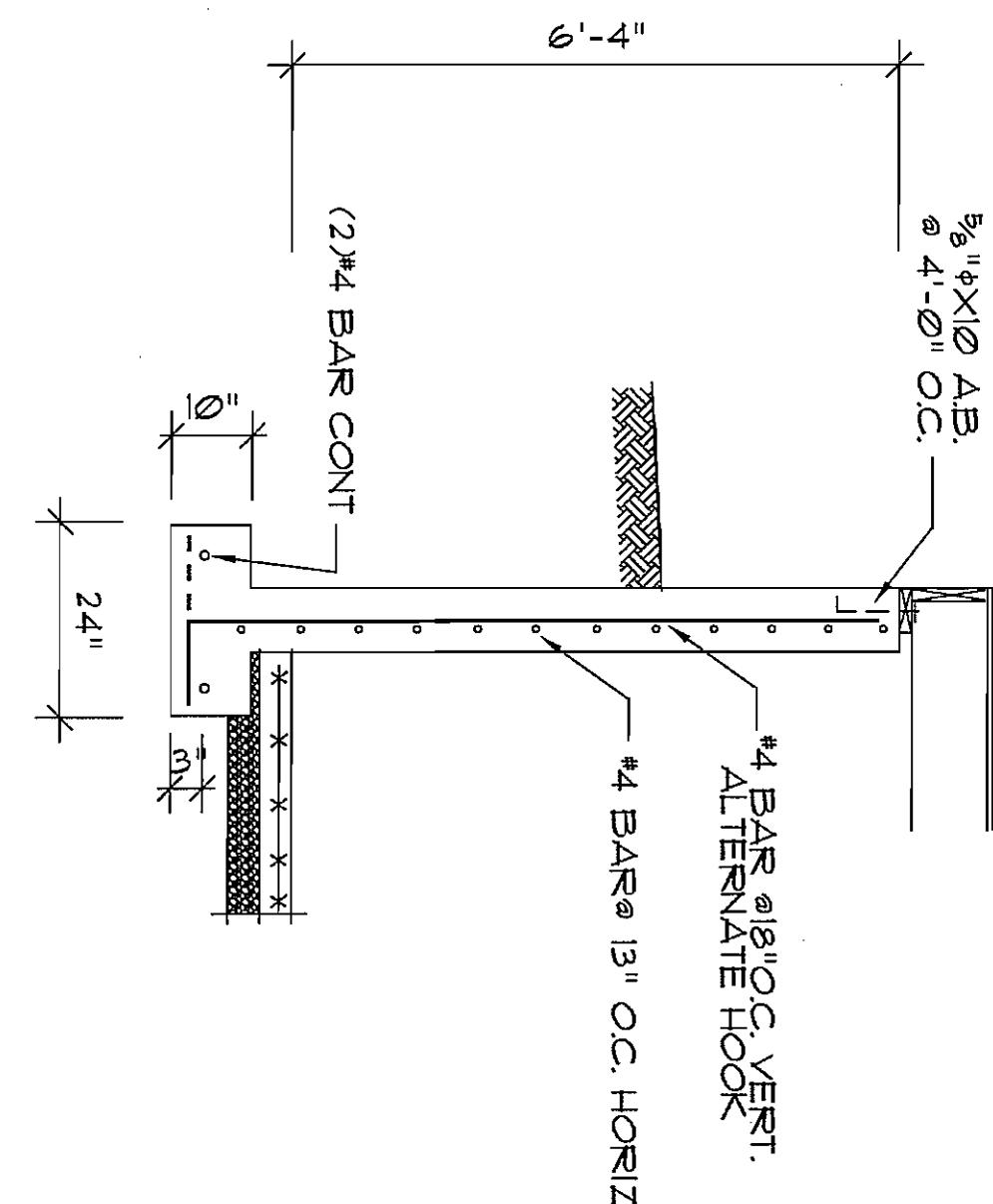


## FOUNDATION DETAIL

SCALE  $\frac{1}{2}=1'-0''$

## FOUNDATION PLAN

SCALE  $\frac{1}{4}=1'-0''$



## RESIDENTIAL ADDITION

RONN & SANDRA JOHANSON  
805 NO. AINSWORTH AVE  
TACOMA, WASHINGTON 98403

DRAWING TITLE:  
FOUNDATION PLAN

DRAWN BY:  
J PARKER

SCALE:  
 $\frac{1}{4}=1'-0''$

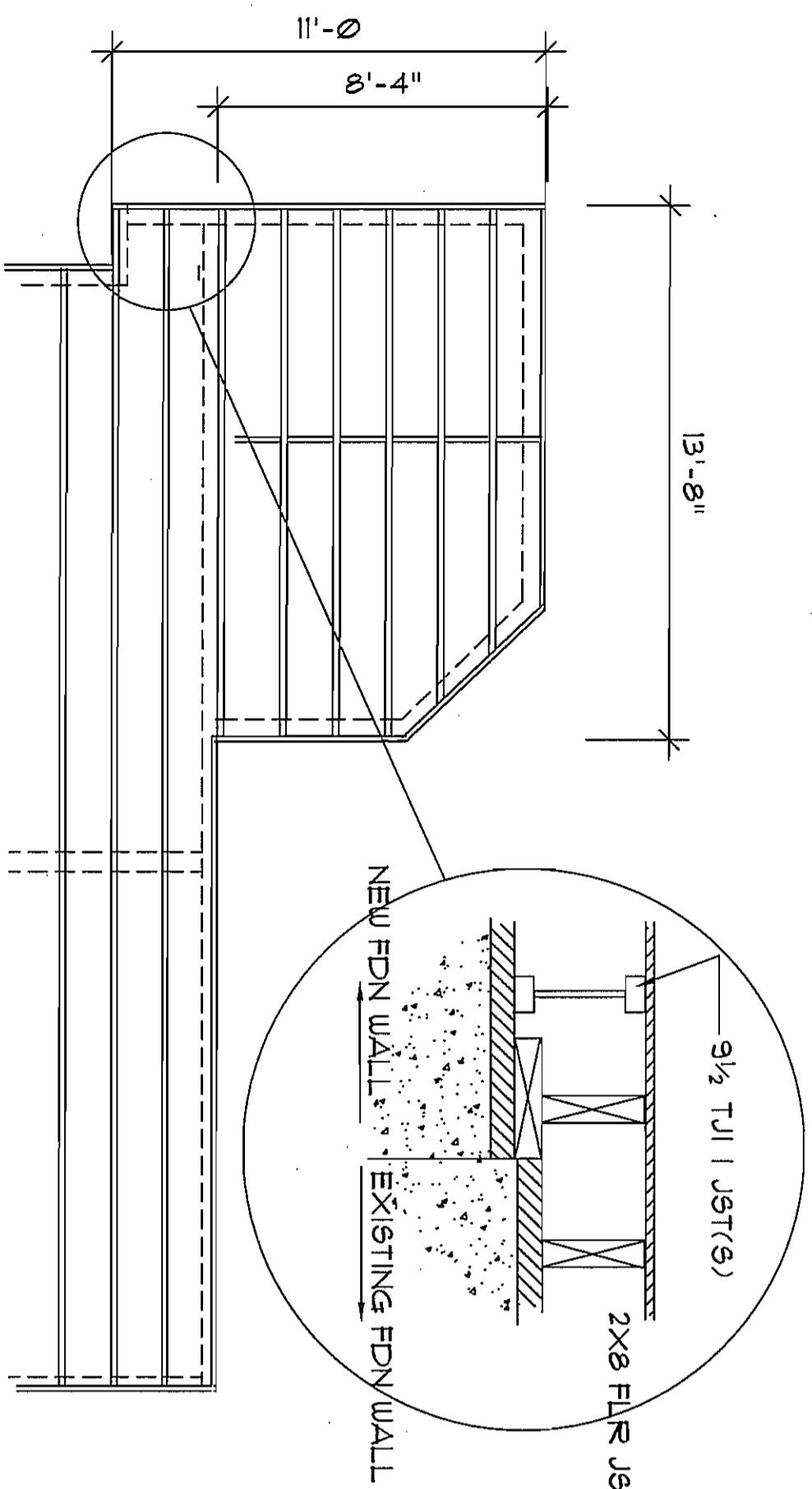
DATE:  
AUG. 16, 2010

PROJECT NO:  
30040

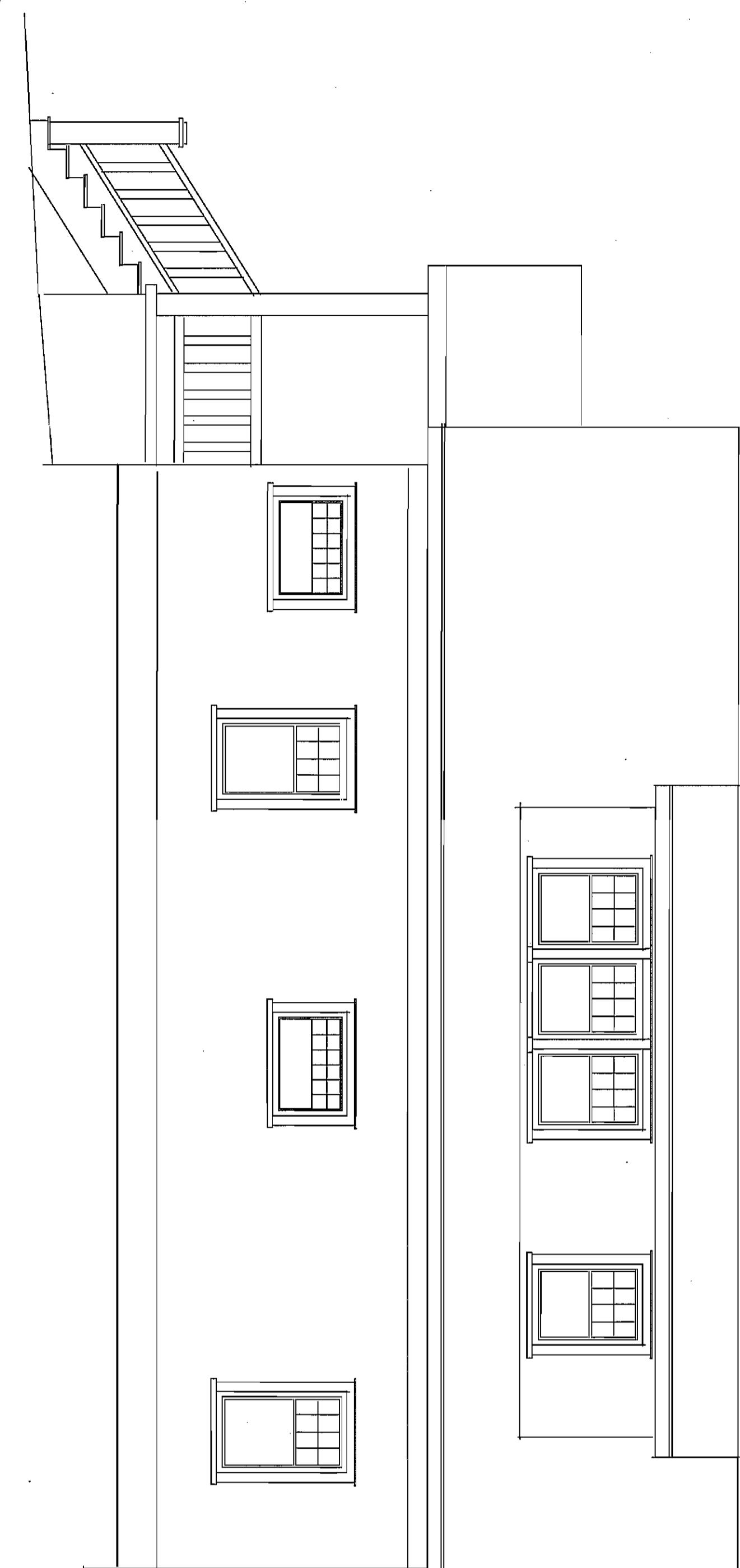
**PARKER**  
**DRAFTING SERVICE**  
JOEL A. PARKER CPBD  
TACOMA WASHINGTON  
(253) 752-1386 FAX (253)752-0993

CONTRACTOR:  
YORK ENTERPRISES  
(253)752-3189

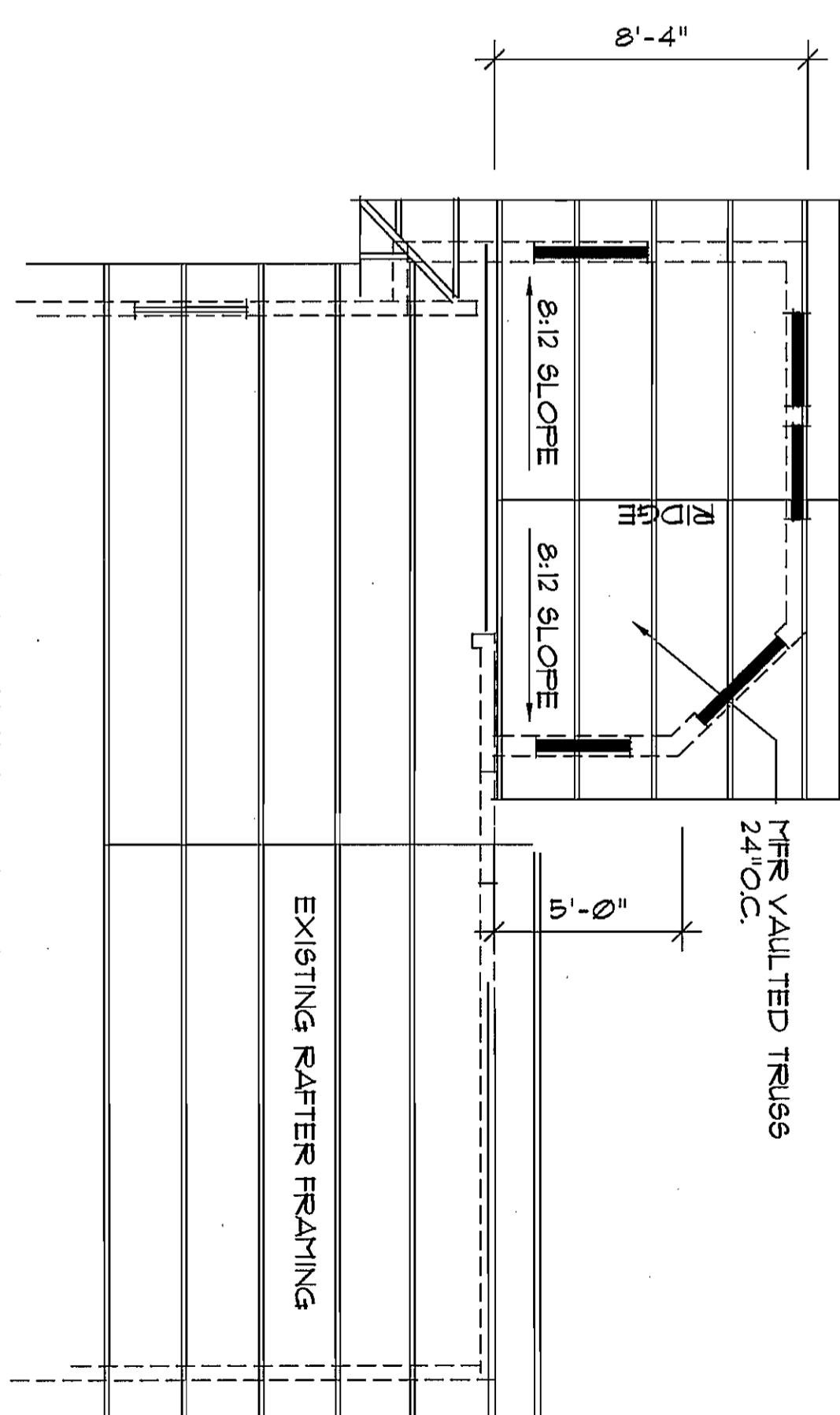
COPYRIGHT 2009  
PARKER DRAFTING SERVICE  
ALL RIGHTS RESERVED  
THIS COPYRIGHTED PLAN MAY NOT  
BE USED OR REPRODUCED WITHOUT  
THE WRITTEN PERMISSION OF  
PARKER DRAFTING SERVICE.



FLOOR FRAMING PLAN



EAST ELEVATION



ROOF FRAMING PLAN

ALL TRUSSES  
\*SHALL CARRY MANUFACTURERS STAMP  
\*SHALL BE INSTALLED & BRACED TO MANUF. SPEC'S  
\*SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE  
FOR FRAMING INSPECTION  
\* WILL NOT BE FIELD ALTERED W/O PRIOR BDLG. DEPT.  
APPRV OF ENG. CALC.

ROOF FRAMING CANTILEVERED  
AT ANGLED CORNER  
SOFFIT C'LNG TO MATCH  
EAVES & HOUSE

**PARKER DRAFTING SERVICE**  
JOEL A. PARKER CPBD  
TACOMA WASHINGTON  
(253) 752-1386 FAX (253)752-0993

CONTRACTOR:  
**PARKER ENTERPRISES**  
(253)752-3189  
COPYRIGHT 2009  
PARKER DRAFTING SERVICE  
ALL RIGHTS RESERVED  
THIS COPYRIGHTED PLAN MAY NOT  
BE USED OR REPRODUCED WITHOUT  
THE WRITTEN PERMISSION OF  
PARKER DRAFTING SERVICE.

PROJECT NO:  
30040

DRAWN BY:  
J PARKER  
SCALE:  
 $1/4 = 1'-0"$   
DATE:  
AUG. 16, 2010

PROJECT TITLE:  
**RESIDENTIAL ADDITION**  
RONN & SANDRA JOHANSON  
805 NO. AINSWORTH AVE  
TACOMA, WASHINGTON 98403  
DRAWING TITLE:  
ROOF PLAN

SHEET  
4  
OF

PARKER DRAFTING HAS TAKEN EVERY EFFORT TO INSURE THE ACCURACY OF THE ATTACHED DRAWINGS. HOWEVER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.

FRAMING LUMBER(EXCEPT AS NOTED)

2X4X JOISTS, PURLINS & HEADERS:

DFL#2(FD=87PSI, Fv=95PSI)

2X8 STUDS & COLUMNS: DFL#2(FD=87PSI, Fv=85PSI) OR HEMF#2(FD=85PSI)

2X6 @ 16" O.C. EXTERIOR WALLS

2X4 @ 16" O.C. INTERIOR WALLS

6XBEAMS & HEADERS: DF-L#4(FD=135PSI)

6X COLUMNS & POSTS: DF-L#4(FD=100PSI)

MISC: HF#2

HEADERS: DF-L#2(22x8 MIN.)

WOOD SHEATHING(STRUCTURAL)

SHALL BE PLYWOOD OR OSB

PLYWOOD SHALL BE GROUP 1 OR 2 SPECIES

C-D GRADE, EXP 1 CONFORMING TO PSI-83

EACH PANEL SHALL BEAR MARK OF APA

OSB SHALL BE APA RATED STRUC-1 FOR ROOF

AND WALLS AND APA RATED STURDY-1 FLOOR

FOR FLOORS. EACH PANEL SHALL BE CLASSIFIED

AS EXP 1 AND BEAR THE MARK OF APA

ROOF DIAPHRAGM

7/16" MIN APA RATED SHEATHING

NAIL 8d@6" O.C. PANEL EDGES

8d@12" O.C. PANEL FIELD

FLOOR DIAPHRAGM

23/32" MIN APA RATED SHEATHING

NAIL 8d@6" O.C. PANEL EDGES

8d@12" O.C. PANEL FIELD

ALL NEW EXTERIOR WALLS:

7/16" MIN APA RATED SHEATHING

NAIL 8d@6" O.C. PANEL EDGES

8d@12" O.C. PANEL FIELD

BLOCK ALL PANEL EDGES.

WINDOW SIZES ARE NOMINAL RO. WIDTH & HEIGHT

ALL WOOD IN CONTACT WITH CONCRETE TO BE

PRESSURE TREATED LUMBER

8" SEPARATION REQ'D BTWN WOOD AT EXT. WALLS

AND EXPOSED GROUND

FINISHED GRADE MUST SLOPE AWAY FROM BLDGS

FASTENERS FOR P.T. WOOD SHALL BE HOT DIPPED

GALVANIZED, SILICON BRONZE OR COPPER

THERE SHALL BE A FLOOR OR LANDING ON EACH

SIDE OF EACH "EXTERIOR" DOOR

STUDS TO 4 OF PARTITIONS

EXTERIOR STUD WALLS ARE 2X6@16" O.C. & INTERIOR

STUD WALLS ARE 2X4@16" O.C. UNO.

DBL TOP PLATES SHALL HAVE END JOINTS

STAGGERED NOT LESS THAN 4'-0".

DBL TOP PLATE SPLICES REQUIRE STRAP WITH (8)

1d COMMON NAIL EACH SIDE

DECK LEDGERS MUST BE FLASHED

150 PSI SOIL BEARING PRESSURE IS ASSUMED

ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL

CONCRETE SHALL BE PROPORTIONED TO DEVELOP

COMPREHENSIVE STRENGTH OF 3000 PSI IN 28 DAYS

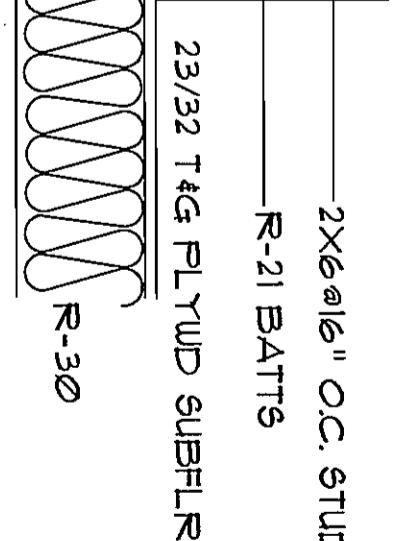
ALL SLABS ON GRADE SHALL BE REINFORCED WITH

MIN. 6X6-W 14X1.4 WUF

CONCRETE SLABS SHALL BEAR ON 4" CRUSHED STONE

OVER UNDISTURBED SOIL OR COMPAKTED FILL

FINISH PER ELEVATION  
OVER 15LB BDLG PAPER  
OR AIR INFILT. BRR OVER  
SHEATHING PER PLAN →



(E) FOUNDATION DETAIL  
SCALE 1" = 1'-0"

SECTION C

SCALE  $\frac{1}{2}$ " = 1'-0"

(MATCH TO EXISTING)  
TAB COMP. ROOF

R-30 BATTs

SIMPSON H2.5T  
HURR. TIE (TYP)  
EA. TRUSS

TYPICAL EXTERIOR WALL  
(2X6@16" O.C.)

2X6 HF#2 STUDS @ 16" O.C.  
 $\frac{1}{2}$ " SHRTG (APA RATED 24/0)

NAIL 8d@6" O.C. PANEL EDGES  
8d@12" O.C. PANEL FIELD  
APPROVED VAPOR BARRIER  
EXT SIDING PER ELEV. NOTE  
R-21 BATT. INSULATION W/CONT. VPR  
BARRIER (WARM SIDE)

WATERPROOFING AS REQ'D

NEW BASEMENT STORAGE AREA

4" CONC. SOG.

**PARKER DRAFTING SERVICE**  
JOEL A. PARKER CPBD  
TACOMA WASHINGTON  
(253) 752-1386 FAX (253)752-0993

CONTRACTOR:  
YORK ENTERPRISES  
(253)752-3189

COPYRIGHT 2009  
PARKER DRAFTING SERVICE  
ALL RIGHTS RESERVED  
THIS COPYRIGHTED PLAN MAY NOT  
BE USED OR REPRODUCED WITHOUT  
THE WRITTEN PERMISSION OF  
PARKER DRAFTING SERVICE.

SECTION A-A

SCALE  $\frac{1}{2}$ " = 1'-0"

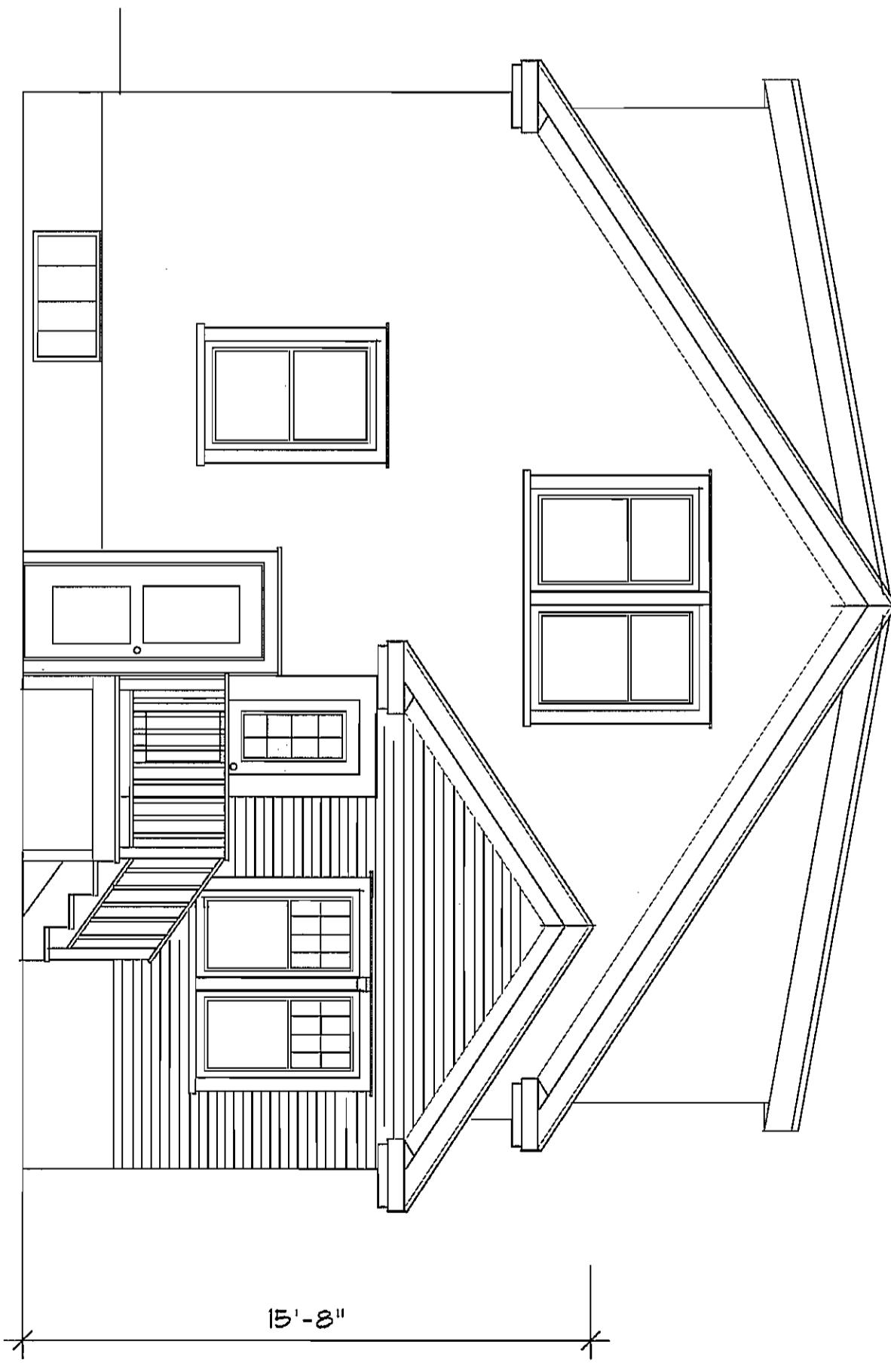
5  
SHEET  
OF  
6

BOLT FOUNDATION PLATES AND SILLS TO THE  
FOUNDATION WITH MIN.  $\frac{5}{8}$ " x 1/2" GALVANIZED ANCHOR  
BOLTS WITH 3X3X1/4" WSHR SPACED NOT MORE THAN  
4'-0" APART. PROVIDE MIN. 2 BOLTS PER PIECE AND  
WITHIN 12" FROM ENDS. EMBED MIN. 7" INTO CONCRETE

WEST ELEVATION



NORTH ELEVATION



6 OF 6  
SHEET

PROJECT NO:  
30040

DRAWN BY:  
J PARKER  
SCALE:  
 $\frac{1}{4}$  = 1'-0"  
DATE:  
AUG. 16, 2010

PROJECT TITLE:  
RESIDENTIAL ADDITION  
RONN & SANDRA JOHANSON  
805 NO. AINSWORTH AVE  
TACOMA, WASHINGTON 98403  
DRAWING TITLE:

 **PARKER**  
**DRAFTING SERVICE**  
JOEL A. PARKER CPBD  
TACOMA WASHINGTON  
(253) 752-1386 FAX (253)752-0993

CONTRACTOR:  
YORK ENTERPRISES  
(253)752-3189  
COPRIGHT 2009  
PARKER DRAFTING SERVICE  
ALL RIGHTS RESERVED  
THIS COPYRIGHTED PLAN MAY NOT  
BE USED OR REPRODUCED WITHOUT  
THE WRITTEN PERMISSION OF  
PARKER DRAFTING SERVICE.



Window Detail (Marvin)

Window Detail (Marvin)



"office" existing  
window, proposed  
for replacement



Dining Room - existing  
windows/side elevation



East Elevation existing  
"office" window proposed  
for replacement



Window Trim Detail - Marvin windows

# Landmarks Preservation Commission

Tacoma Economic Development Department  
Culture and Tourism Division



747 Market Street ♦ Room 1036 ♦ Tacoma WA 98402-3793 ♦ 253.591.5220

## APPLICATION FOR DESIGN REVIEW FOR SINGLE FAMILY RESIDENTIAL PROPERTIES

Please include ALL of the following information with your application. Insufficient application materials will result in a delay in processing of your application. If you have any question regarding application requirements, or regulations and standards for historic homes and neighborhoods, please call the Historic Preservation Officer at 253.591.5220.

### PART 1: APPLICANT INFORMATION

House Address 1111 N. 4<sup>th</sup> Street  
Tacoma, WA 98403 Landmark/Conservation District (if applicable) \_\_\_\_\_

#### OWNER INFORMATION

Name (printed) Amalia Annest Email [amaliaannest@gmail.com](mailto:amaliaannest@gmail.com)

Address (if different than above) 3322 Grandview Dr. W.  
University Place, WA 98366 Phone 253.279.5918

Homeowner's Signature\* \_\_\_\_\_

\*Application must be signed by the property owner to be processed.

#### CONTRACTOR INFORMATION

If application will be presented by a representative or contractor, please fill in the following:

Representative's Name \_\_\_\_\_ Company \_\_\_\_\_

Address \_\_\_\_\_

Email \_\_\_\_\_ Phone \_\_\_\_\_

#### FOR OFFICE USE ONLY

PRELIMINARY PLAN CHECK DATE: \_\_\_\_\_

INITIALS \_\_\_\_\_  
CHECKED FOR BUILDING CODE\*: \_\_\_\_\_

LAND USE/ZONING (IF APPLICABLE)\*: \_\_\_\_\_

\*PRELIMINARY PLAN CHECK IS NOT AN APPROVAL OF A PROJECT. A SEPARATE PERMIT APPLICATION MAY BE REQUIRED.

#### APPLICATION FEE (please see page 2)

Estimated Project Cost,  
rounded to nearest \$1000 \$4000.00

Application Fee Enclosed \$100.00

## PART 2: INFORMATION FOR APPLICANTS

### \*NEW\* FEE SCHEDULE

On March 21, 2006 City Council adopted a new administrative fee schedule, which includes application fees for design review of historic properties (Res. No. 36804).

The following fees are based on estimated project cost and apply to design review for historic single family properties:

Project Cost	Fee
\$0 – 2000	\$50
Each additional \$1000	\$25
Maximum Fee per Application	\$500
Application for Demolition	\$1500
Signs and Awnings	\$100 flat fee

#### PLEASE NOTE:

1. Fees are required only once per application.
2. If an application is denied by the Landmarks Commission, and a new application is submitted for the same project, new fees may apply.
3. Demolition fees are applied to cover the cost of public hearings, but may not be required for the removal of certain accessory structures.

## HOW TO USE THIS FORM

### STEPS FOR APPLICANTS

1. **Review the Standards and Guidelines for Historic Buildings.** Many homeowners want to know whether their project will be approved by the Commission ahead of the meeting. The Landmarks Commission reviews projects according to design guidelines and the Secretary of the Interior's Guidelines for Rehabilitation. This information is available online at [www.tacomaculture.org](http://www.tacomaculture.org).
2. **Fill out this form in its ENTIRETY.**
3. **Find the correct checklist for your project, and submit the required supporting documentation.** Part 4 of this form outlines which checklist to use for your project. There are three checklists, but you only need to use one.
4. **Submit your application for preliminary review to the Buildings and Land Use Division (BLUS). The Plans Reviewer will initial and date the cover sheet of this application.** This ensures your application meets applicable codes and will avoid delays down the road. Your application will NOT be processed without this step.
5. **Make 20 copies of the final application and submit it to the Historic Preservation Office with the APPLICATION FEE.** The Landmarks Commission meets on the 2<sup>nd</sup> and 4<sup>th</sup> Wednesdays of each month, and applications are due to this office TWO WEEKS in advance. When your application has been scheduled for review, you will be notified.

#### WHERE TO GO:

Buildings and Land Use Division  
City of Tacoma, Public Works Department  
747 Market Street, 3<sup>rd</sup> Floor  
253-591-5030

Historic Preservation Officer  
City of Tacoma, C.E.D.D.  
747 Market Street, Room 1036  
Tacoma, WA 98402-3793  
253-591-5220

## PART 3: PROJECT DESCRIPTION

Please describe below the overall scope of work, including all proposed new construction, changes to existing buildings, and any elements to be removed and replaced. (*For complex remodeling projects, it may be beneficial to divide the description into different areas [north façade, west façade] or by type of work [windows, doors, siding]*).

Brief background: I purchased this property at a foreclosure auction in April of 2009. I was not able to view the inside of the house before I bought it (a common occurrence when buying at auction). A month or two after the purchase, it was discovered that the property had been brought to auction illegally, as the previous homeowners had filed for bankruptcy the day before the sale. This meant that my title on the property was invalid, and I was not allowed to set foot inside or move into the property until the issue was resolved (despite the fact that I had already refinanced the house and was making full monthly mortgage payments). Over a year of legal battles ensued, whereby my lawyer tried to either 1) get the responsible parties to roll back the sale and refund all my money, or 2) get me legal ownership of the property. A few months ago, the latter strategy finally panned out, and I was granted clear title on 1111 N. 4<sup>th</sup> St. To date, I am still making full monthly mortgage payments and have not yet been able to move in, due to the issues described next.

During the year of down time, I found out that the City of Tacoma had issues with the property (in the form of nuisance abatements and a lack of valid building permits), in addition to an open case with the Landmarks Preservation Commission whereby several aspects of the structure's exterior were out of compliance. It appeared that the previous homeowner had taken free license to modify the property at his own whim, in blatant disregard to the requirements of both the City of Tacoma and the Landmarks Preservation Commission. So not only was I stuck making mortgage payments for well over a year on a property I was not allowed to access, but I have inherited a slew of violations from the previous homeowner that are now my responsibility to correct.

That being said, my fiancé and myself have worked with an architect to come up with a plan for remodeling the house (the inside of which is a disaster – it appears the previous homeowner was a do-it-yourselfer on top of everything else). The majority of the remodel will occur on the interior, which is the portion most direly in need of revamping. We expect to spend upwards of \$70,000 to get the inside of the house to an adequate, livable state.

In the undertaking of such an extensive remodel, one of our main goals is to get the property back in compliance with the directives of the Landmarks Preservation Commission. It is our understanding that there are two active violations at this time: the windows on the front and sides of the house, and the siding. The following paragraphs will deal with our intentions on all matters affecting the exterior of the structure.

First, we propose to replace all windows on the front and sides of the house with models that replicate, as closely as possible, those that were in place prior to the windows installed by the previous homeowner. We will base our selections on a set of photographs that were taken in 2005, a time in which the windows were in compliance with the Commission's directives. While we have not yet shopped for the specific brands/models, we fully intend to match the new windows as closely as possible to what they were before. If we later find out this is impossible for any reason, we will come back to the Commission to obtain approval on whatever alternative is available.

Second, we propose to remove the chimney that comes out of the roof from the middle of the house (not the one that is fully viewable from the north side of the structure's exterior). Please see attached elevation drawing for an indication of the chimney we intend to remove. Note that this chimney is not easily viewable from the front or sides of the property, and that its removal will be crucial to carrying out our plans for the house's interior remodel. In addition, the chimney no longer serves any functional purpose within the house.

Third, we would like to deal with the deck attached to the north side of the property (again, see attached elevation drawing). As we understand it, this deck is not an active violation with the Commission, but it was added without the Commission's approval and is clearly viewable from the property's exterior. Due to the poor construction and improper choice of wood in building the deck, it is necessary that we either remove or rebuild it. We are open to suggestions from the Commission in how to proceed. If we rebuild, we could possibly fence it off and set it back farther from the front (east) side of the house so that its visual impact was minimized when viewing the property head-on. We are also open to the possibility of getting rid of it completely and landscaping the area underneath. We would like to hear suggestions from the Commission as to how we can be in compliance on this matter.

Finally, we know there is a siding violation. While the previous homeowner took some major liberties in completely revamping the outside of the house, this is (believe it or not), the ONLY part of the entire structure that actually looks "nice". Incidentally, it is also the only part of the structure we saw before purchasing the property. So while the siding is not in compliance with the Landmarks Preservation Commission, it can be argued that for the time being, it is also not a neighborhood eyesore. The paint job is professional, and the wood shingles look well-constructed throughout. Because we are going to spend so much money on the interior of the house, and the siding was existing and in good condition when we bought the property, we respectfully request that the Commission grant us a reprieve from dealing with the siding violation at this time. We can certainly revisit this issue later down the line, at a point when our finances and resources are more equipped to take on such a project.

Our goal here is to settle all issues and violations surrounding the legacy of this property. We are fully willing to cooperate with any party who has interest in the well being of 1111 N. 4<sup>th</sup> St., and we hope the proposals listed above are in line with the Commission's intentions for the restoration of the structure. Our immediate goal is to obtain our permits for building, as every month of delay is another month of extra money down the drain. But please be assured that we are happy to revisit any outstanding issues and continue to work with the Commission through the duration of this project. Thank you very much for your consideration.

NOTE: We believe Checklist C is the appropriate checklist for our application. To fulfill the requirements of this checklist, we have included elevation drawings of the property with the windows we intend to replace clearly marked. The Commission also has access to photographs from the property in 2005 (included with the case file), upon which we will try to base our window replacement selections. We hope that these two items will stand in for "catalog cut sheets or product samples" for the time being, as we haven't had a chance to actually shop for the new windows yet. As noted above, we will attempt to replicate the former windows as closely as we can, with further input from the Commission if this is not possible.

## PART 4: SUPPLEMENTS

### How to Use This Table

The following is a table of common projects divided into Categories. For each Category of work there is a corresponding **checklist** designed to help you include the information required for your application.

Find the type of work you are proposing, and download the corresponding checklist to attach to your application.

Checklists are available from the Historic Preservation Office, and on our website at [www.tacomaculture.org/historic.asp](http://www.tacomaculture.org/historic.asp)

If you have any questions regarding what information should be included in your application, please call the Historic Preservation Office at 253-591-5220.

**NOTE: ONLY USE ONE CHECKLIST**

<input type="checkbox"/> Use Checklist A for:	Detached garages New porches Decks Additions Foundations Other Major Work (call the Historic Preservation Officer with questions)	p. 5
<input type="checkbox"/> Use Checklist B for:	Siding Roofing New window or door openings Other Minor (For example, chimney restoration)	p. 6
<input type="checkbox"/> Use Checklist C for:	Windows (replacement or restoration of existing) Doors (replacement or restoration of existing)	p. 7

## RESIDENTIAL APPLICATION CHECKLIST A

(For Garages, Porches, Decks, Additions, Foundations and other Major Projects)

CHECKLIST to include the following:\*

- |                          |   |
|--------------------------|---|
| <input type="checkbox"/> | Accurate Measured Site Plan (which shows ridgelines and dormers of <u>existing</u> and <u>new</u> buildings)      |
| <input type="checkbox"/> | Accurate Measured Elevation Drawings (all sides, with dimensions, siding materials, windows, and doors indicated) |
| <input type="checkbox"/> | Photograph(s) of Site and surrounding area  |
| <input type="checkbox"/> | Detail illustrations of trim, casing, balusters, posts and railings (if applicable)                               |
| <input type="checkbox"/> | Material samples (ie. stained glass, or if proposing uncommon material)   |
| <input type="checkbox"/> | Paint samples (from hardware store)   |

In addition to the above, please provide the following information:

Size of new construction (footprint, i.e. 22 X 30'):

Overall height and pitch of roof (for new buildings):

Exterior cladding material(s):

Window types and materials:

Door types and materials:

Window trim (attach drawings, catalog sheets, etc. if necessary):

Roof Material:

### \*ADDITIONAL TIPS

- *Drawings required for building permits can often be used for Landmarks Review, as long as information regarding finish detail, exterior materials, and windows and doors are indicated.*
- *For information about drawing site plans, please refer to BLUS Publication B1, Site Plan*
- *Elevations should be scale drawings and should include dimensions, heights, window and door locations, eave overhangs, trim details, and the locations of materials and other elements.*
- *Please include a photograph of existing house (for new garages if the new garage is to match any existing features of the house)*
- *For structures within the North Slope Historic District, refer to the North Slope Design Guidelines for more information about design. Contact the Historic Preservation Officer for more information.*

## **RESIDENTIAL APPLICATION SUPPLEMENT CHECKLIST B**

(For New Siding, Roofing, and Window and Door Openings)

CHECKLIST to include the following:\*

- |                          |   |
|--------------------------|---|
| <input type="checkbox"/> | Elevation drawings (if new windows or doors are to be added where there no existing ones) |
| <input type="checkbox"/> | Photograph(s) of work area(s)   |
| <input type="checkbox"/> | Detail illustrations of trim and casing   |
| <input type="checkbox"/> | Material samples (if proposing uncommon or new to market material)                        |
| <input type="checkbox"/> | Paint samples (from hardware store if applicable)   |

In addition to the above, please provide the following information:

Proposed Material(s): \_\_\_\_\_

Window types and locations: \_\_\_\_\_

Exterior cladding material(s): \_\_\_\_\_

### \*ADDITIONAL TIPS

- *Drawings required for building permits can often be used for Landmarks Review, as long as information regarding finish detail, exterior materials, and windows and doors are indicated.*
- *Elevations should be scale drawings and should include dimensions, heights, window and door locations and trim details.*
- *Please include a photograph of existing examples (if the new features are to match any existing features of the house)*
- *For structures within the North Slope Historic District, refer to the North Slope Design Guidelines for more information about design. Contact the Historic Preservation Officer for more information.*

## **RESIDENTIAL APPLICATION SUPPLEMENT CHECKLIST C**

(for Window and Door Replacement and Restoration)

CHECKLIST include the following:\*

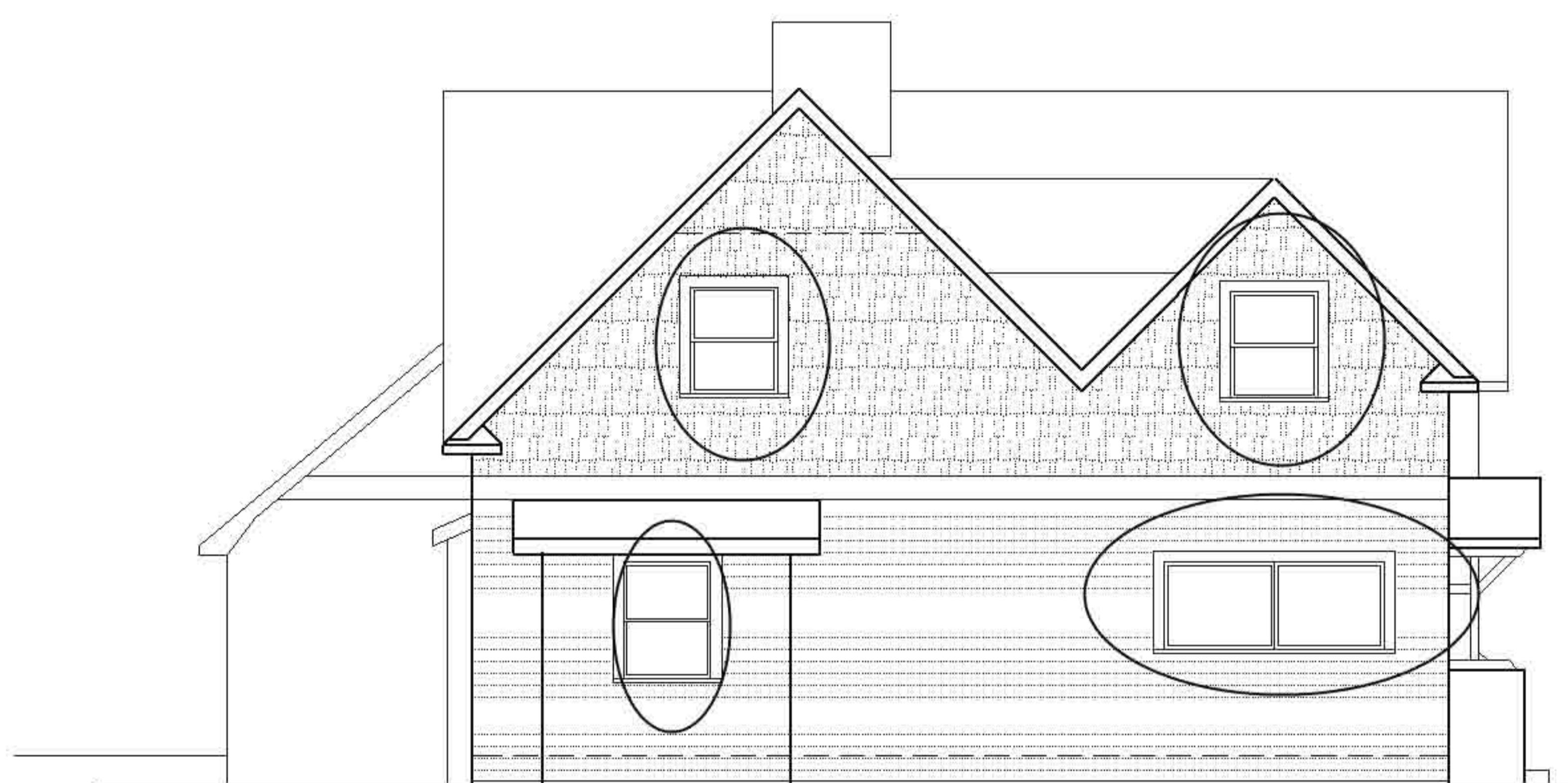
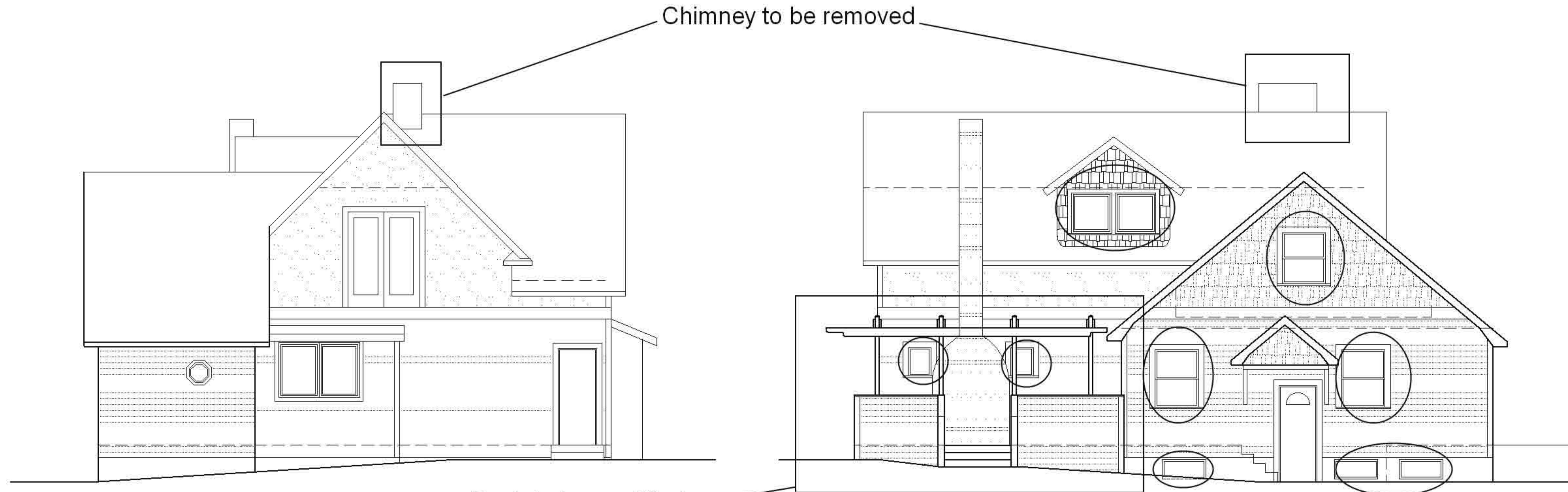
- |                                     |   |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | Photograph(s) of work area(s) with locations of work indicated (i.e. in pen) – <b>See attached elevation drawings</b> |
| <input checked="" type="checkbox"/> | Detail illustrations of trim and casing and window profiles – <b>See 2005 photographs</b>                             |
| <input type="checkbox"/>            | Catalog cut sheets or product samples – <b>To be determined and approved during remodel process</b>                   |

In addition to the above, please provide the following information:

- |  |  |
|--|--|
| Narrative list of window and door types and locations: | <b>All wood frames matching the 2005 windows – front and sides of house.</b> |
|--|--|

### \*ADDITIONAL TIPS

- *Drawings required for building permits can often be used for Landmarks Review, as long as information regarding finish detail, exterior materials, and windows and doors are indicated..*
- *Please include a photograph of example elements (if new windows or doors are to match any existing features of the house)*
- *For structures within the North Slope Historic District, refer to the North Slope Design Guidelines for more information about design. Contact the Historic Preservation Officer for more information.*



All circled windows are to be replaced with compliant windows



CENTERLINE  
INCORPORATED  
4737 37th AVE SW  
SLAHLIE  
206.932.8706  
[www.CenterLine-Design.com](http://www.CenterLine-Design.com)

1111 N 4th Street  
Tacoma WA

CONTENTS

ELEVATIONS

DRAWN BY

CRL

DATE

05.05.10



04/28/2010



04/28/2010



04/23/2010



04/28/2010



04/28/2010



04/28/2010



04/28/2010



04/28/2010

Condition in 2005, detail southwest corner.



Condition in 2005, front (south) elevation.



Condition in 2005, alley (east) elevation.



Condition in 2005, alley (east) elevation  
(looking north).





2006 - staff photo before paint



2006 Staff Photo - before paint

**Landmarks Preservation Commission**  
Community and Economic Development Department  
Planning Division



747 Market Street ♦ Room 1036 ♦ Tacoma WA 98402-3793 ♦ 253.591.5220

**APPLICATION FOR DESIGN REVIEW  
COMMERCIAL AND MULTIFAMILY**

*Please include ALL of the following information with your application. Insufficient application materials will result in a delay in processing of your application. If you have any question regarding application requirements, or regulations and standards for historic buildings and districts, please call the Historic Preservation Officer at 253.591.5220.*

**PART 1: PROPERTY INFORMATION**

Building/Property Name \_\_\_\_\_

Building/Property Address \_\_\_\_\_

Landmark or Conservation District \_\_\_\_\_

Applicant's Name \_\_\_\_\_

Applicant's Address (if different than above) \_\_\_\_\_

Applicant's Phone \_\_\_\_\_ Applicant's Email \_\_\_\_\_

Property Owner's Name (printed) \_\_\_\_\_

Property Owner's Address \_\_\_\_\_

Property Owner's Signature \_\_\_\_\_

*\*Application must be signed by the property owner to be processed. By signing this application, owner confirms that the application has been reviewed and determined satisfactory by the owner.*

**APPLICATION FEE**

*Please see the fee schedule on page 2.*

Estimated project cost: \_\_\_\_\_

Application fee enclosed (please make payable  
to City of Tacoma): \_\_\_\_\_

*The Landmarks Preservation Commission (LPC) is the designated review board to approve or deny proposed changes to designated historic buildings and districts. Review criteria are available at the Tacoma Department of Economic Development, Culture and Tourism Division (253) 591-5220 and on the city website. Information on standards and guidelines can be found in Tacoma Municipal Code 1.42 (Landmarks Preservation Commission) and 13.07 (Special Review Districts).*

## PART 2: INSTRUCTIONS

### New Fee Schedule for 2006

On March 21, 2006 City Council approved a new general services fee schedule that includes new fees for design review and demolition review of historic buildings (Res. No. 36804). The new fees are as follows:

<b>Estimated project cost (determined by applicant)</b>	<b>Application Fee</b>
\$0 – 3500	\$100
Each additional \$1000	\$30
Signs and Awnings	\$100 flat fee
Maximum fee per review	\$2000
Application for Demolition	\$1500

### General Tips for Modifications to Historic Buildings

1. **First contact the proper permitting office to ensure your project is code compliant.** The Landmarks Preservation Commission generally cannot approve a project with pending variances or code waivers (contact the Historic Preservation Office for more information). Presubmittal conferences with Commercial Plan Review may be required for major projects and should occur prior to Landmarks Commission review of your project. **If variances are required for your project, contact the Historic Preservation Officer before submitting your application.** Variances that may affect the exterior design of the project must be resolved prior to Landmarks Commission review.
2. **For complex projects, several design briefings to the Landmarks Commission may be necessary.** Contact the Historic Preservation Officer to discuss scheduling options. The Landmarks Commission generally meets twice per month. Sign applications and other simple design reviews generally do not require multiple visits.
3. **Projects are evaluated using the Secretary of the Interior's Standards for Rehabilitation of Historic Buildings, and any applicable Historic District Design Guidelines (if the project occurs within a historic district).** Design Guidelines cover areas such as massing, scale, streetscape, signage, awnings and other design elements. Copies of Tacoma's guidelines are available at the Historic Preservation Office, or online at [www.tacomaculture.org](http://www.tacomaculture.org).

### General Steps for Submitting Applications

1. **Begin the application consultation process with Buildings and Land Use (BLUS) to identify code-compliance issues and required permits.**
2. **For large projects, contact the Historic Preservation Office to determine an appropriate schedule for review.**

**Architectural Review Committee:** The Landmarks Commission has an Architectural Review Committee that can provide feedback for projects. The ARC consultation is a no-action preliminary review of projects scheduled on an as-needed basis or by applicant request. Though optional, it is HIGHLY recommended for large scale or complex projects to generate feedback from commissioners.

**Preliminary Approvals:** In some cases, it may be appropriate to apply for Landmarks Commission approvals in stages. For example, a final proposal for the building massing, configuration and size may be approved separately from the final finish materials and exterior design. Generally signs are approved post-occupancy, and require a separate application.

3. **Submit 20 copies of completed application and APPLICATION FEE to:**

Historic Preservation Officer  
747 Market Street, Room 1036  
Tacoma, WA 98402-3793

**PLEASE NOTE:** The Landmarks Commission meets on the second and fourth Wednesdays of each month. Applications are due a MINIMUM of 2 weeks prior to the meeting date you are targeting, so please plan accordingly. Incomplete or missing information will delay consideration of your application.

### **PART 3: PROJECT SCOPE AND DESCRIPTION**

Please use the space below to describe the project. Attach additional pages if necessary. All proposed changes must be included in this description. Please see NARRATIVE DESCRIPTION CHECKLIST (next page).

## PART 4: APPLICATION CHECKLIST (For sign or awning applications, please go to PART 5).

### General Requirements

- Twenty copies of the application and all supporting documents for distribution
- Property owner/manager consent
- Check here to certify that you have contacted the Permit Counter to resolve any potential code or zoning issues with your project.
- Check here to certify that there are NO PENDING APPLICATIONS FOR A VARIANCE related to this application. If there are any pending variances related to this application, you MUST notify the Historic Preservation Office.

### Narrative Description Checklist

- General overview of project, including quantities and dimensions of elements such as signs (i.e. "one proposed 24 X 60" sign, with 12" extruded plastic letters, to be located on the south façade sign band...)
- LIST of features to be removed, replaced or added (*if application includes removal or replacement of material*)
- Specification or product sheets for materials and finishes, if applicable
- Program of work for large-scale or complex projects, if applicable (i.e. scope of work for masonry restoration and cleaning)

### Attachments

Plans and graphics submitted for permitting may be used for Landmarks Review if materials, products and finishes are clearly indicated on the plans.

- Site plan/locational map INCLUDING adjacent buildings and streets (for any additions or new construction). *Note that Building and Land Use Services also often requires a site plan for a Building Permit. See Information Sheet B1 Site Plans (available at the Permit Counter).*
- MEASURED floor plans, CLEARLY identifying new and existing features (if applicable)
- MEASURED elevations, CLEARLY identifying new and existing features
- Details of method(s) of attachment for signs, awnings and canopies (if applicable)
- COLOR photographs of existing conditions (digital is fine as long as it is clear)

### Other Requirements

- Material and hardware samples (in some cases specification or cut sheets may suffice)
- True color paint and/or finish samples, where required by ordinance

## Part 5: SPECIAL REQUIREMENTS FOR SIGNS AND AWNINGS\*

### Instructions for Signs and Awning Applicants

Please include the following with your application:

- Twenty copies of the application cover sheet and narrative description (pages 1 and 2 of this form)
- Twenty copies of supporting attachments
- Graphic rendering of proposed sign (to scale with dimensions indicated, and including any conduits)
- Photograph of existing building
- Details of attachment
- Single set of material samples (if necessary)

Please answer the following questions (if applicable):

1. Are there existing signs on the building? \_\_\_\_\_
2. If so, will they be removed or relocated? \_\_\_\_\_
3. Sign Material \_\_\_\_\_
4. Sign Dimensions \_\_\_\_\_
5. Logo or typeface and letter size \_\_\_\_\_
6. Lighting Specifications \_\_\_\_\_
7. Describe the method of attachment and underlying material \_\_\_\_\_

\*Please see TMC 13.07 for Guidelines for Signs and Awnings, or contact the Historic Preservation Office.

Please attach all required supporting documentation to this application, and submit it to:

Historic Preservation Officer  
City of Tacoma  
747 Market Street, Room 1036  
Tacoma, WA 98402-3793

## Exterior

### **Site**

In south areaway, rebuild outer enclosure below concrete bridge for HVAC and recycling/trash. Install new locking doors to the enclosure below the concrete bridge and an iron gate closer to Commerce Street. Add outdoor seating along Broadway and at the Spanish Steps landing.

### **Walls**

Repair in-kind cement plaster. Cut out plaster and concrete at extensively corroded rebar. Clean to sound metal, treat with corrosion inhibitor, epoxy coat. Arrest jacking of exposed rebar and replace sections of rebar where necessary. Remove added ductwork from north facade. Repaint exterior walls with a water-based, flat, elastomeric paint to manage water infiltration and corrosion of rebar due to predominate placement of rebar near wall surface. Paint color to be primarily off-white (following existing precedent and compatible with original cement plaster finish), set against a slightly darker background. Off-white paint color to match concurrent City of Tacoma restoration work on the connected Spanish Steps.

### **Exterior Cast Ornament and Balconies**

Repair damaged concrete decks and concrete railings with in-kind material matching original dimensions and profiles. Remount loose railing elements in original locations. Stabilize and repair in-kind concrete and cement plaster castings and moldings. Cut out plaster and concrete at extensively corroded rebar and wall tie locations. Clean to sound metal, treat with corrosion inhibitor, epoxy coat. Arrest jacking of exposed rebar and wall ties and replace these metal elements where necessary. Set new anchors and tie in new reinforcing to existing intact reinforcing. For extensively failed and missing castings, recast and reattach at their original locations. Repair castings along the wall sections within close public contact and visibility with in-kind material. Along the upper roofline, replicate the previously removed plaster dentils using contemporary, lightweight replacement materials. Due to seismic concerns, distance from public view and contact, and extent of public activities along the building base these present a safer option for restoring the building's original visual character. Repaint repaired castings and paint new to match exterior walls using the same water-based elastomeric paint.

### **Ironwork**

Repair existing grilles. Remove, repair and reposition existing iron railings six inches higher than their original positions to meet current safety code. Strip grilles and railings, clean to sound metal. Repaint to protect iron, matching existing color. Add iron safety railing above concrete balustrade at outdoor seating balconies, east and south facades. Railing will have similar design to original iron balcony railings.

### **Roof**

Replace battened hipped metal roof and repair existing chimneys. Iron cresting missing from sections of east facade. Clean intact, stable cresting to sound metal then treat with corrosion

inhibitor, reproduce sections of missing cresting to match original, and paint all. Galvanized iron gutter previously patched with new material. Update gutter as necessary. Remove biological growth from all surfaces. Reroof the recessed deck set behind and out of sight behind the hipped roof, with contemporary membrane roofing.

## Openings

### **Windows**

Restore to operable state, removing added nails and screws locking shut. Uncover boarded-over windows. Repair in-kind damaged casings; replace in-kind interior casings where previously removed matching original materials and profile. Strip and repaint wooden elements, removing graffiti from exterior and interior surfaces. Replace missing locking hardware. Replace missing or broken lites. Repaint window interiors and exteriors. Two tall casement windows in the north wall of the 6<sup>th</sup> floor will be converted to exit doors. Due to addition of new parking and hotel structure adjacent to the north facade as well as an anticipated need for sound attenuation from the existing building, some north windows will be in-filled, stuccoed and painted to match exterior walls. Easternmost window in the north wall of the 2<sup>nd</sup> floor will be reglazed with obscure glass, as befitting a restroom window. Previously removed, boarded over window opening on south areaway at the 1<sup>st</sup> floor level will receive metal louvers instead of a replacement sash, to allow for updated building ventilation.

### **Doors**

Restore to operable state. Replace glazing above and on either side of doorways. Strip, repair and repaint exterior wooden elements as necessary, including entablature, framing and trim to match existing. Cut out plaster and concrete surrounds at extensively corroded rebar. Clean to sound metal, treat with corrosion inhibitor, epoxy coat. Arrest jacking of exposed rebar and replace sections of rebar where necessary. Repair surrounds and castings with in-kind material, repaint to match exterior walls. Repair all damaged and replace any missing sections with in-kind materials matching original dimensions and profiles. Universal access (ADA) ramp to be added at main public entrance on Broadway. Ramp will require the extension of existing steps, to accommodate ramp landing.

## Interior

### **First Floor (Commerce level)**

Rehabilitate floor to provide mechanical and electrical space as well as pool and bar spaces. Restore original southeast stairway lobby and entry corridor to the east entrance, repairing and replacing in-kind damaged and missing plaster ornament and trim. Provide additional circulation connection through the southwest stairway and elevator to comply with building code egress requirements. Adaptively reuse extensively altered below grade central and south floor area for pool, bar, storage, and restrooms. North and northwest portions to remain in mechanical/electrical usage. Reuse northeast mechanical space for brewery operations. Retain original terrazzo and tiles, and provide new flooring over concrete in remaining public spaces. Retain concrete flooring in mechanical and brewery spaces. In east entrance vestibule, infill west side with doorway.

## **Second Floor (Spanish Steps entrance level)**

Restore the main banquet hall (auditorium) space for events and dining. Rehabilitate perimeter spaces to continue their original role supporting banquet hall functions providing dining and restroom functions. Retain original circulation connection to the exterior at the east entrance and to upper and lower floors through the southeast and northwest stairways. Repair portions of stage and dance floor where missing or deteriorated. Repair and replace in-kind damaged and missing plaster ornament. Repaint plaster ornament, walls and ceilings. Remove non-original alterations, including 1948 stair to mezzanine. On the 2<sup>nd</sup> floor, leading from the banquet hall to the south corridor, three of five sets of double doors will be sealed in place. Tall, wood sash pivot window openings along north side of banquet hall, which are currently blocked by the 1937 addition, will be in-filled on the exterior but the windows will be restored on the interior. Easternmost window in the north wall of the banquet hall will be reglazed with obscure glass, as befitting a restroom window.

## **Third Floor (Mezzanine)**

Rehabilitate the existing mezzanine (3<sup>rd</sup> floor) level to continue its original role providing extended support space for the banquet hall. Convert existing bar and lobby spaces to game room, conference and restroom spaces. Restore the main southeast stairway landing. Convert existing west passage to an ADA ramp. Adaptively reuse extensively deteriorated below grade storage space off the building's west side as a bar area. Remove added partitions and finishes along the south portion of the floor.

## **Fourth Floor (Broadway level)**

Rehabilitate this extensively altered floor to provide a host desk, kitchen and dining facilities. Restore the main southeast stairway landing. Expand the existing entrance lobby to service the elevator and stairway while providing service to the host desk and connecting dining space. Repaint plaster. Remove added partitions, stage, floor coverings and finishes to return to an open space for dining compatible with the original card room and social space.

## **Fifth Floor (Gallery)**

Expand existing gallery space from the south portion of the 4<sup>th</sup> floor out to the north, east and west over secondary perimeter spaces around the main central space and columns. Continue floor plate/wall connection precedent from existing gallery level above 4<sup>th</sup> floor window headers to not obstruct windows. Restore the original plaster ceiling, columns and capitals through removal of the added drop ceiling and in-kind repair of existing plaster detailing. Repaint plaster.

## **Sixth Floor**

Rehabilitate central meeting (lodge) room volume to provide event space with surrounding support spaces continuing to provide support functions for the central space. Repair damaged plaster and finishes throughout the floor. Clean and repaint pediments and trim. Replace plaster ceiling. Cut out and patch plaster in damaged portions of walls. Restore the central ceiling medallion. Provide additional circulation connection from the main space to the exterior through

two existing windows, which are to become single doors. Doors will open onto an added balcony with exit steps at the east and west ends, to comply with current building code egress requirements. There are four sets of double doors, one set per corner of the lodge room. All will be restored with the exception of the southwest set. The southwest double doors will be converted to a single door, to accommodate the proposed elevator.

### **Seventh Floor (Gallery)**

Remove deteriorated seating and damaged plaster from visitor's balcony and rehabilitate this area overlooking the lodge room. Rehabilitate existing utilitarian rooms over the east end of the lodge room for use as support spaces.

On all floors, original circulation connections between the existing entrances and the three stairwells will be retained. In the case of the altered southwest stairwell, the condition and limited reach of the stairs necessitate replacement with a new stairwell, which will meet building code and service all floors.

### **Primary (southeast) Stairway**

This stairwell winds around an elevator shaft in the southeast corner of the building. High quality materials and finishes are commensurate with the high public visibility and access to significant spaces on all floors. Restore existing stairway to provide one of two main public stairways within the building. Stairs featured a terrazzo floor with marble borders and oak handrails. Terrazzo is largely intact but damaged in various places. Oak handrails are either missing or damaged. Repair and replace in-kind damaged and missing terrazzo flooring and base. Repair in-kind damaged plaster ornament and walls. Restore windows to operation along the stairwell. Repair in-kind doors leading to stairway landings at each floor level. Repair and replace in-kind as needed wood handrails along stairway. Double doors onto the southeast stairway will be replaced with single doors at the 4<sup>th</sup> floor (Broadway level). Original double doors from the southeast stairway onto the 3<sup>rd</sup> floor have previously been removed; these will become single doors.

### **Secondary (southwest) Stairway**

Originally, this stairway consisted of a half-turn stair between the Broadway entrance (4<sup>th</sup> floor) and the former lodge room (6<sup>th</sup> floor). Access down to the floor below Broadway was added but is not safe at present. Original finishes and handrail have been previously removed. Replace stairway with new building code compliant southwest elevator and stairway servicing all floors and fulfilling building code egress requirements. Provide compatible contemporary finishes including painted plaster walls and ceilings. Provide compatible landings at each floor with connection to surrounding spaces. Double doors onto the southwest stairway will be replaced with single door at the 6<sup>th</sup> floor.

## **Service (northwest) Stairway**

Located in the northwest corner of the building, this stairwell provides access to all floors. Present utilitarian materials and treatments commensurate with service function. Finished concrete steps with metal pipe handrails, with sections of railing missing. Rehabilitate stairwell to provide an important service link between floors for staff. Replace missing sections of metal pipe railing. Strip failing paint layers. Patch areas of broken wall.

## **Small Features**

### **Hardware**

No original (1916) hardware found on interior or accessible portions of exterior. Extant hardware dates from subsequent renovations (1937, 1948). New hardware will be provided throughout the building compatible with the overall visual and historic character of the building and complying with building code requirements.

### **Lighting**

A few fixtures which may be original are located at the east end of the 2<sup>nd</sup> floor banquet hall. All other fixtures are missing or later replacements. Exterior bronze wall sconces are gone. New lighting fixtures will be reintroduced throughout the building and on the exterior.

## **List**

### **Remove**

Remove added security gate and added over-door signage at west entrance.

Remove 1937 addition (north facade).

Remove added ductwork from north facade.

Remove non-original interior alterations, including 1948 stair from 2<sup>nd</sup> floor banquet hall and 1948 4<sup>th</sup> floor stage.

Remove deteriorated seating and damaged plaster from visitor's balcony.

### **Replace**

Missing or broken glazing.

Damaged sections of exterior concrete, cement plaster or ironwork with in-kind materials, except along roofline. Along the upper roofline, replicate the previously removed plaster dentils using contemporary, lightweight replacement materials.

Plaster ceiling in 6<sup>th</sup> floor lodge room.

Previously altered and currently unstable southwest stairwell. Replace stairway with new building code compliant elevator and stairway servicing all floors and fulfilling building code egress requirements.

Double doors onto the southeast stairway will be replaced with single door at the 4<sup>th</sup> floor. Double doors onto the southwest stairway will be replaced with single door at the 6<sup>th</sup> floor.

Original double doors from the southeast stairway onto the 3<sup>rd</sup> floor have previously been removed; these will become single doors.

Two tall casement windows in the north wall of the 6<sup>th</sup> floor will be converted to exit doors to provide additional circulation connection from the main space to the exterior and comply with current building code egress requirements.

Easternmost window in the north wall of the 2<sup>nd</sup> floor will be reglazed with obscure glass, as befitting a restroom window.

Replace existing outer enclosure on the south areaway with new wall and locking doors.

## Add

Additional gallery space to existing gallery (5<sup>th</sup> floor) for dining space.

Additional circulation connection through the southwest stairway and elevator to comply with building code egress requirements.

Integrate a ramp behind the 2<sup>nd</sup> floor stage, leading up from the current mezzanine level in the existing passage.

In south areaway, add HVAC and recycling/trash service to existing enclosure. Install new locking doors below the concrete bridge and an iron gate closer to Commerce Street.

Add outdoor seating along Broadway and at the Spanish Steps landing.

In 1<sup>st</sup> floor east entrance vestibule, infill west side with doorway.

Add iron safety railing above concrete balustrade at outdoor seating balconies, east and south facades. Railing will have similar design to original iron balcony railings.

On the north facade at the 6<sup>th</sup> floor, add exterior balcony and two stairways as part of additional circulation connection from the lobby room to the exterior. Doors will open onto the added balcony with exit stairs at the east and west ends, to comply with current building code egress requirements.

Previously removed, boarded over window opening on south areaway at the 1<sup>st</sup> floor will receive metal louvers instead of a replacement sash, to allow for updated building ventilation.

APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Historic Photographs & Maps

HP1: West (Broadway Street) Facade, 1922



HP2: West (Broadway Street) Facade, ca. 1940



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

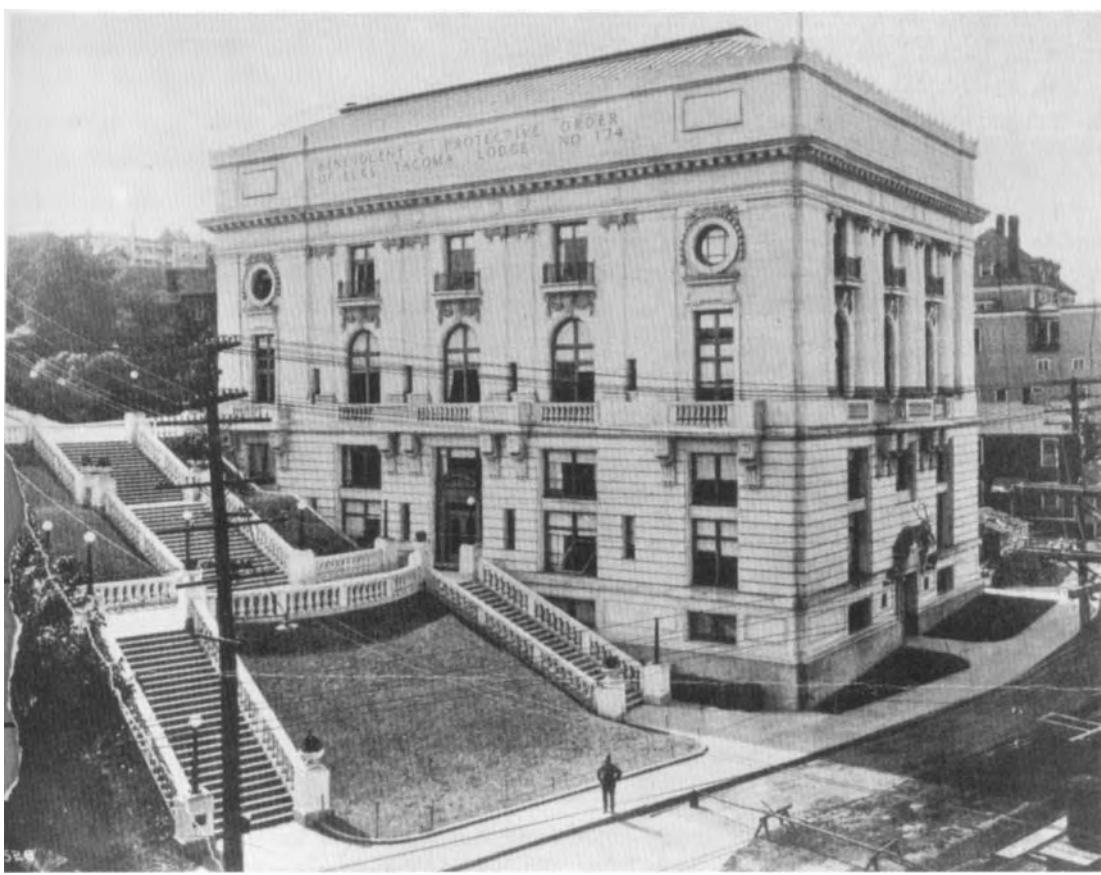
*Property Address*

Historic Photographs & Maps

HP3: West (Broadway Street) Facade, 1967



HP4: South and East (Commerce Street) Facades, ca. 1922



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

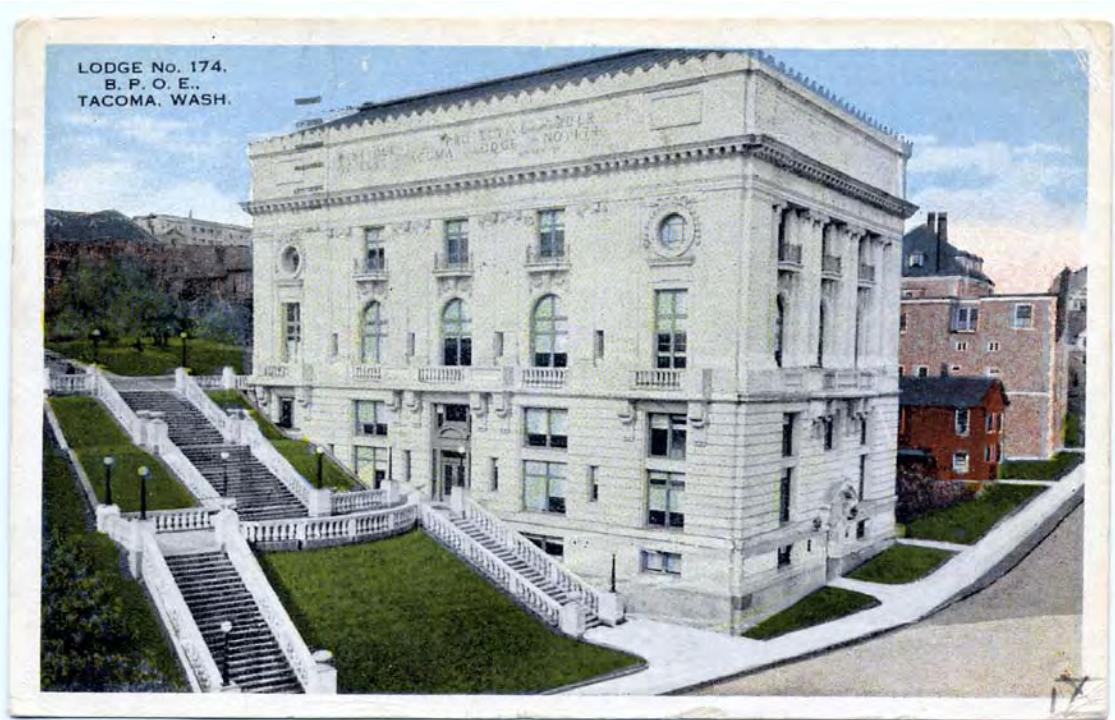
565 Broadway

Tacoma, WA 98402

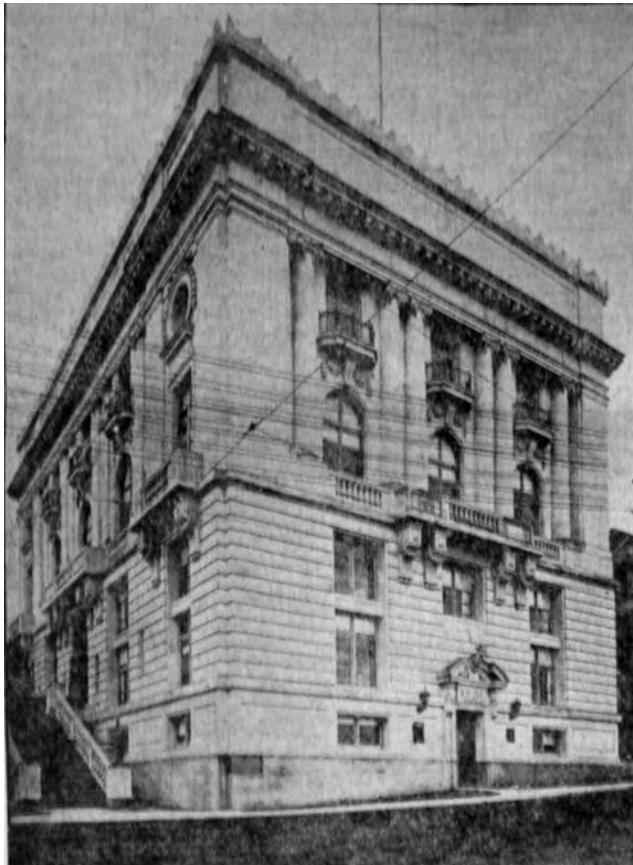
*Property Address*

Historic Photographs & Maps

HP5: Postcard, South and East Facades, 1916



HP6: East (Commerce Street) Facade , 1916



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

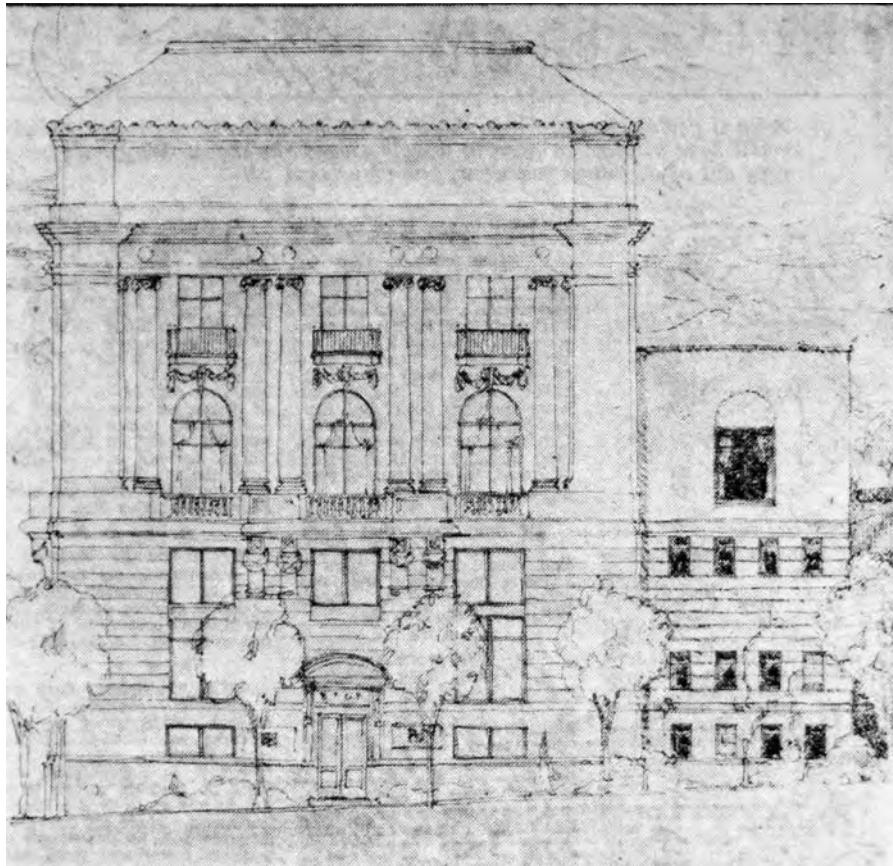
565 Broadway

Tacoma, WA 98402

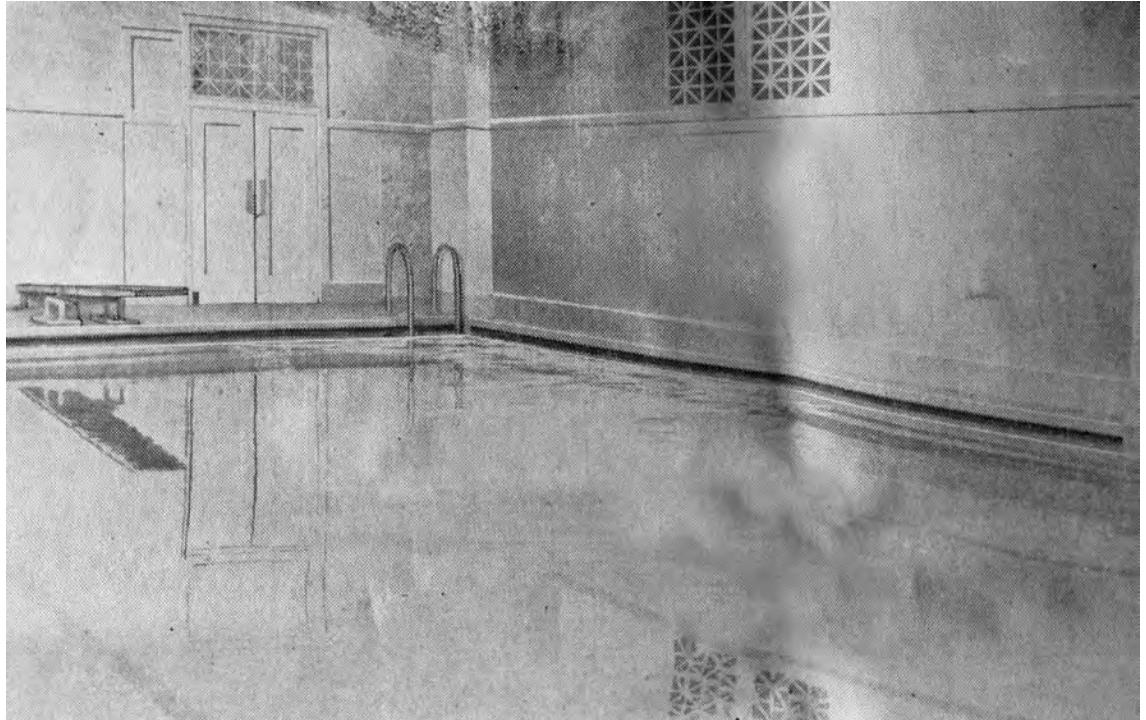
*Property Address*

Historic Photographs & Maps

HP7: East (Commerce Street) Facade, Sketch of 1937 Addition, 1937



HP8: First Floor, Swimming Pool, 1937



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

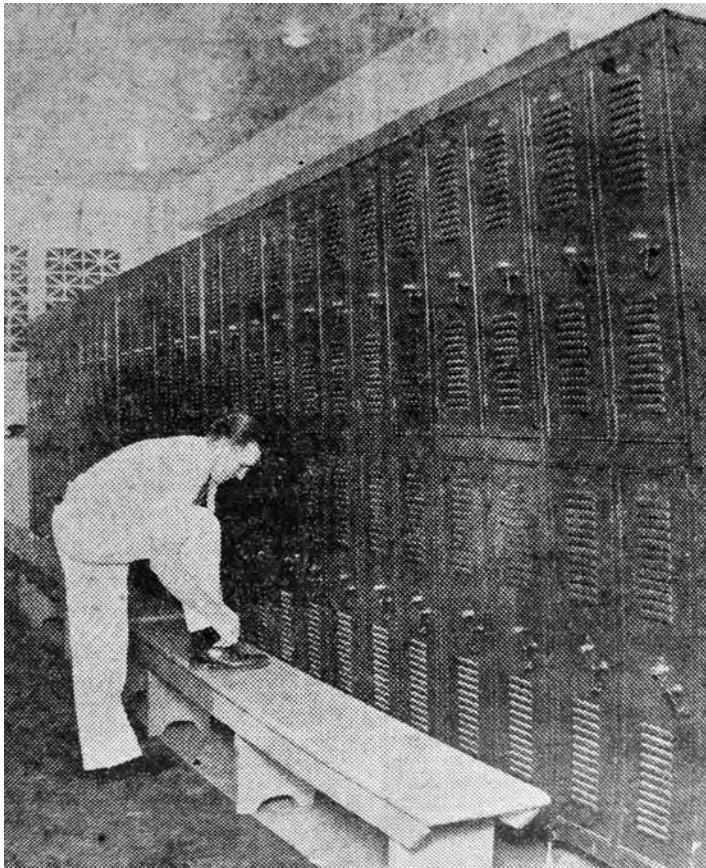
565 Broadway

Tacoma, WA 98402

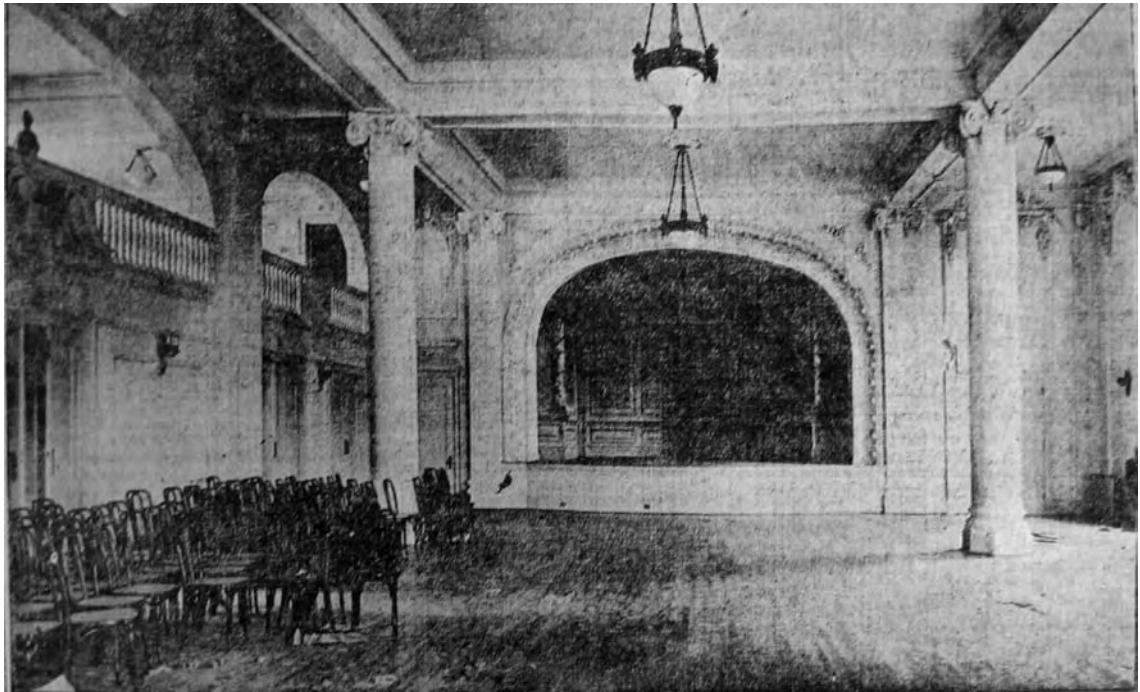
Property Address

[Historic Photographs & Maps](#)

HP9: First Floor, Locker Room, 1937



HP10: Second Floor, Banquet Hall; also, Third Floor (Mezzanine), 1916.  
For current condition, see CP34.



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

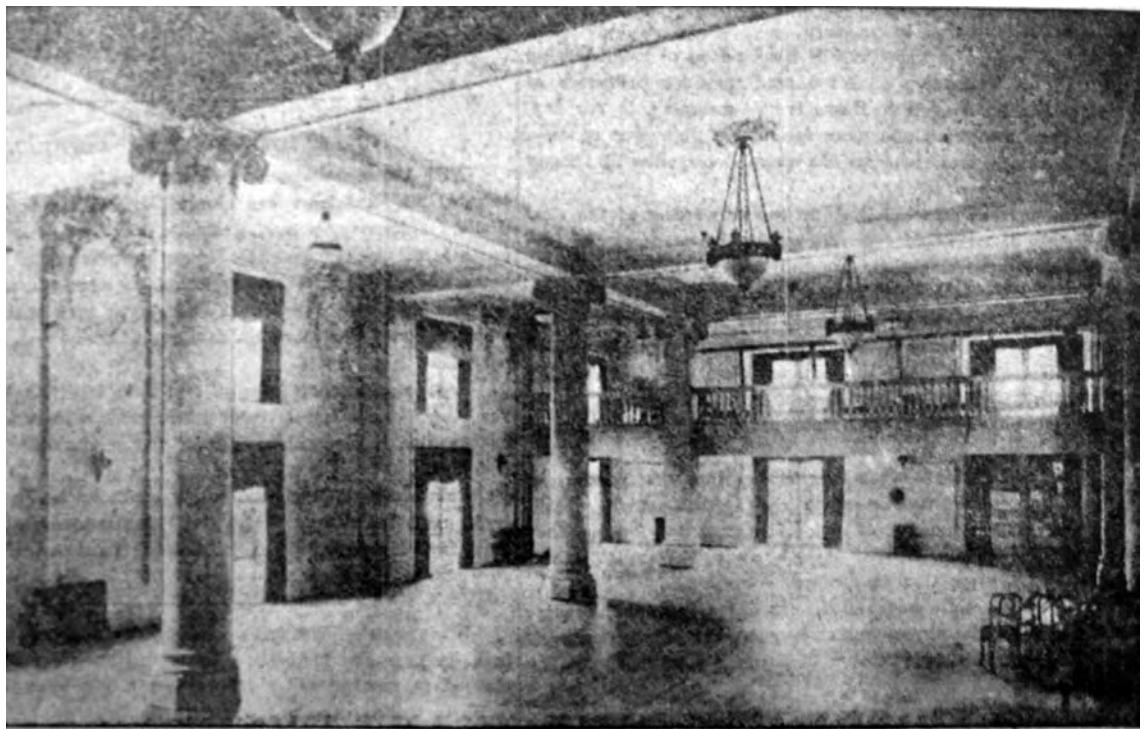
565 Broadway

Tacoma, WA 98402

*Property Address*

Historic Photographs & Maps

HP11: Second Floor,  
Banquet Hall; also, Third  
Floor (Mezzanine), 1916.  
For current condition, see  
CP37.



HP12: Second Floor,  
Banquet Hall, 1947



Turner Richards Studio, Tacoma

APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

565 Broadway

Tacoma, WA 98402

Property Address

[Historic Photographs & Maps](#)

HP13: Fourth Floor, Card Room, 1916



HP14: Fourth Floor, Dining Room, 1916. For current condition, see CP53.



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

565 Broadway

Tacoma, WA 98402

Property Address

[Historic Photographs & Maps](#)

HP15: Fourth Floor,  
Billiard and Lounging  
Room, 1916. For current  
condition, see CP50.



HP16: Fourth Floor,  
Billiard and Lounging  
Room, 1916



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Historic Photographs & Maps

HP17: Fourth Floor,  
Dining Room, ca.1938



HP18: Fourth Floor,  
Dining Room, ca. 1938



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Historic Photographs & Maps

HP19: Sixth Floor, Lodge Room, ca. 1916. For current condition, see CP60.



HP20: Sixth Floor, Lodge Room; also, Visitor's Balcony at right. 1951. For current condition, see CP59.



Richards Studio, Tacoma

## **APPLICATION FOR DESIGN REVIEW Commercial**

## Elks Temple

Property Name

565 Broadway

Tacoma, WA 98402

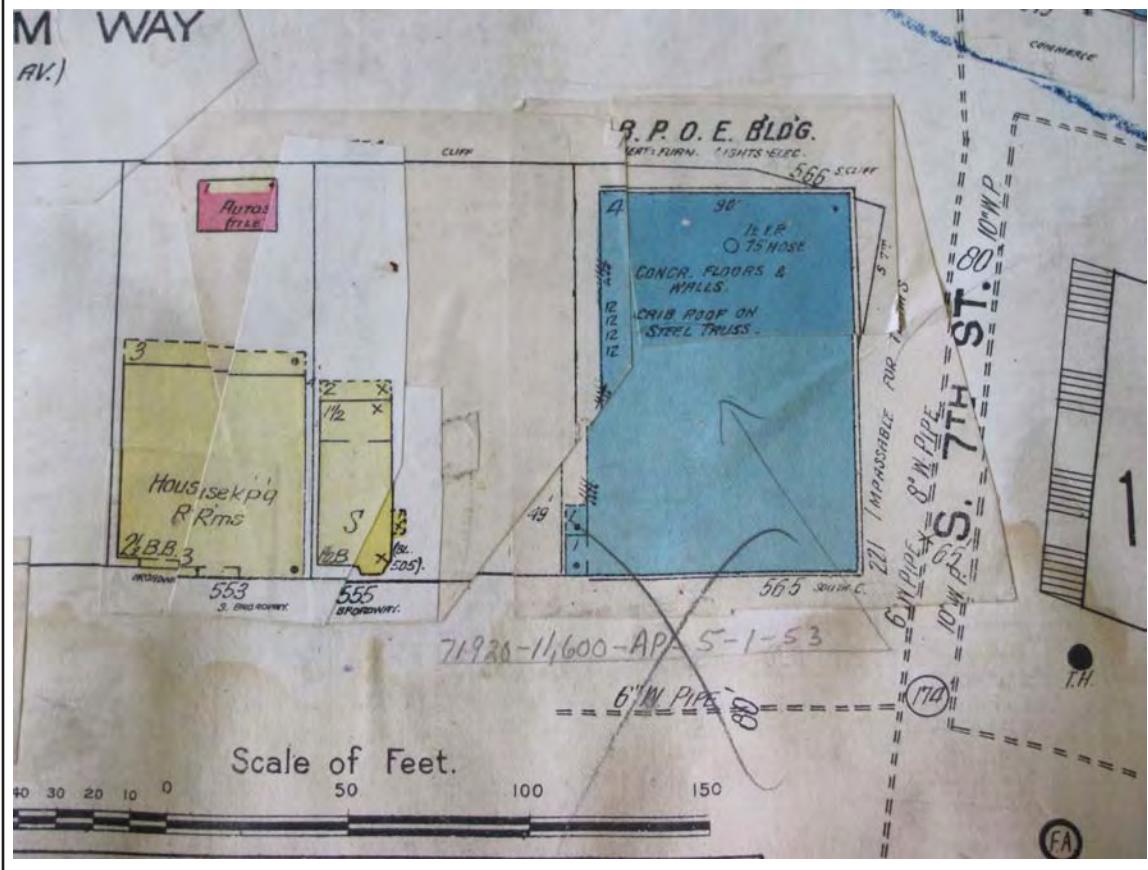
### *Property Address*

## Historic Photographs & Maps

HP21: Sixth Floor, Lodge  
Room; also, Visitor's  
Balcony at left, 1956



HP22: Sanborn Map,  
Update to 1912 Map, ca.  
1916 (East is at the top of  
the image)



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

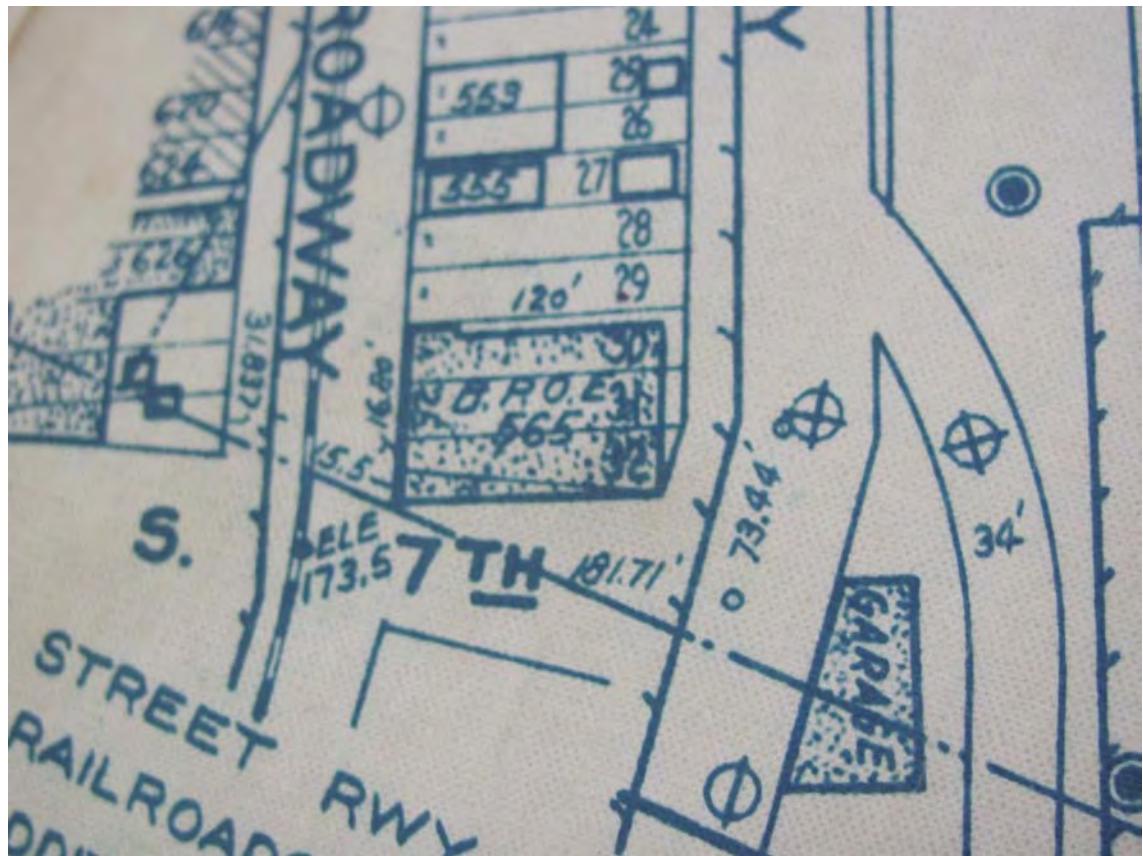
565 Broadway

Tacoma, WA 98402

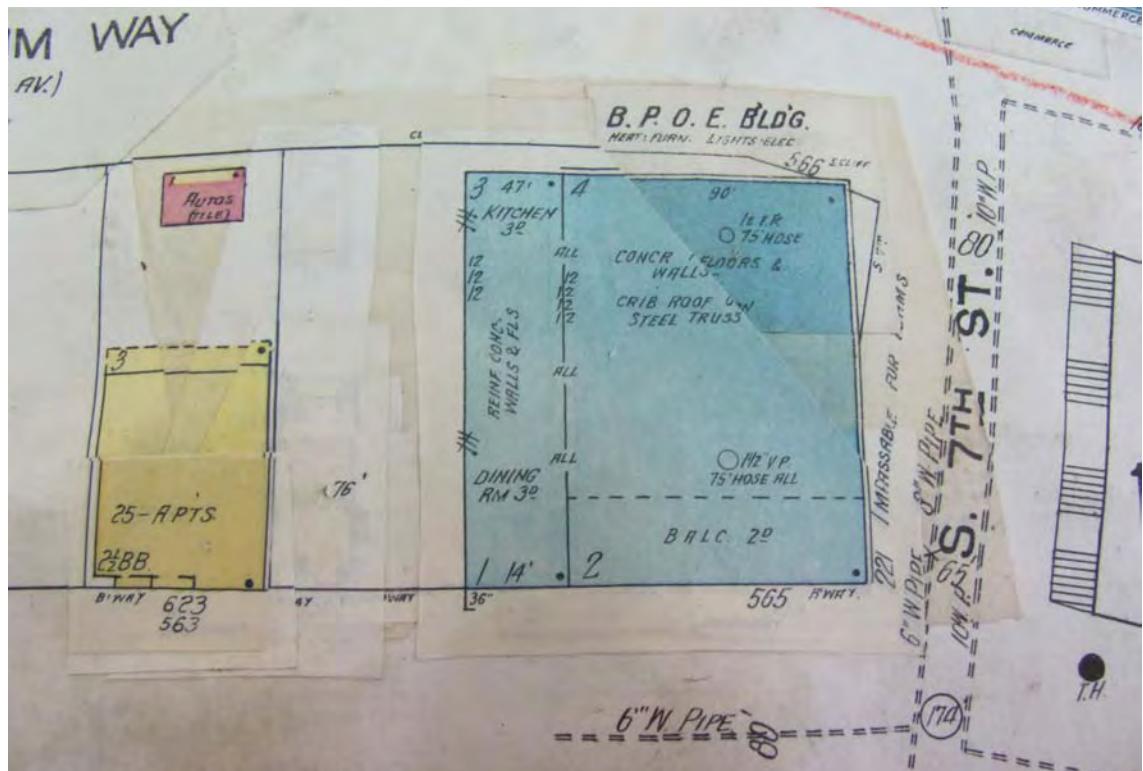
Property Address

Historic Photographs & Maps

HP23: Metsker's Atlas,  
1926 (North is at the top  
of the image)



HP24: Sanborn Map,  
1912-1950 Update, ca.  
1937 (East is at the top  
of the image)



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

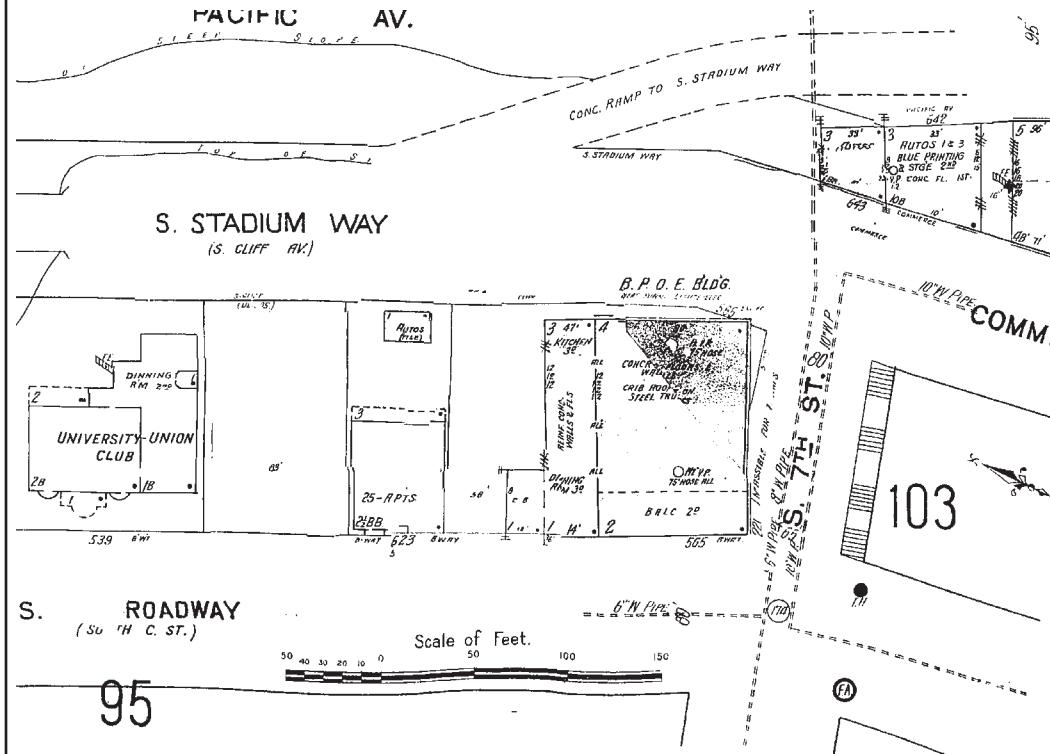
565 Broadway

Tacoma, WA 98402

Property Address

Historic Photographs & Maps

HP25: Sanborn Map,  
1950 (East is at the top  
of the image)



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP1: West and South  
Facades, 2010



CP2: South and East  
Facades, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP3: South Facade  
Detail, 2010



CP4: South and East  
Facades, 2010



**APPLICATION FOR DESIGN REVIEW**  
**Commercial**

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP5: North Facade, 2010



CP6: North and West  
Facades, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP7: Exterior Wall Detail,  
Southwest Corner, 2010



CP8: East Entrance  
Detail, 2010



**APPLICATION FOR DESIGN REVIEW**  
**Commercial**

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

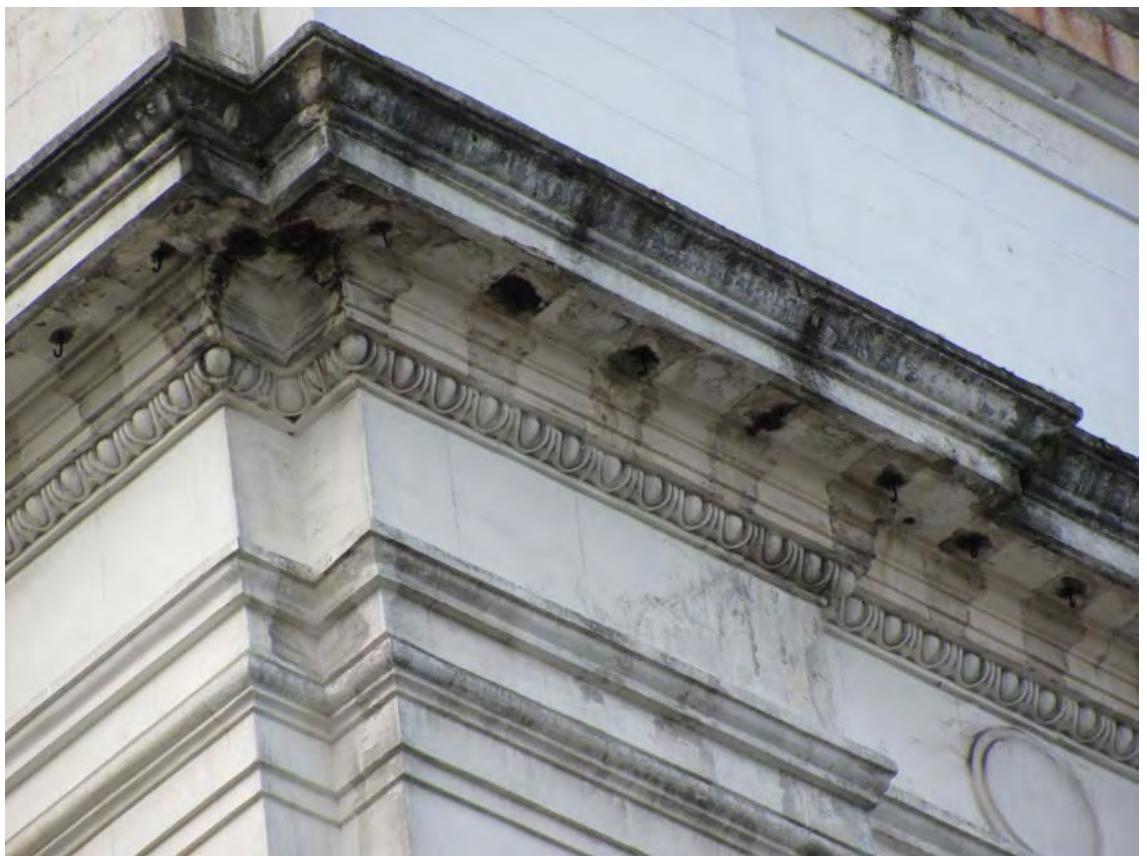
*Property Address*

Existing Conditions

CP9: Exterior Concrete  
Ornamental Detail, East  
Facade, 2010



CP10: Cornice Detail,  
2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP11: Exterior Wall  
Applied Molding Detail,  
West Facade, 2010



CP12: East Facade  
Detail, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

565 Broadway

Tacoma, WA 98402

Property Address

Existing Conditions

CP13: East Facade,  
wrought iron balcony and  
concrete deck details,  
2010



CP14: Exterior Grille  
Detail, East Facade, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP15: Windows, principal types clockwise from top left: bull's eye; center horizontal pivots, all lites; center horizontal pivot; casement. For fourth floor casement window types, refer to CP13. 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP16: Roof, looking north, 2010



CP17: Roof, looking west, 2010



CP18: Roof Cresting  
Detail, East Facade, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP19: East Entrance  
(Commerce Street)  
Exterior View, 2010



CP20: East Entrance  
(Commerce Street)  
Interior View, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP21: South Entrance  
(Spanish Steps), Exterior  
View, 2010



CP22: South Entrance  
(Spanish Steps), Interior  
View, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP23: West Entrance  
(Broadway), Exterior  
View, 2010



CP24: West Entrance  
(Broadway), Interior View,  
2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

565 Broadway

Tacoma, WA 98402

Property Address

Existing Conditions

CP25: First Floor,  
swimming pool, looking  
southwest, 2010



CP26: First Floor,  
swimming pool and diving  
board, looking northeast,  
2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

565 Broadway

Tacoma, WA 98402

Property Address

Existing Conditions

CP27: First Floor, showers and changing area of pool room looking southeast, 2010



CP28: First Floor, former Bowling Alley, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP29: First Floor, former Gymnasium, 2010



CP30: First Floor, former Handball Court, 2010



**APPLICATION FOR DESIGN REVIEW**  
**Commercial**

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

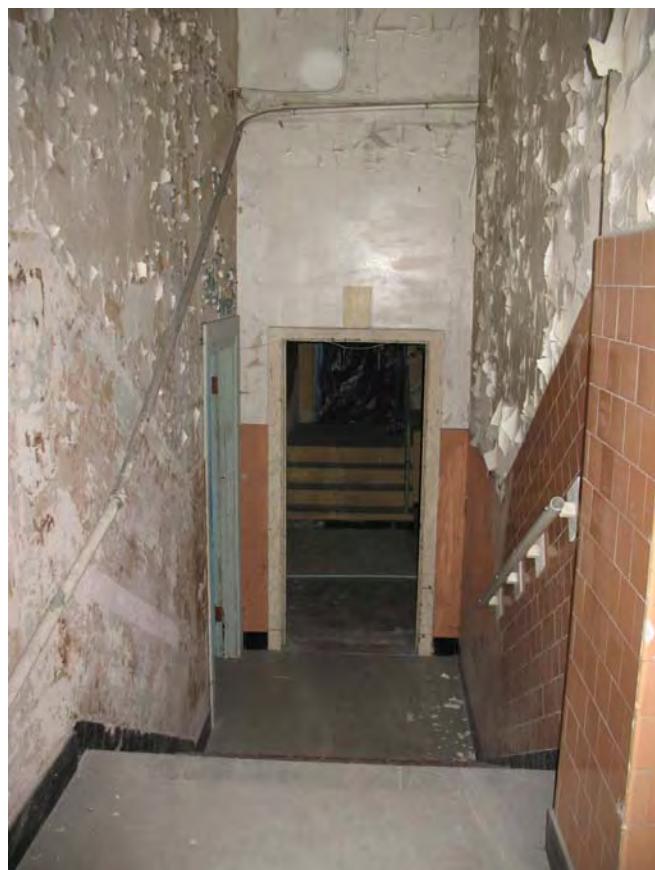
*Property Address*

Existing Conditions

CP31: First Floor, Rubbing  
and Steam Room, looking  
east, 2010



CP32: First Floor,  
passageway west of  
vestibule, looking north,  
2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP33: First Floor,  
vestibule, looking south,  
2010



CP34: Second Floor,  
Banquet Hall, looking  
west, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP35: Second Floor,  
Banquet Hall, looking  
south across the east end  
of the hall, 2010



CP36: Second Floor,  
Banquet Hall, looking  
north across the east end  
of the hall, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP37: Second Floor,  
Banquet Hall, looking  
east, 2010



CP38: Second Floor,  
Banquet Hall, proscenium  
stage (west end), 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP39: Second Floor,  
Banquet Hall, wall and  
ceiling detail, 2010



CP40: Second Floor,  
Banquet Hall doors to  
corridor at southwest  
corner of room, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP41: Second Floor,  
corridor, looking east,  
2010



CP42: Second Floor,  
Ladies Retiring Room,  
2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP43: Second Floor;  
Ladies' Toilet at left, Men's  
Toilet at right, 2010



CP44: Second Floor,  
Coatroom, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP45: Second Floor,  
service corridor looking  
east, 2010



CP46: Second Floor,  
Kitchen, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP47: Second Floor,  
areaway along north side  
of Banquet Hall, looking  
west, 2010



CP48: Third Floor  
(Mezzanine), looking  
north across east end,  
2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP49: Third Floor  
(Mezzanine), looking  
west across former  
Refreshment Room,  
2010



CP50: Fourth Floor,  
Billiard & Lounging Room  
looking south across east  
end, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

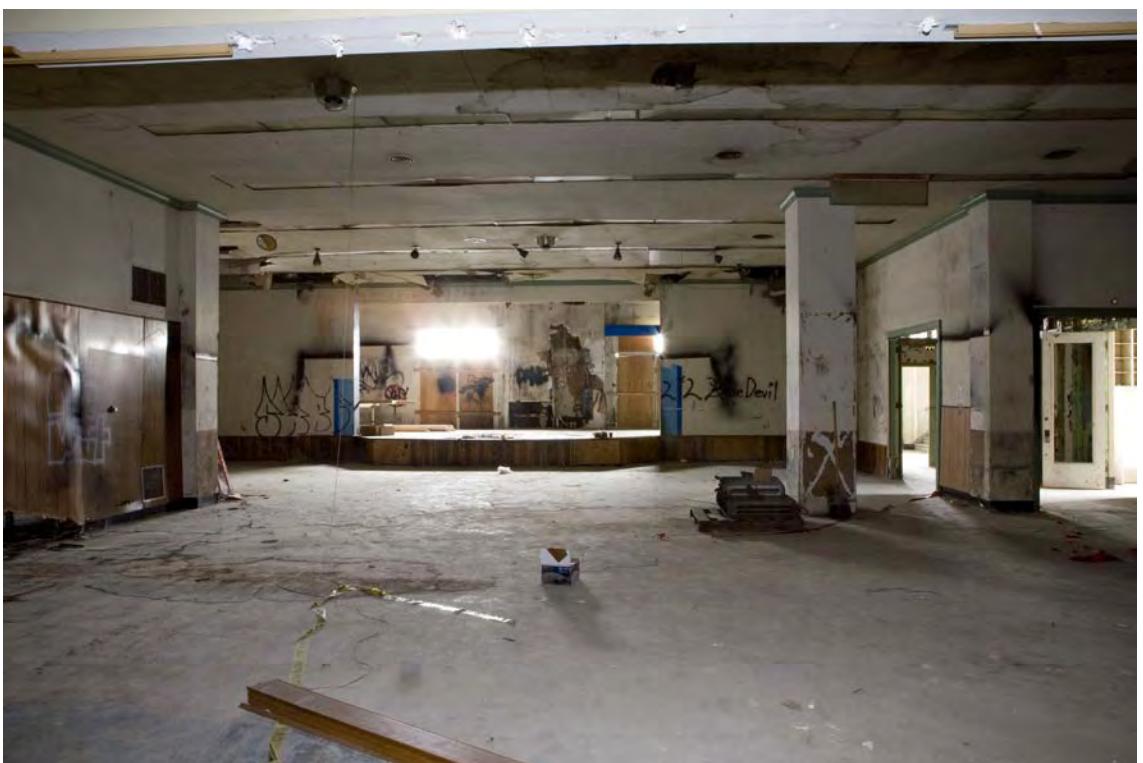
*Property Address*

Existing Conditions

CP51: Fourth Floor,  
Billiard & Lounging Room  
looking west, 2010



CP52: Fourth Floor,  
Billiard & Lounging Room  
looking east, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP53: Fourth Floor,  
Dining Room looking  
north across west end,  
2010



CP54: Fourth Floor,  
former Coatroom, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

565 Broadway

Tacoma, WA 98402

Property Address

Existing Conditions

CP55: Fifth Floor (added gallery), former Reading Room (upper level), 2010



CP56: Fifth Floor (added gallery), former Card Room, wall and ceiling detail, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

565 Broadway

Tacoma, WA 98402

Property Address

Existing Conditions

CP57: Fourth Floor,  
looking from southeast  
stairwell west down the  
corridor, 2010



CP58: Fourth Floor,  
corridor looking west,  
2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP59: Sixth Floor, Lodge Room looking southwest, 2010



CP60: Sixth Floor, Lodge Room looking northeast, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP61: Sixth Floor, Lodge Room, wall and pediment detail, 2010



CP62: Sixth Floor, Lodge Room, secondary spaces along west end looking north, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP63: Sixth Floor, Tylers Hall looking north, 2010



CP64: Sixth Floor, looking south across east end (former Paraphernalia Room and Organ Space), 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP65: Sixth Floor, Lodge Room, ceiling detail, 2010



CP66: Seventh Floor, Visitor's Balcony (overlooking Lodge Room), looking south, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP67: Seventh Floor,  
Visitor's Balcony (as seen  
from Lodge Room), 2010



CP68: Southeast Stairwell  
at sixth floor, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

565 Broadway

Tacoma, WA 98402

Property Address

Existing Conditions

CP 69: Southeast Stairwell, landing between sixth and fourth floors, 2010



CP70: Southeast Stairwell at fourth floor, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP71: Southeast Stairwell  
at third floor (mezzanine),  
2010



CP72: Southeast  
Stairwell, looking down  
to landing between third  
and second floors, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

565 Broadway

Tacoma, WA 98402

Property Address

Existing Conditions

CP73: Southeast Stairwell  
at second floor, 2010



CP74: Southeast Stairwell. Left: looking down to landing between second and first floors; right, looking down to first floor from landing, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP 75: Southwest Stairwell. Left: looking up to sixth floor; right, looking up from fourth floor to landing, 2010



CP 76: Southwest Stairwell at fourth floor (former Secretary's Room in corner), 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

Property Name

565 Broadway

Tacoma, WA 98402

Property Address

Existing Conditions

CP 77: Southwest Stairwell, added portion looking down from fourth floor, 2010



CP 78: Southwest Stairwell, added portion at third floor, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP 79: Northwest  
Stairwell, 2010



CP 80: Northwest  
Stairwell, looking down  
to boiler room and first  
floor, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP81: Stairs to Roof,  
2010



CP82: Second Floor,  
looking down (added)  
Banquet Hall stairs, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP83: Winder stairs (added) going up from fourth floor to an added gallery level (fifth floor) along the floor's south side, 2010



CP84: Stairs to Visitor's Balcony, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP85: Light fixture, east end of Banquet Hall, 2010



CP86: Elevator machinery room, topping the southeast stairwell above the sixth floor, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP87: Looking south along the seventh floor's east side passageway, 2010



CP88: Janitor's room, seventh floor at the northeast corner, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP89: 1937 Addition, first floor handball court, 2010



CP90: 1937 Addition, stairs at second floor, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP91: 1937 Addition,  
second floor kitchen, 2010



CP92: 1937 Addition, third  
floor at northwest corner  
(includes portion of former  
kitchen of main building),  
2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP93: 1937 Addition,  
looking down passage  
from main building  
to addition at the northeast  
end of the main building's  
fourth floor, 2010



CP94: 1937 Addition, third  
floor, northeast dining  
area, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

*Property Address*

Existing Conditions

CP95: Areaway, south exterior wall, looking west at second floor level, 2010



CP96: Areaway, south exterior wall, looking west at first floor level, 2010



APPLICATION FOR DESIGN REVIEW  
Commercial

Elks Temple

*Property Name*

565 Broadway

Tacoma, WA 98402

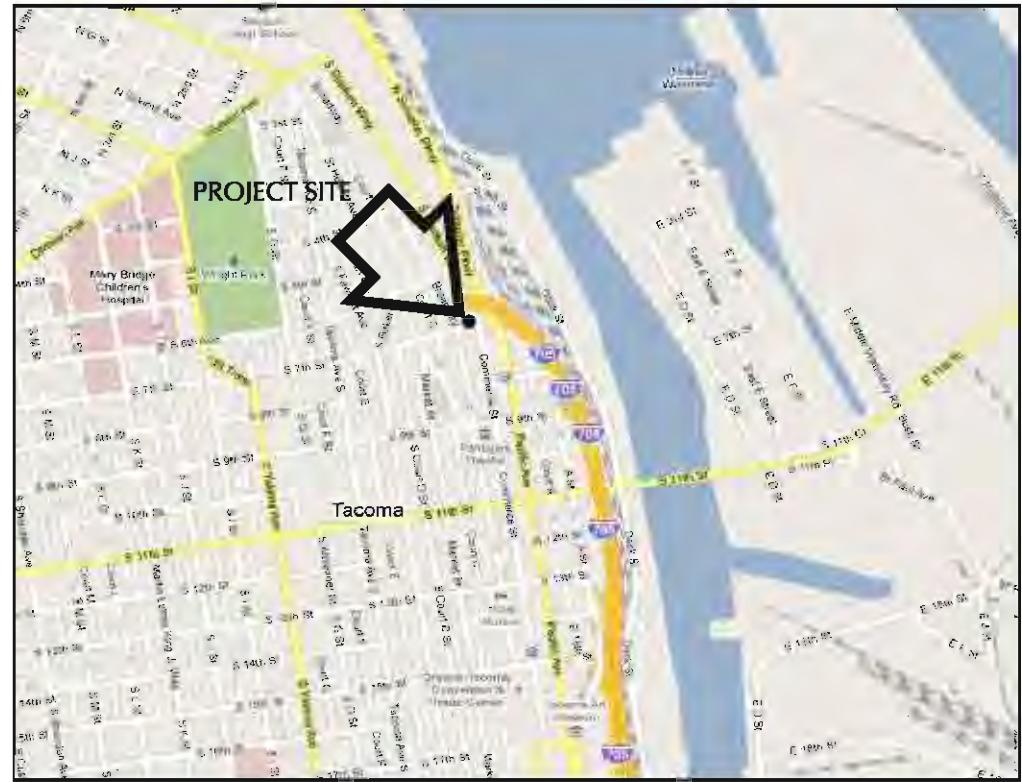
*Property Address*

Existing Conditions

CP97: Spanish Steps,  
looking southwest at  
second floor level, 2010



# Mcmenamins



VICINITY MAP



AERIAL PHOTO

PROJECT TEAM	
Owners:	McMenamin's, Inc.
Vice President:	Brian McMenamin 430 N. Killingsworth Ave. Portland, OR 97217 Phone: 503.223.0109 Fax: 503.294.0837
Project Architect:	Ankrom Moisan Associated Architects
Project Manager:	Mario Espinoza 6720 S.W. Macadam, Suite 100 Portland, OR 97219 Phone: 503.245.7100 Fax: 503.245.7710
Project Engineer:	Froelich Consulting Engineers, Inc.
Project Manager:	Tim Terich, P.E., S.E. 6969 S.W. Hampton Street Tigard, Oregon 97223 Phone: 503.624.7005



HISTORIC PHOTO

DRAWING INDEX	
DR CS	COVER SHEET
DR 1.1	AERIAL - EXISTING SITE
DR 1.2	PLAN - SITE
DR 2.1	PLANS - 1ST AND 2ND FLOORS
DR 2.2	PLANS - 3RD AND 4TH FLOORS
DR 2.3	PLANS - 5TH AND 6TH FLOORS
DR 2.4	PLANS - 7TH FLOOR AND ROOF
DR 3.1	ELEVATION - EAST
DR 3.2	ELEVATION - SOUTH
DR 3.3	ELEVATION - WEST
DR 3.4	ELEVATION - NORTH
DR 3.5	ELEVATION - ENLARGED WEST
DR 3.6	ELEVATION - ENLARGED SOUTH
DR 3.7	ELEVATION - ENLARGED EAST
DR 5.1	VIEWS - EXISTING
DR 6.1	VIEWS - RESTORED
DR 7.1	DETAILS - CANOPIES
DR 7.2	DETAILS - SIGNAGE
DR 7.3	DETAILS - SIGNAGE
DR 7.4	NOT USED
DR 7.5	DETAILS - BALCONIES
DR 7.6	DETAILS - MISCELLANEOUS



RESTORED BUILDING

DESIGN REVIEW SET

TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DRCS  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

DR CS

TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

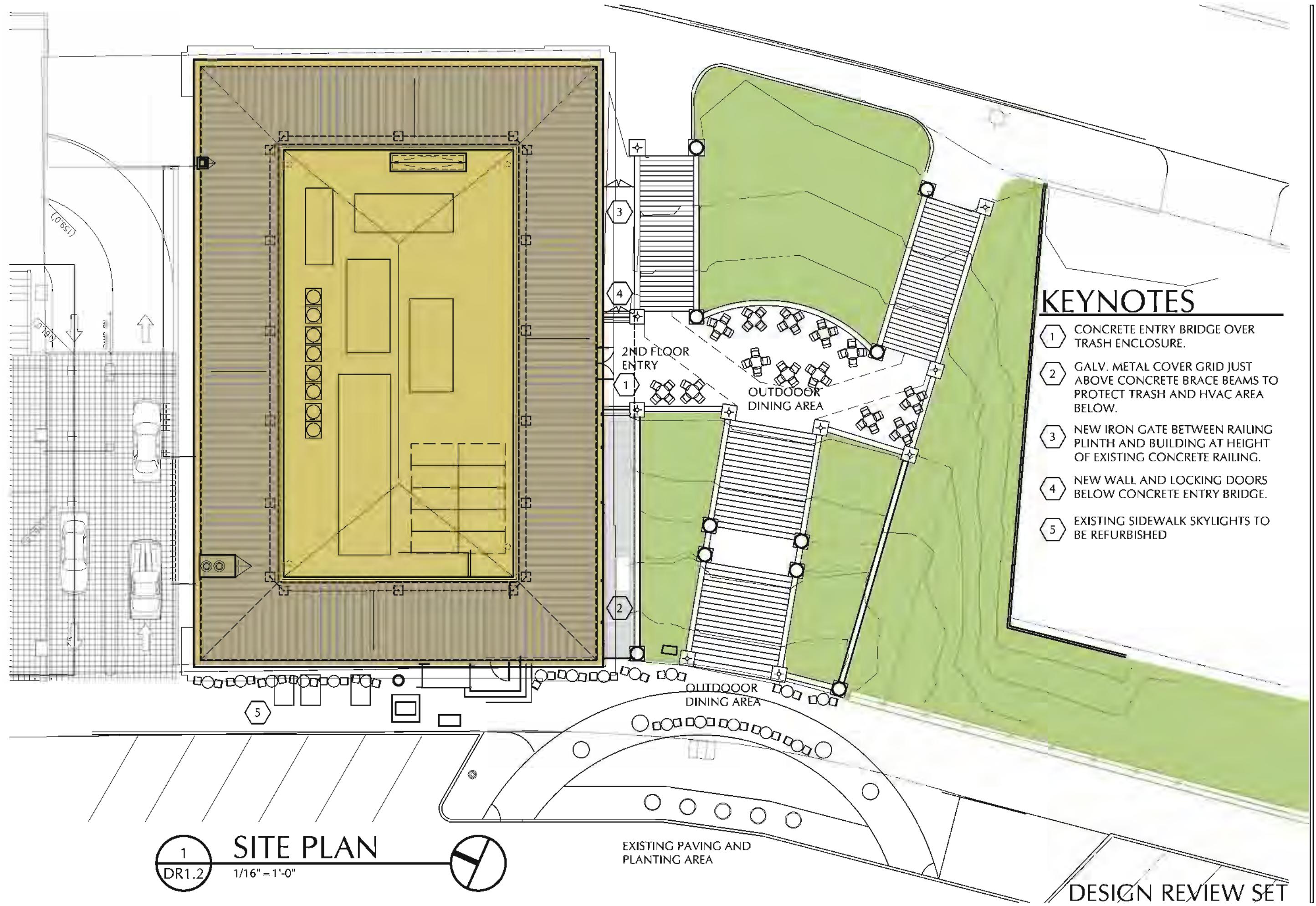
DATE: 08/25/10  
JOB: 091720  
FILE: DR1.1  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010



TACOMA ELKS TEMPLE CONVERSION  
 McMENAMINS, INC.  
 565 Broadway St.  
 Tacoma WA, 98493

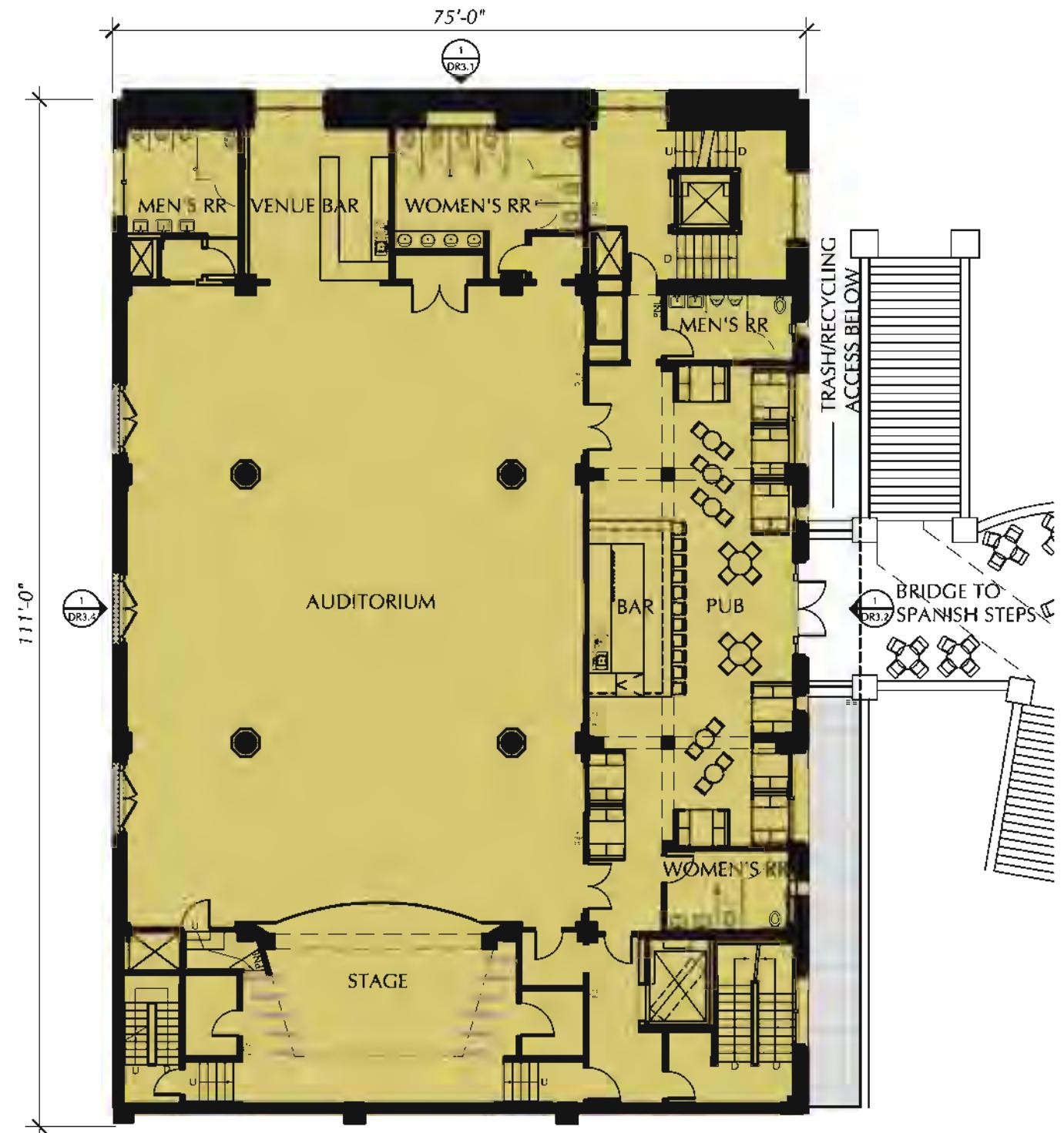
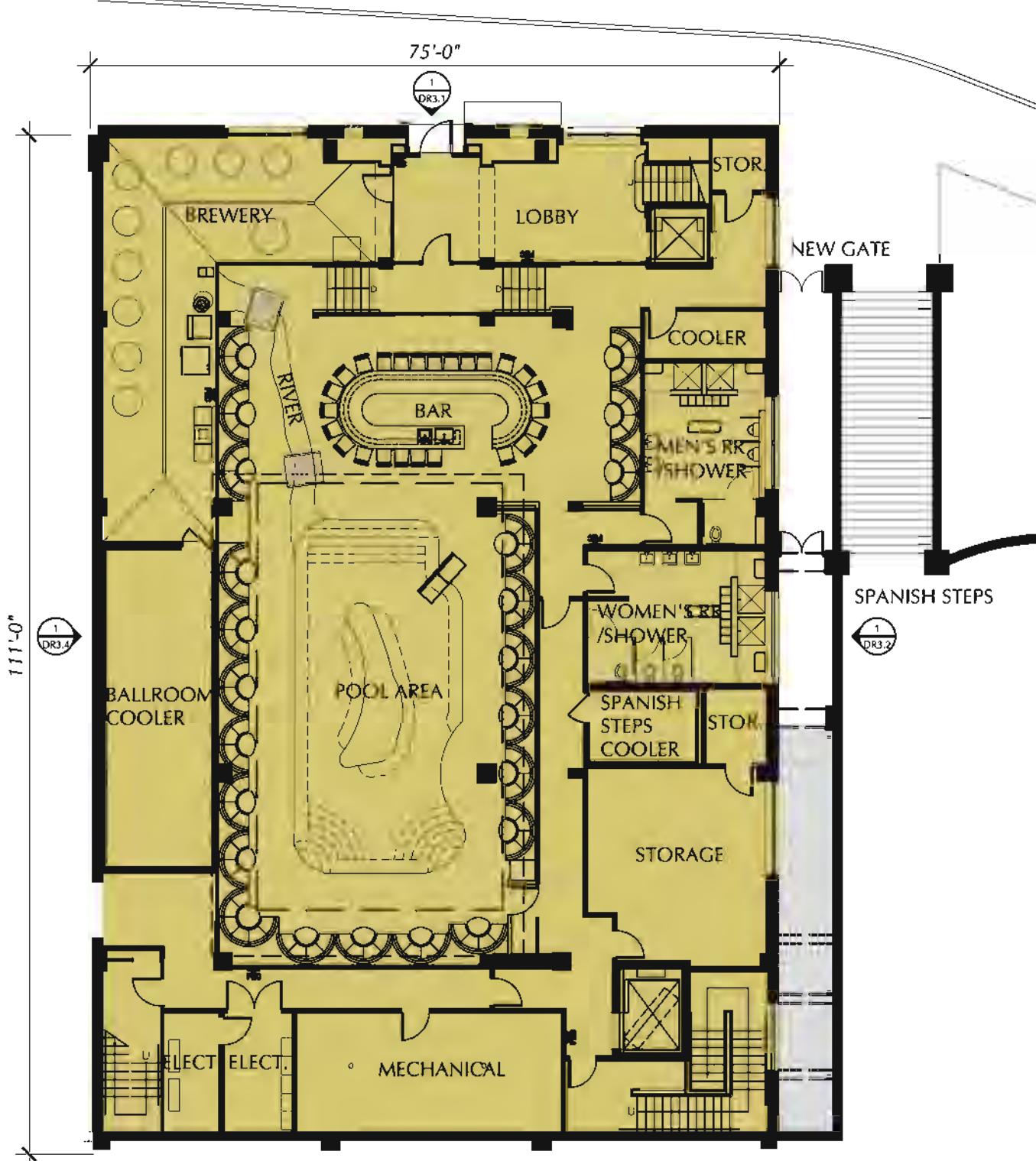
DATE: 08/25/10  
 JOB: 091720  
 FILE: DR1.2  
 DRAWN: BB  
 CHECKED:  
 COPYRIGHT ANKROM MOISAN  
 ASSOCIATED ARCHITECTS 2010

**DR 1.2**



TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR2.1  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010



1 1/16" = 1'-0"  
1 DR2.1  
1ST FLOOR PLAN (Commerce St.)

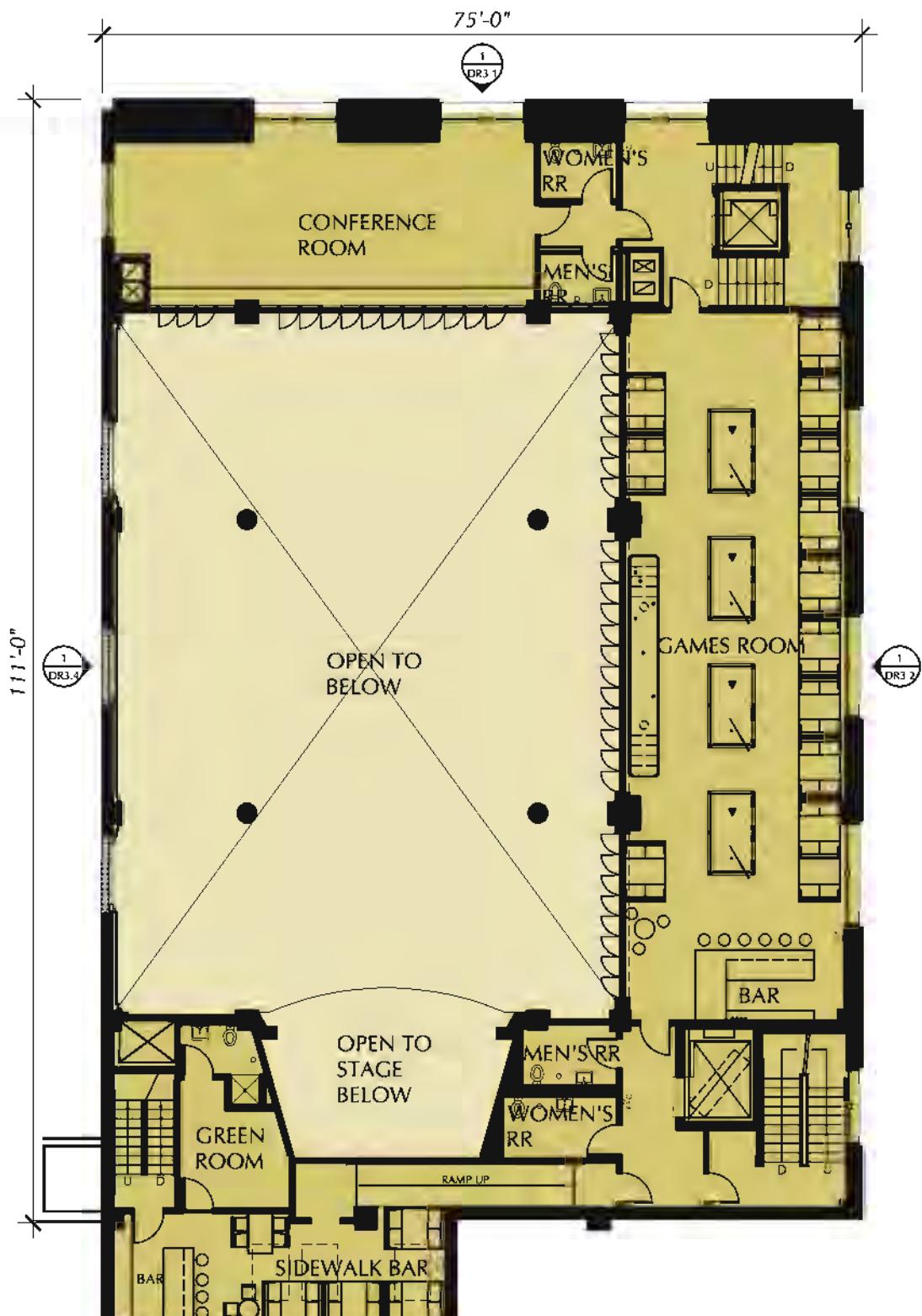
2 1/16" = 1'-0"  
2 DR2.1  
2ND FLOOR VENUE PLAN

DESIGN REVIEW SET

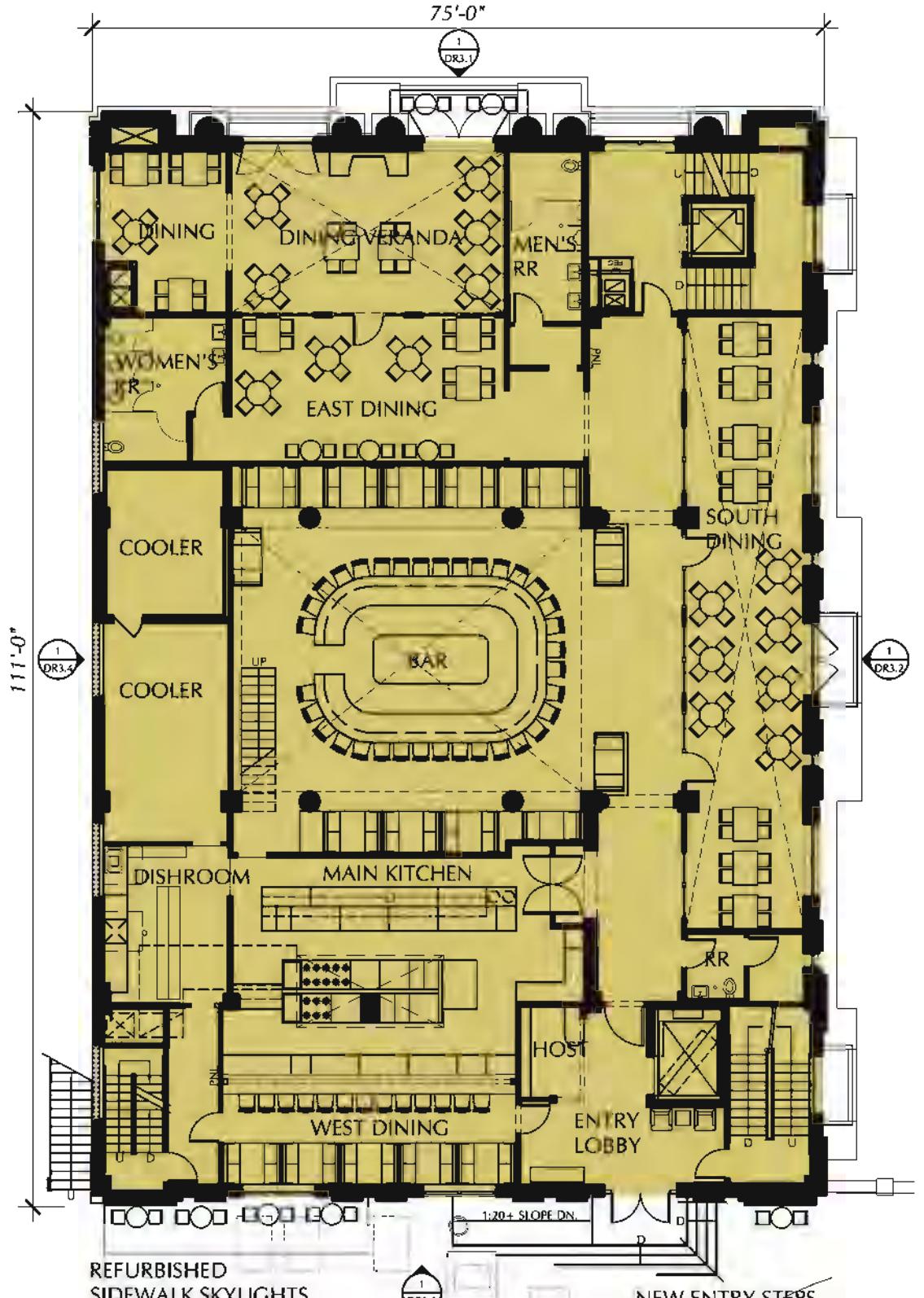
DR 2.1

TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR2.2  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010



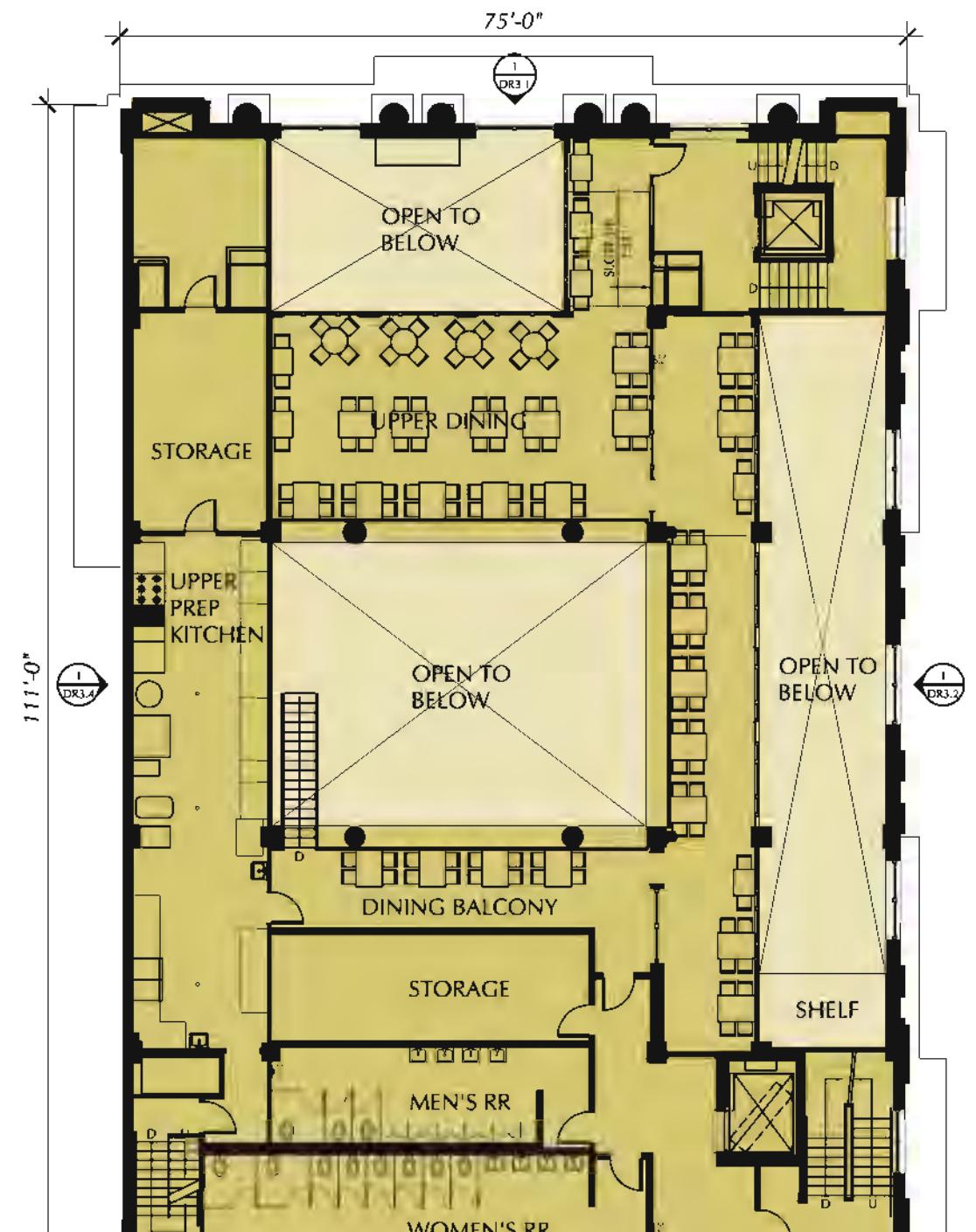
3RD FLOOR GALLERY PLAN  
1 DR2.2 3/32" = 1'-0"



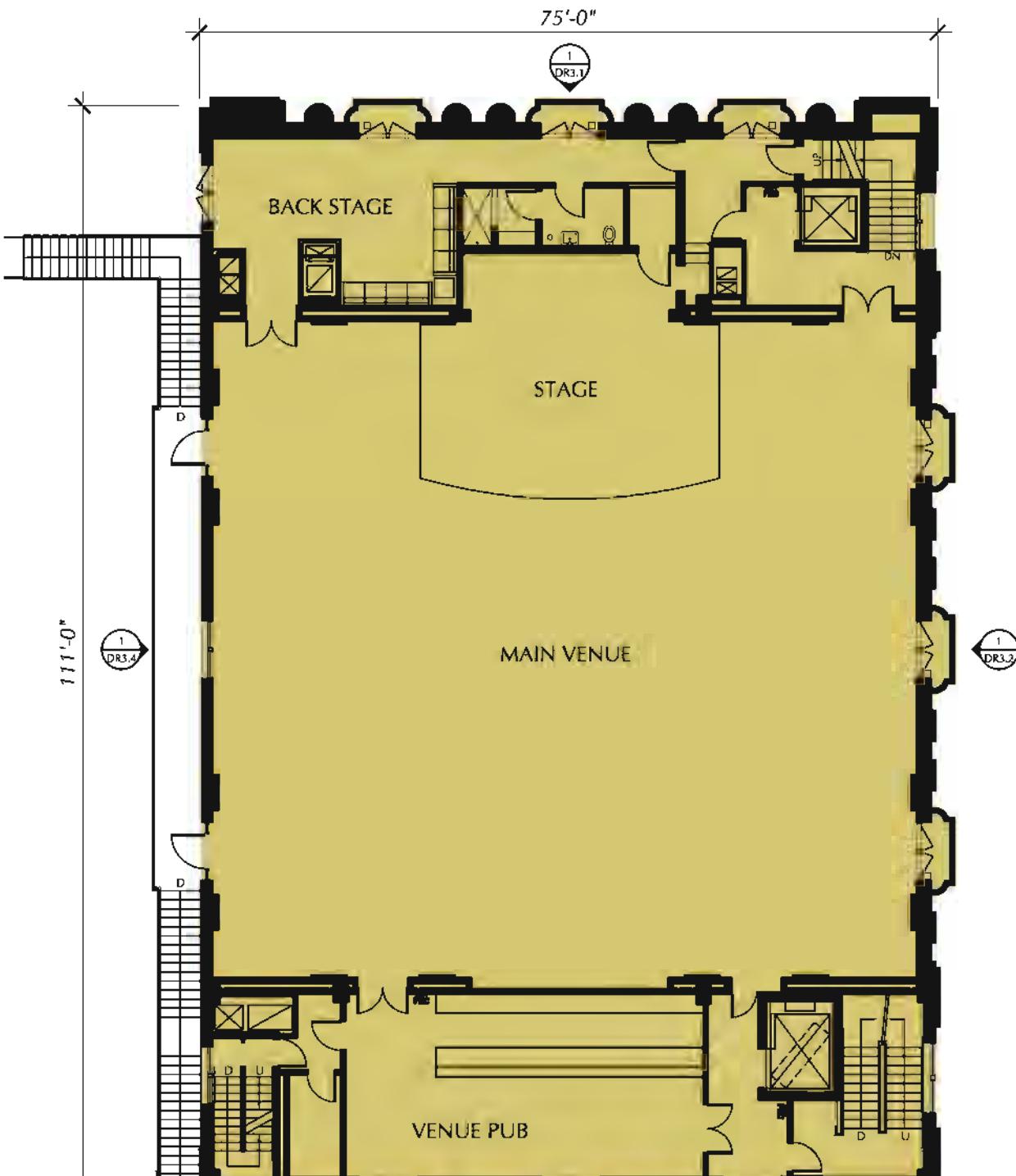
4TH FLOOR PLAN (Broadway)  
2 DR2.2 3/32" = 1'-0"

DESIGN REVIEW SET

DR 2.2



1 DR2.3 5TH FLOOR GALLERY PLAN  
1/16" = 1'-0"

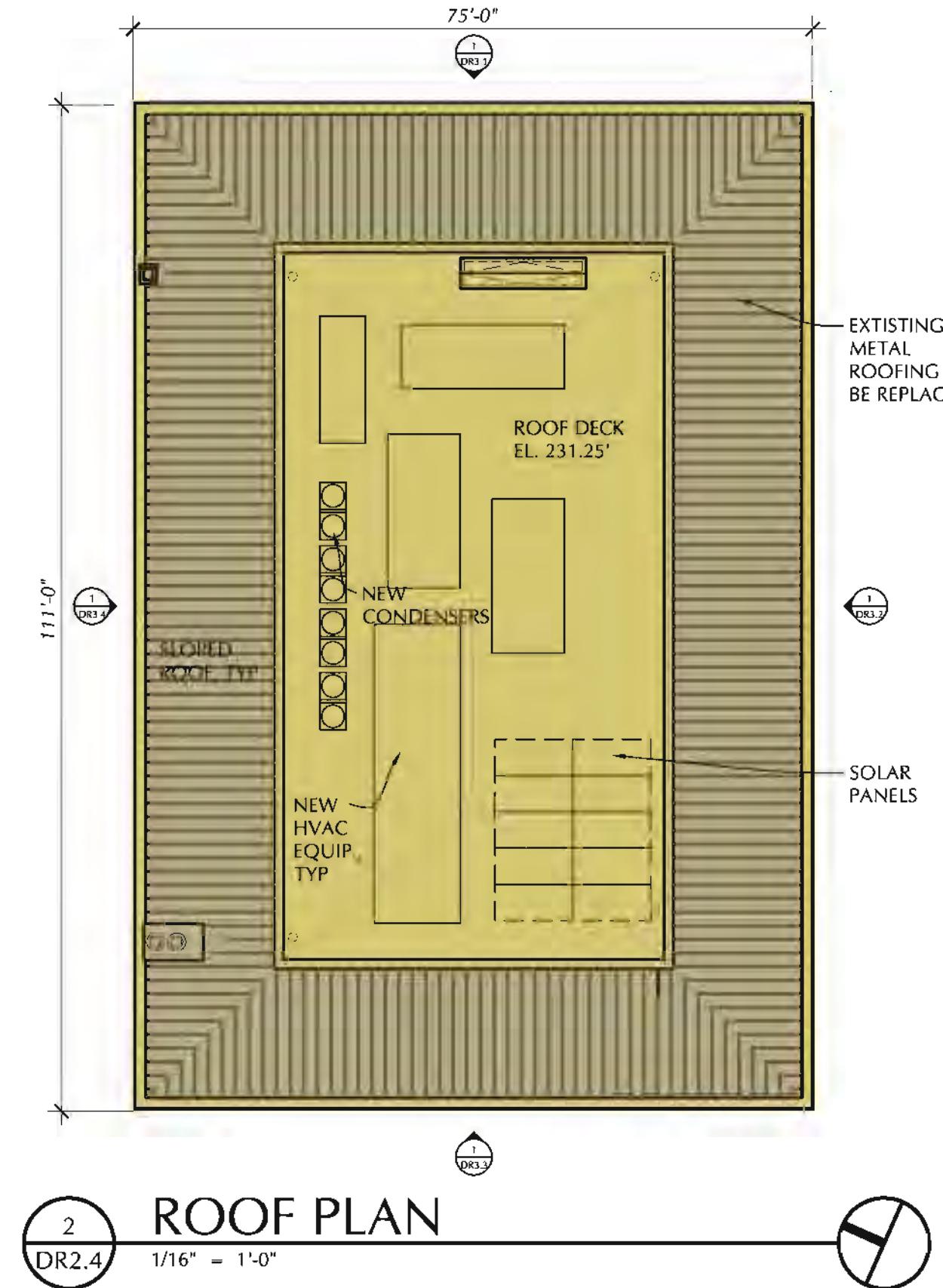
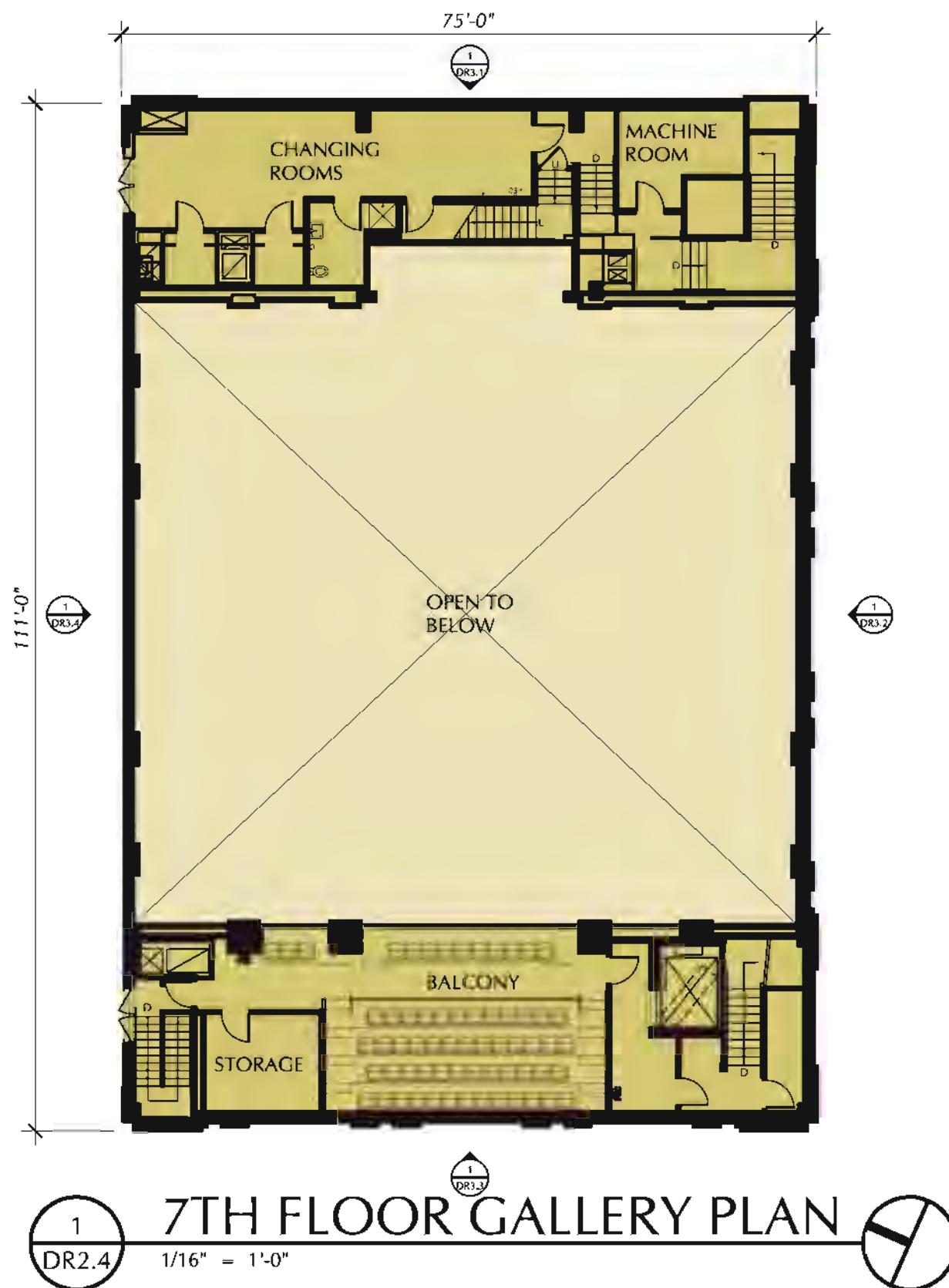


2 DR2.3 6TH FLOOR VENUE PLAN  
1/16" = 1'-0"

DESIGN REVIEW SET

TACOMA ELKS TEMPLE CONVERSION  
MCMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR2.3  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

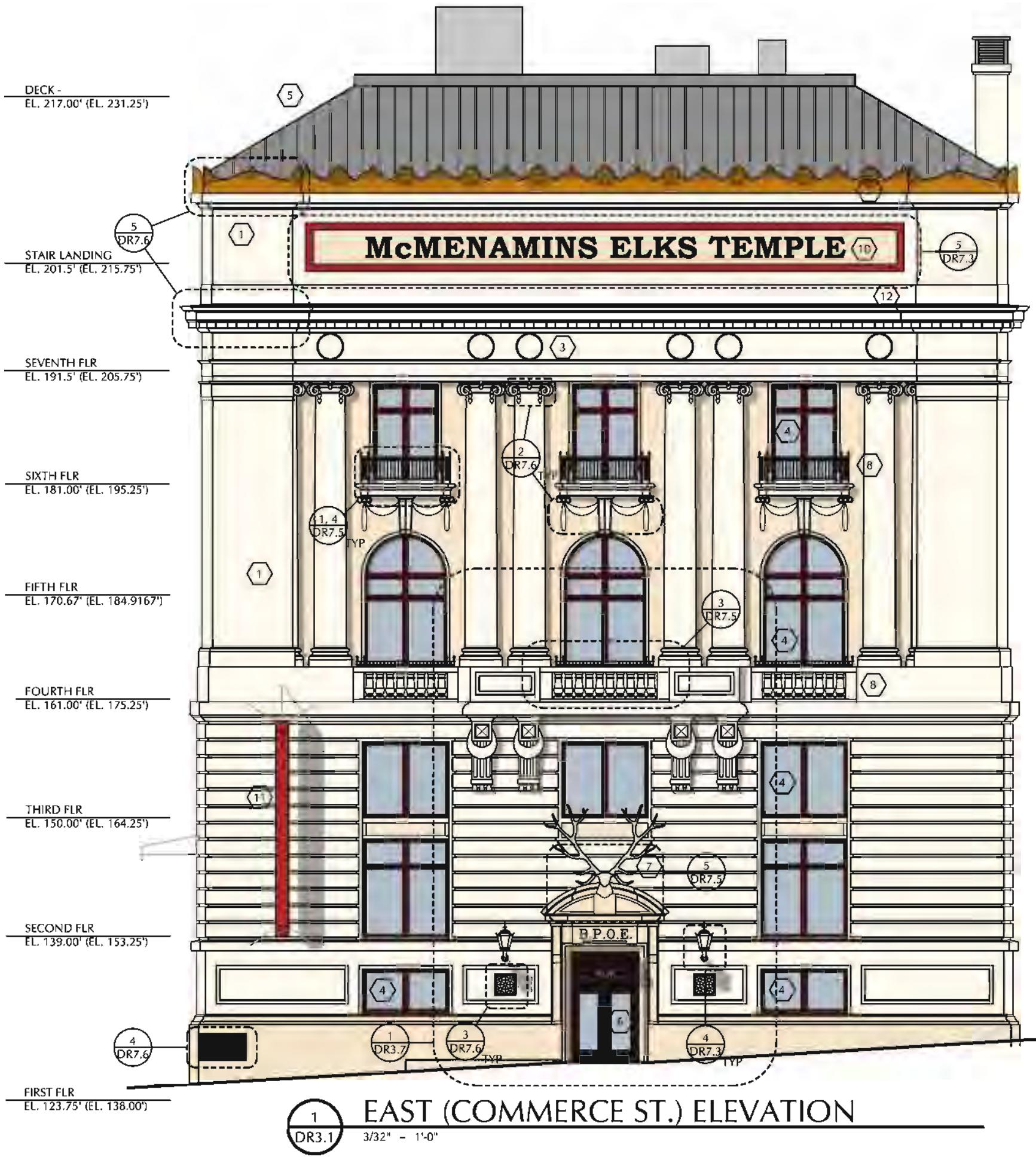


DESIGN REVIEW SET

TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR2.4  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

**DR 2.4**



## KEYNOTES

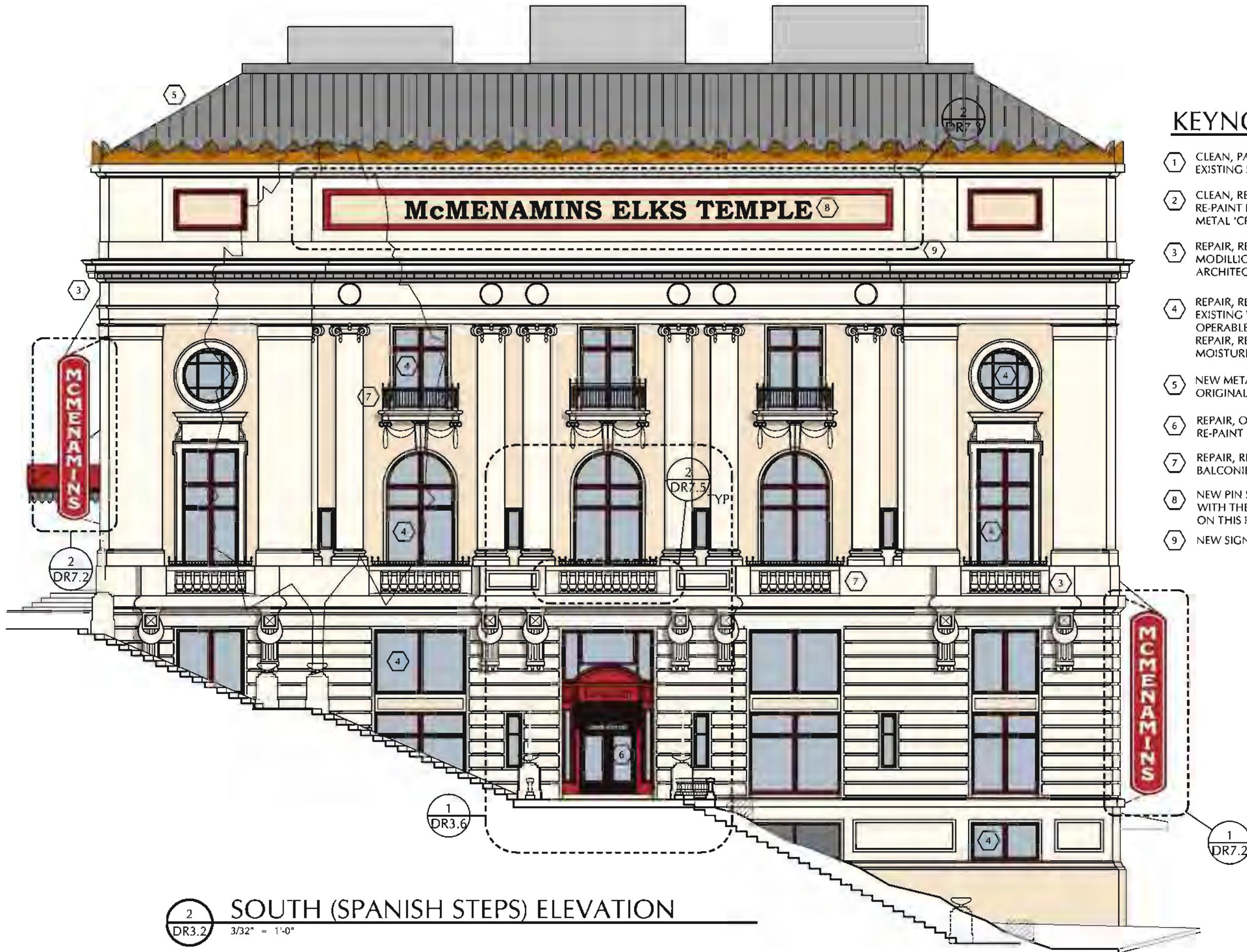
- ① CLEAN, PATCH, REPAIR & RE-PAINT EXISTING STUCCO.
- ② CLEAN, REPAIR, RE-FABRICATE & REPAIN EXISTING ORNAMENTAL METAL 'CRESTING'.
- ③ REPAIR, RE-FABRICATE & REPAIN MODILLIONS AS WELL AS ALL EXISTING ARCHITECTURAL ORNAMENTATION.
- ④ REPAIR, REFURBISH AND REPAIN EXISTING WINDOWS (BOTH FIXED & OPERABLE) TO FULL WORKING ORDER. REPAIR, RESEAL & RESOLVE ANY AND ALL MOISTURE INTRUSION PROBLEMS.
- ⑤ NEW METAL ROOFING TO MATCH ORIGINAL.
- ⑥ REPAIR, OR REPLACE WITH SIM, AND REPAIN ENTRY DOOR FROM COMMERCE STREET.
- ⑦ REPAIR, REFURBISH AND REPAIN EXISTING ELK HEAD ABOVE ENTRY AS WELL AS ANY AND ALL ENTRY ORNAMENTATION. ANTLER REPLACEMENT SIZE AND CONFIGURATION TO BE ARTISTICALLY EMBELLISHED.
- ⑧ REPAIR, REFURBISH AND REPAIN EXISTING BALCONIES TO FULL WORKING ORDER.
- ⑨ NOT USED
- ⑩ NEW PIN SET METAL LETTERS IN KEEPING WITH THE SPIRIT OF THE FORMER SIGNAGE ON THE SOUTH FAÇADE.
- ⑪ ILLUMINATED BUILDING SIGNAGE SEE DR 8.1
- ⑫ NEW SIGNAGE ILLUMINATION LIGHTING

TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR3.1  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

**DR 3.1**

DESIGN REVIEW SET



## KEYNOTES

- ① CLEAN, PATCH, REPAIR & RE-PAINT EXISTING STUCCO.
- ② CLEAN, REPAIR, RE-FABRICATE & RE-PAINT EXISTING ORNAMENTAL METAL 'CRESTING'.
- ③ REPAIR, RE-FABRICATE & RE-PAINT MODILLIONS AND ALL OTHER EXISTING ARCHITECTURAL ORNAMENTATION.
- ④ REPAIR, REFURBISH AND RE-PAINT EXISTING WINDOWS (BOTH FIXED & OPERABLE) TO FULL WORKING ORDER. REPAIR, RESEAL & RESOLVE ANY AND ALL MOISTURE INTRUSION PROBLEMS.
- ⑤ NEW METAL ROOFING TO MATCH ORIGINAL.
- ⑥ REPAIR, OR REPLACE WITH SIM, AND RE-PAINT ENTRY DOORS.
- ⑦ REPAIR, REFURBISH AND RE-PAINT EXISTING BALCONIES TO FULL WORKING ORDER.
- ⑧ NEW PIN SET METAL LETTERS IN KEEPING WITH THE SPIRIT OF THE FORMER SIGNAGE ON THIS FAÇADE.
- ⑨ NEW SIGNAGE ILLUMINATION LIGHTING

TACOMA ELKS TEMPLE CONVERSION  
MC MENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR3.2  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

**DR 3.2**

DESIGN REVIEW SET

TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493



## KEYNOTES

- ① CLEAN, PATCH, REPAIR & REPATN EXISTING STUCCO.
- ② CLEAN, REPAIR, RE-FABRICATE & REPATN EXISTING ORNAMENTAL METAL 'CRESTING'.
- ③ REPAIR, RE-FABRICATE & REPATN MODILLIONS AS WELL AS ALL EXISTING ARCHITECTURAL ORNAMENTATION.
- ④ REPAIR, REFURBISH AND REPATN EXISTING WINDOWS (BOTH FIXED & OPERABLE) TO FULL WORKING ORDER. REPAIR, RESEAL & RESOLVE ANY AND ALL MOISTURE INTRUSION PROBLEMS.
- ⑤ NEW METAL ROOFING TO MATCH ORIGINAL.
- ⑥ REPAIR, OR REPLACE WITH SIM, AND REPATN ENTRY DOORS.
- ⑦ REPAIR, REFURBISH AND REPATN EXISTING BALCONIES TO FULL WORKING ORDER.
- ⑧ NEW PIN SET METAL LETTERS IN KEEPING WITH THE SPIRIT OF THE FORMER SIGNAGE ON THE SOUTH FAÇADE.
- ⑨ NEW ENTRY CANOPY SEE DR 7.1
- ⑩ ILLUMINATED BUILDING SIGNAGE SEE DR 7.2
- ⑪ NEW SIGNAGE ILLUMINATION LIGHTING

DATE: 08/25/10  
JOB: 091720  
FILE: DR3.3  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

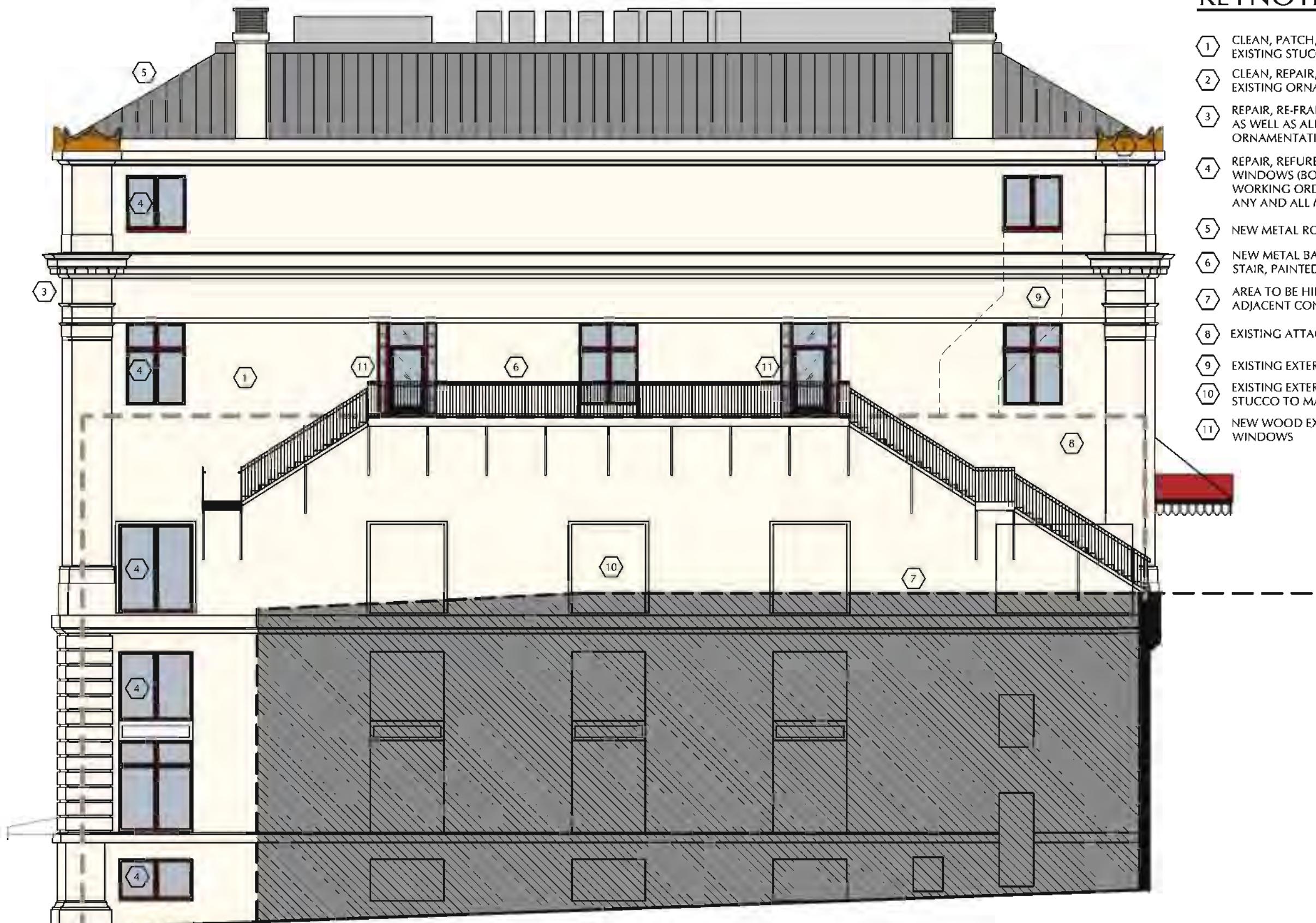
DR 3.3  
DESIGN REVIEW SET

DATE:	08/25/10
JOB:	091720
FILE:	DR3.4
DRAWN:	BB
CHECKED:	

COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

## KEYNOTES

- ① CLEAN, PATCH, REPAIR & RE-PAINT EXISTING STUCCO.
- ② CLEAN, REPAIR, RE-FABRICATE & RE-PAINT EXISTING ORNAMENTAL METAL 'CRESTING'.
- ③ REPAIR, RE-FABRICATE & RE-PAINT MODILLIONS AS WELL AS ALL EXISTING ARCHITECTURAL ORNAMENTATION.
- ④ REPAIR, REFURBISH AND RE-PAINT EXISTING WINDOWS (BOTH FIXED & OPERABLE) TO FULL WORKING ORDER. REPAIR, RESEAL & RESOLVE ANY AND ALL MOISTURE INTRUSION PROBLEMS.
- ⑤ NEW METAL ROOFING TO MATCH ORIGINAL.
- ⑥ NEW METAL BALCONY & EXTERIOR EXIT STAIR, PAINTED BLACK.
- ⑦ AREA TO BE HIDDEN BY NEW ADJACENT CONSTRUCTION.
- ⑧ EXISTING ATTACHED ADDITION TO BE DEMO'D.
- ⑨ EXISTING EXTERIOR DUCT REMOVED
- ⑩ EXISTING EXTERIOR OPENING(S) TO BE CLOSED. STUCCO TO MATCH SURROUNDING.
- ⑪ NEW WOOD EXIT DOOR. PAINT TO MATCH WINDOWS



1  
DR3.4  
3/32" = 1'-0"

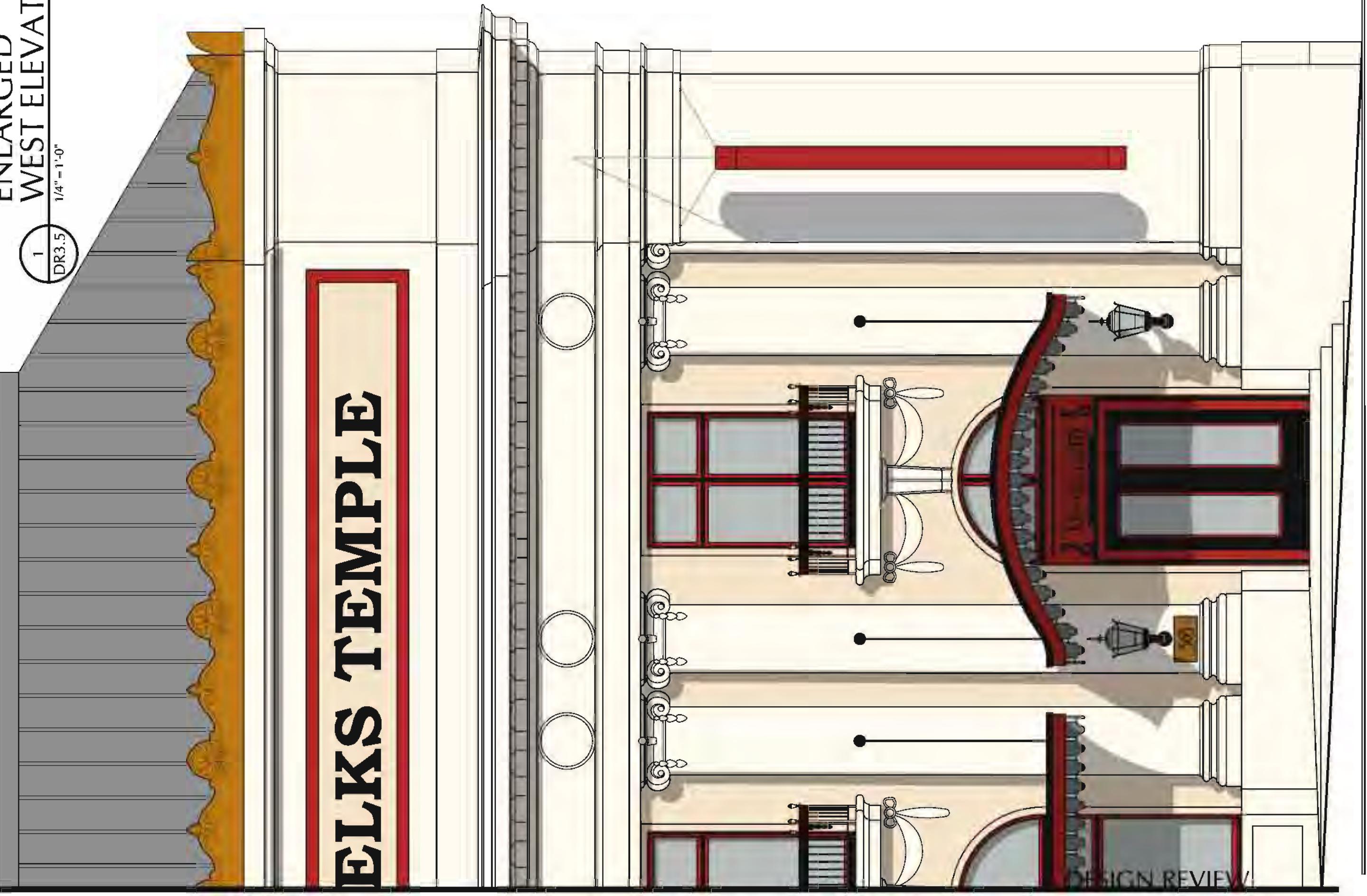
NORTH (TOWER/HIDDEN) ELEVATION

DESIGN REVIEW SET

DR 3.4

**ENLARGED  
WEST ELEVATION**

1 DR3.5 1/4" = 1'-0"

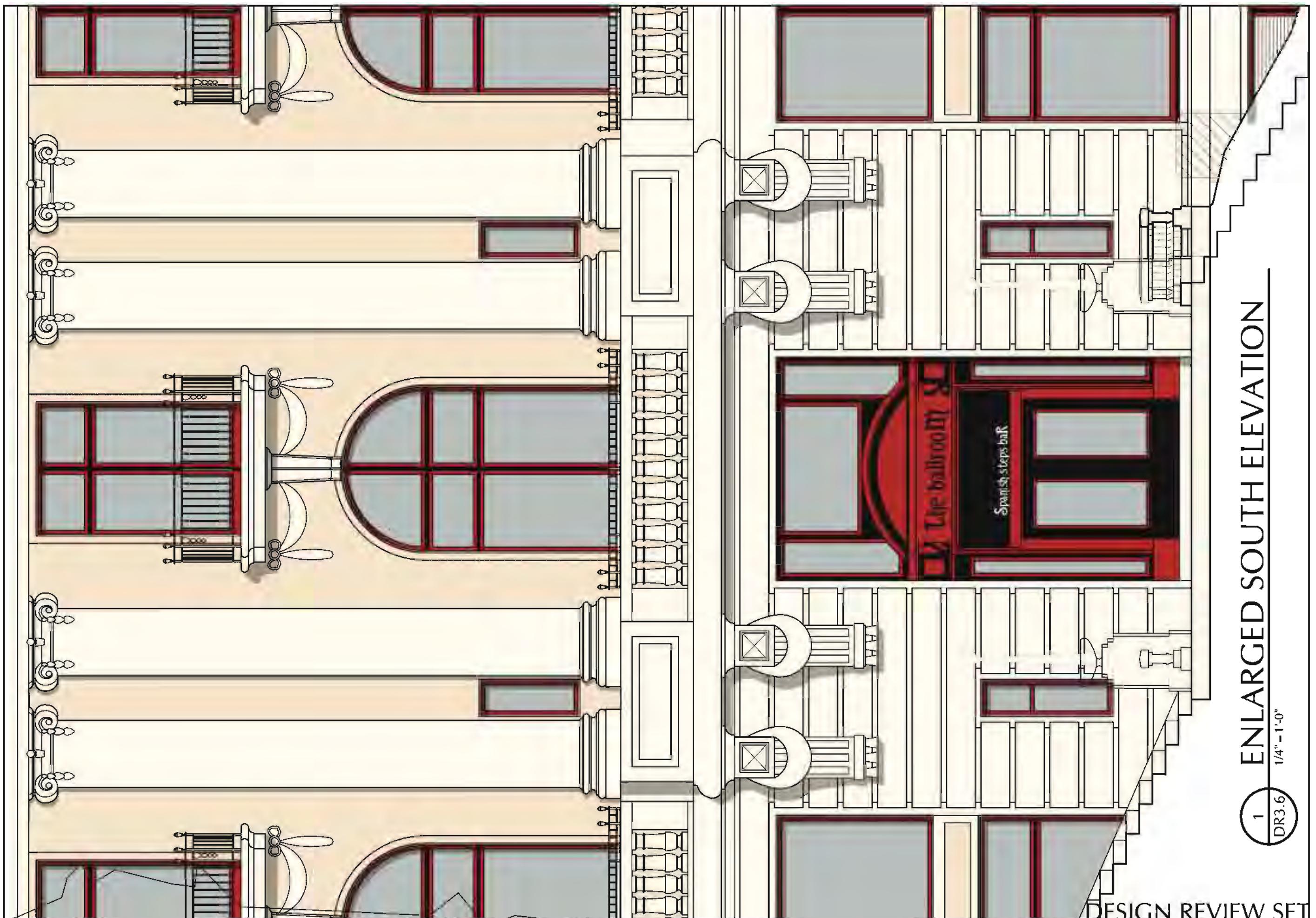


**DR 3.5**

TACOMA ELKS TEMPLE CONVERSION  
MCMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR3.3  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

**ANKROM MOISAN**  
ARCHITECTURE INTERIORS PLANNING  
6720 SW MACADAM, SUITE 100, PORTLAND, OREGON 97219  
PHONE 503-245-7100 | FAX 503-245-7710 | [www.ankrom.com](http://www.ankrom.com)



## ENLARGED SOUTH ELEVATION

1  
DR3.6

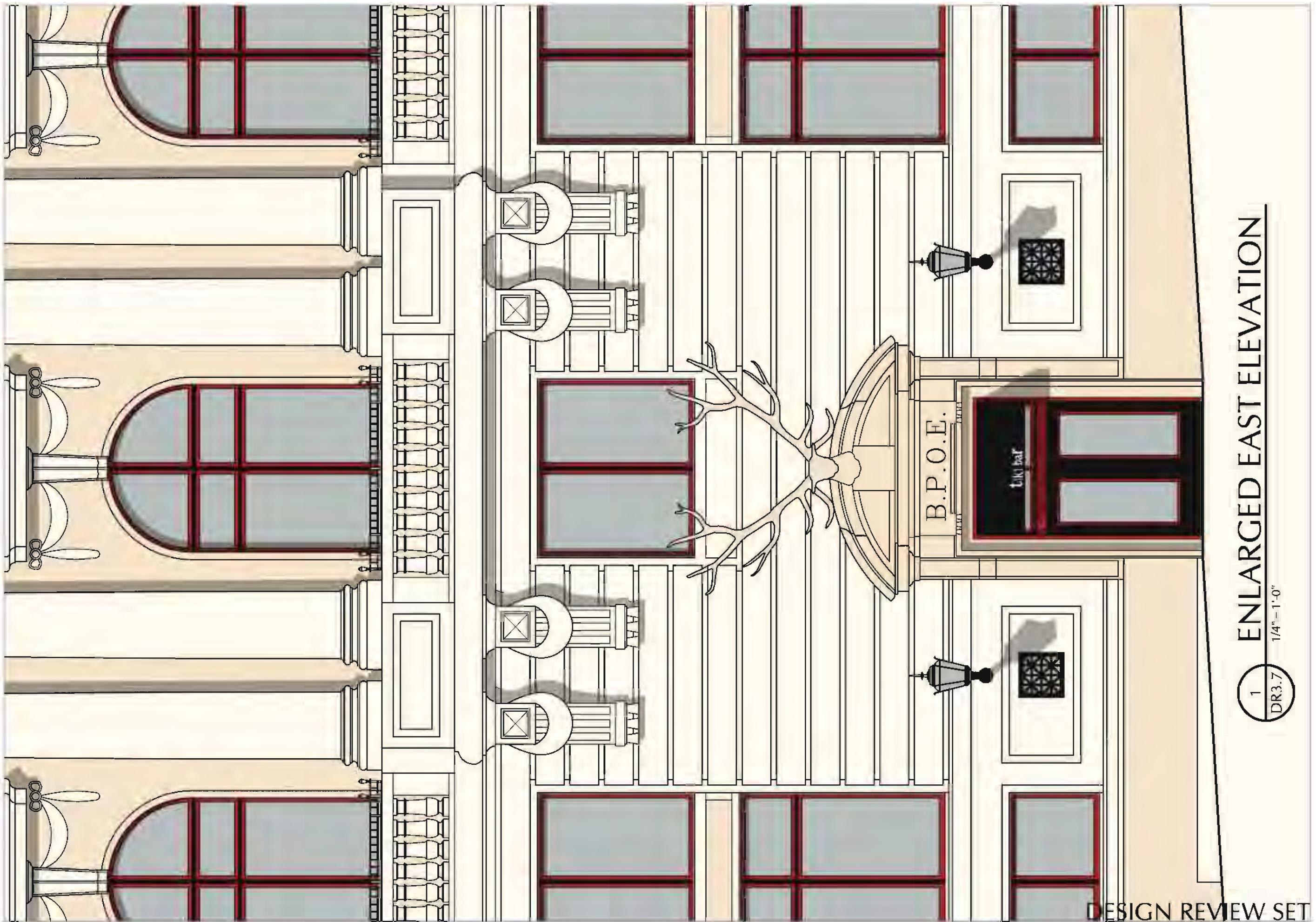
DESIGN REVIEW SET

**DR 3.6**

TACOMA ELKS TEMPLE CONVERSION  
MCMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR3.2  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

**ANKROM MOISAN**  
ARCHITECTURE INTERIORS PLANNING  
6720 SW MACADAM, SUITE 100, PORTLAND, OREGON 97219  
PHONE 503-245-7100 | FAX 503-245-7710 | [WWW.AMAA.COM](http://WWW.AMAA.COM)



DESIGN REVIEW SET

## ENLARGED EAST ELEVATION

1  
DR 3.7

1/4" - 1'-0"

DR 3.7

TACOMA ELKS TEMPLE CONVERSION  
MCMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR3.1  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

**ANKROM MOISAN**  
ARCHITECTURE INTERIORS PLANNING  
6720 SW MACADAM, SUITE 100, PORTLAND, OREGON 97219  
PHONE 503-245-7100 | FAX 503-245-7710 | [WWW.AMAA.COM](http://WWW.AMAA.COM)



1 WEST FACADE  
DR5.1 NTS



2 SOUTH FACADE  
DR5.1 NTS



3 NORTH FACADE  
DR5.1 NTS



4 EAST FACADE  
DR5.1 NTS

DESIGN REVIEW SET

TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR5.1  
DRAWN: BB  
CHECKED:

COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

DR 5.1



1  
WEST FACADE  
DR6.1 NTS



2  
SOUTH FACADE  
DR6.1 NTS



3  
NORTH FACADE  
DR6.1 NTS



4  
EAST FACADE  
DR6.1 NTS

DESIGN REVIEW SET

TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR6.1  
DRAWN: BB  
CHECKED:

COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010



**CANOPY ELEVATION**

1  
DR7.1

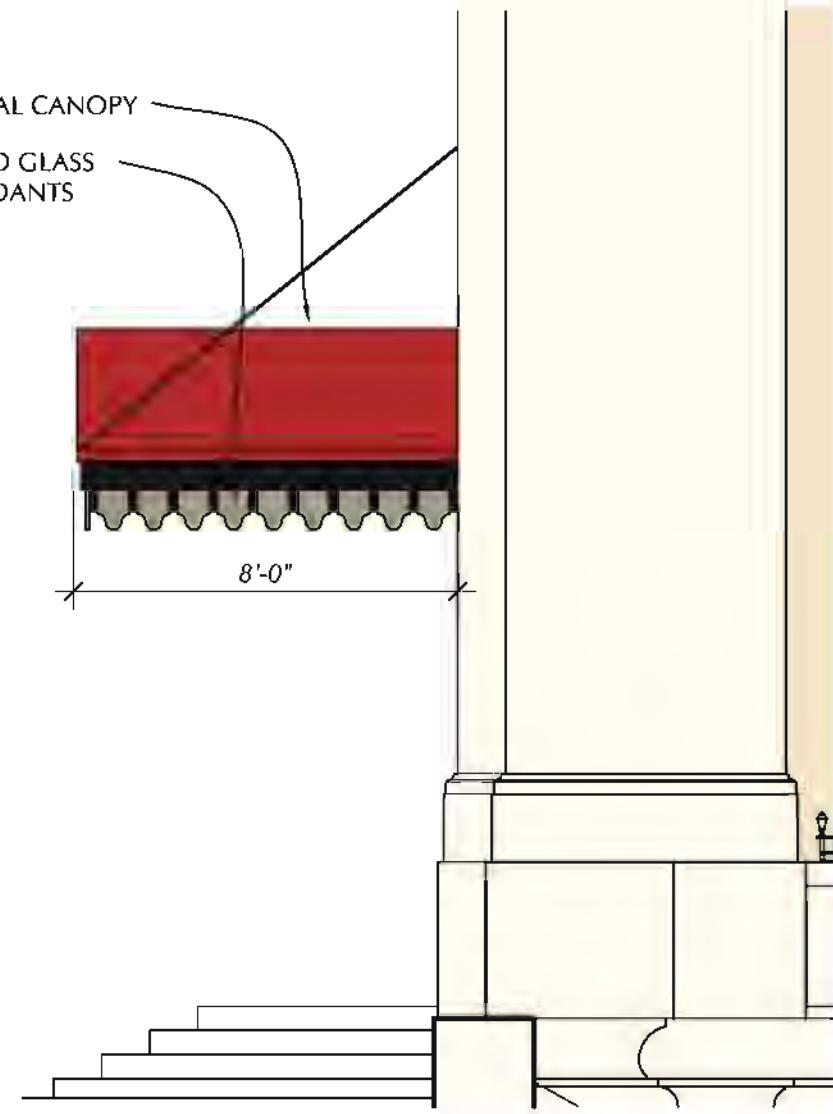
1/4" = 1'-0"



**CANOPY PRECEDENT**

3  
DR7.1

N/A



**CANOPY ELEVATION**

2  
DR7.1

1/4" = 1'-0"

**DESIGN REVIEW SET**

**TACOMA ELKS TEMPLE CONVERSION**  
**McMENAMINS, INC.**  
**565 Broadway St.**  
**Tacoma WA, 98493**

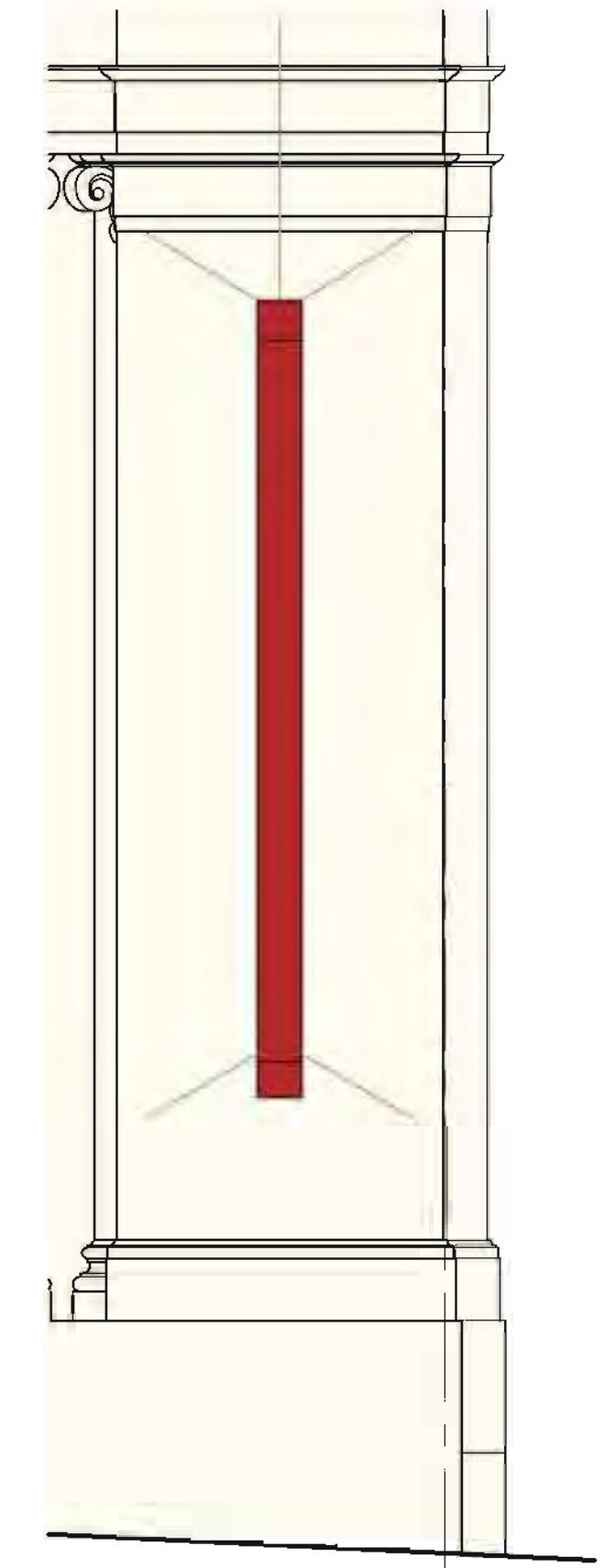
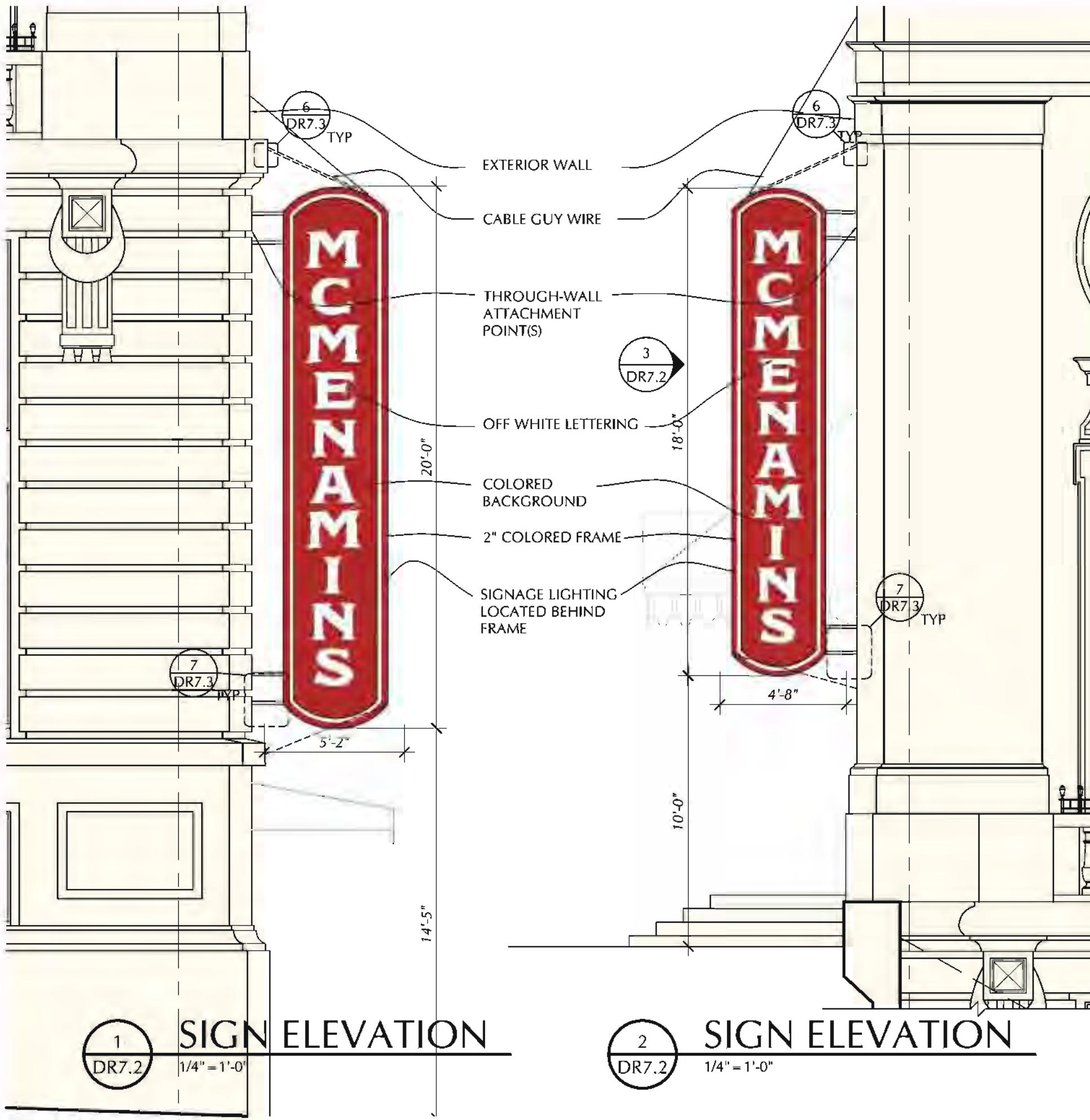
DATE: 08/25/10  
 JOB: 091720  
 FILE: DR7.1  
 DRAWN: BB  
 CHECKED:

COPYRIGHT ANKROM MOISAN  
 ASSOCIATED ARCHITECTS 2010

**ANKROM MOISAN**  
 ARCHITECTURE | INTERIORS | PLANNING  
 6720 SW MACADAM, SUITE 100, PORTLAND, OREGON 97219  
 PHONE 503-245-7100 | FAX 503-245-7710 | [www.amaac.com](http://www.amaac.com)

**ANKROM MOISAN**  
 ARCHITECTURE | INTERIORS | PLANNING  
 6720 SW MACADAM, SUITE 100, PORTLAND, OREGON 97219  
 PHONE 503-245-7100 | FAX 503-245-7710 | [www.amaac.com](http://www.amaac.com)

**DR 7.1**



**SIGN ELEVATION**  
DESIGN REVIEW SET

TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

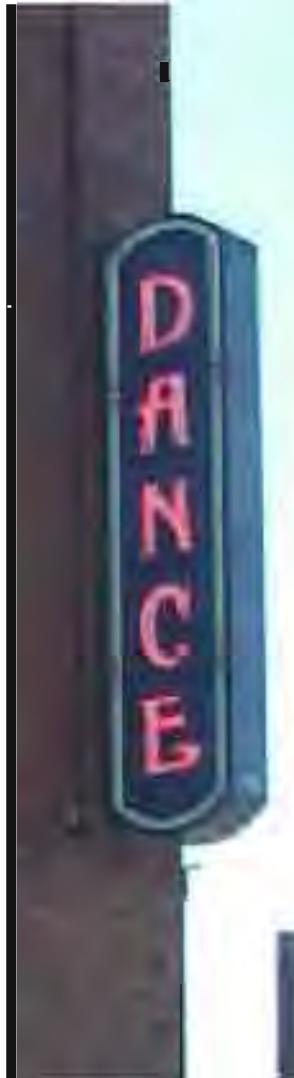
DATE: 08/25/10  
JOB: 091720  
FILE: DR7.2  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

**DR 7.2**



PIN-SET METAL LETTERING

1  
DR7.3  
NTS



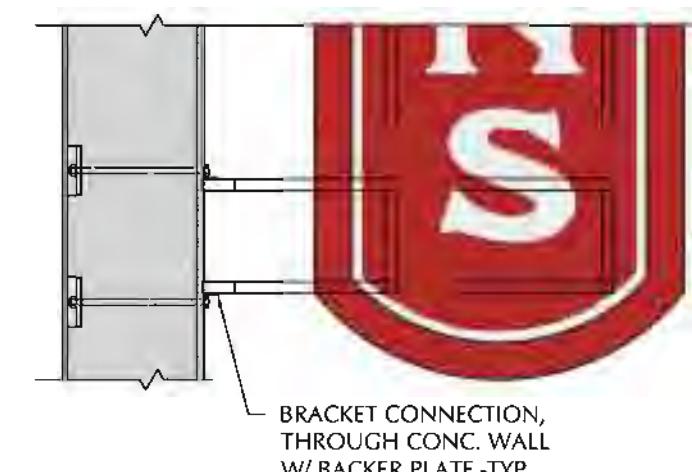
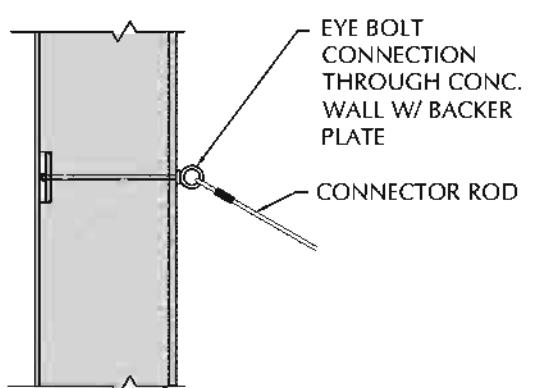
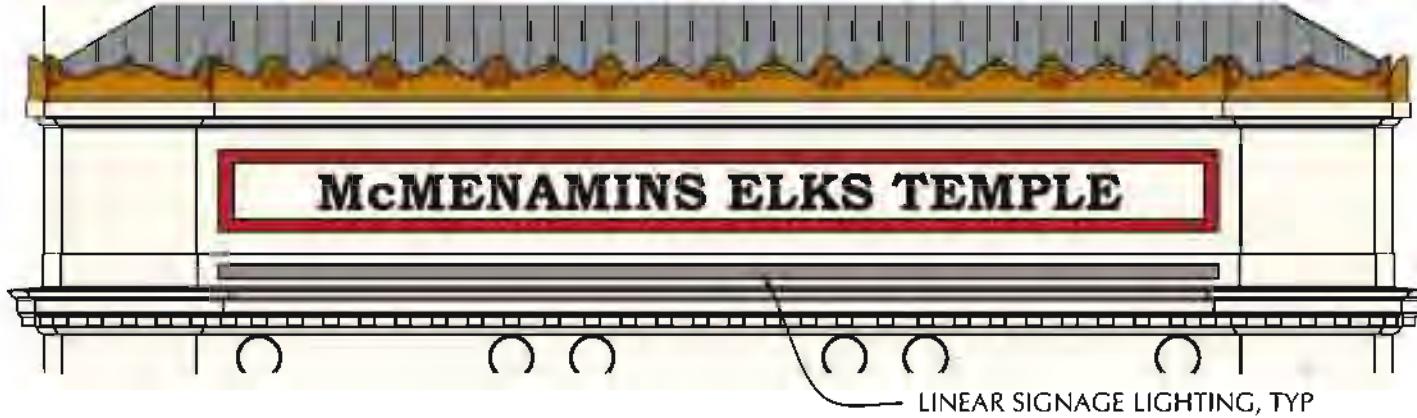
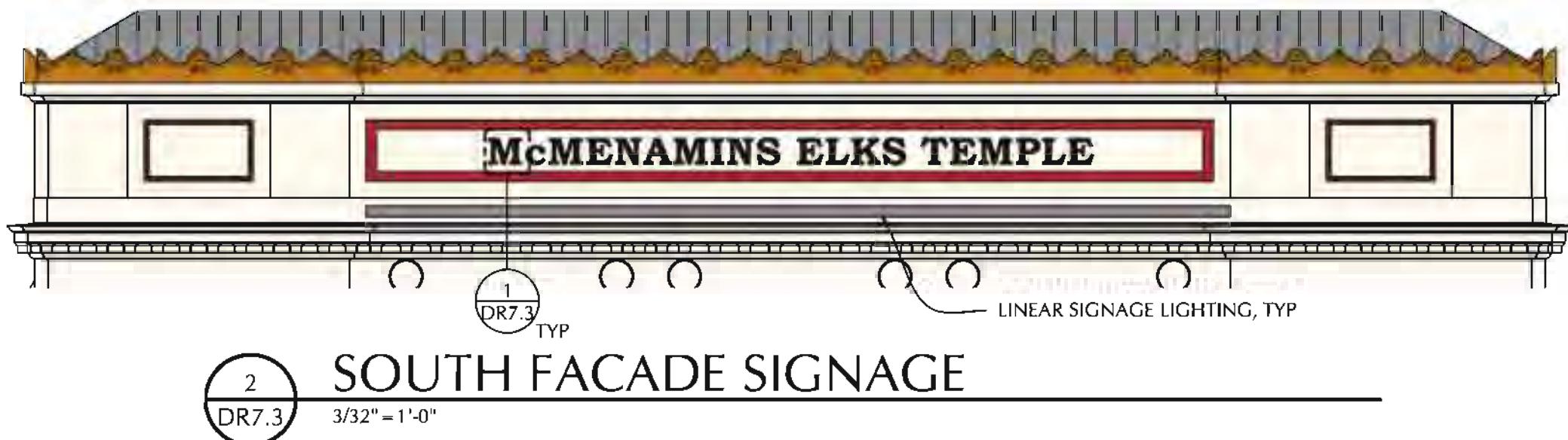
BLADE SIGN  
PRECEDENT

3  
DR7.3  
NTS



EXTERIOR  
LIGHTING

4  
DR7.3  
NTS



SIGN STABILIZER

1/2" = 1'-0"

SIGN ATTACHMENT  
DESIGN REVIEW SET

7 DR7.3 1/2" = 1'-0"

TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR7.3  
DRAWN: BB  
CHECKED:

COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

DR 7.3

TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR7.5  
DRAWN: BB  
CHECKED:

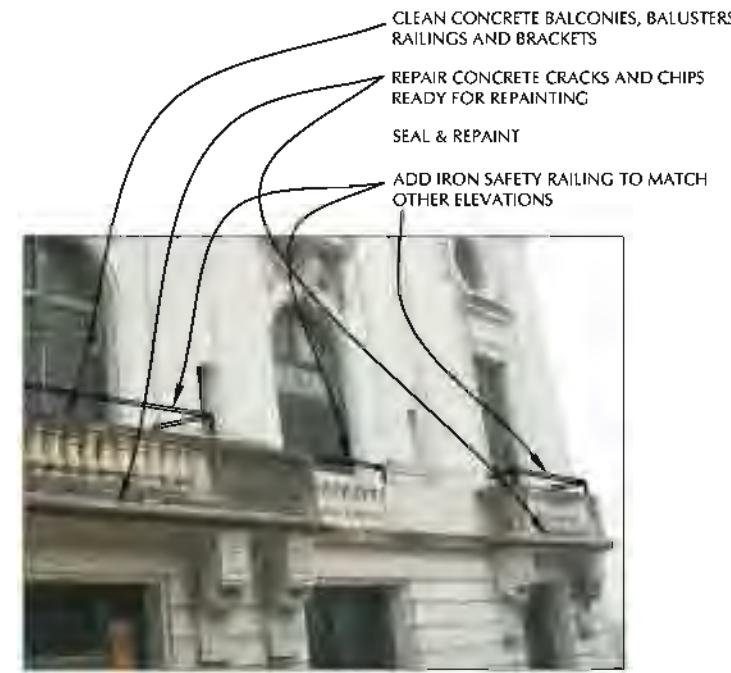
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

**DR 7.5**

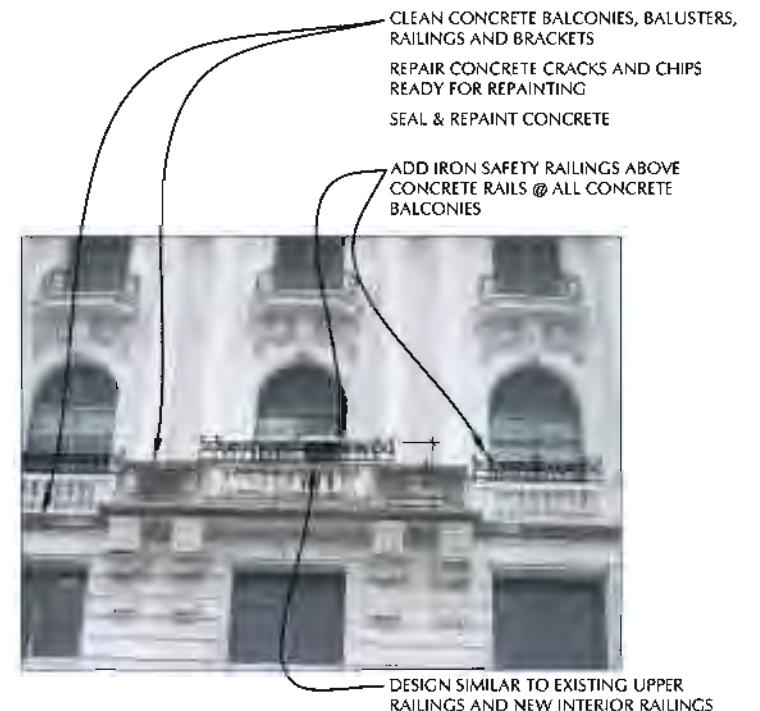
**DESIGN REVIEW SET**



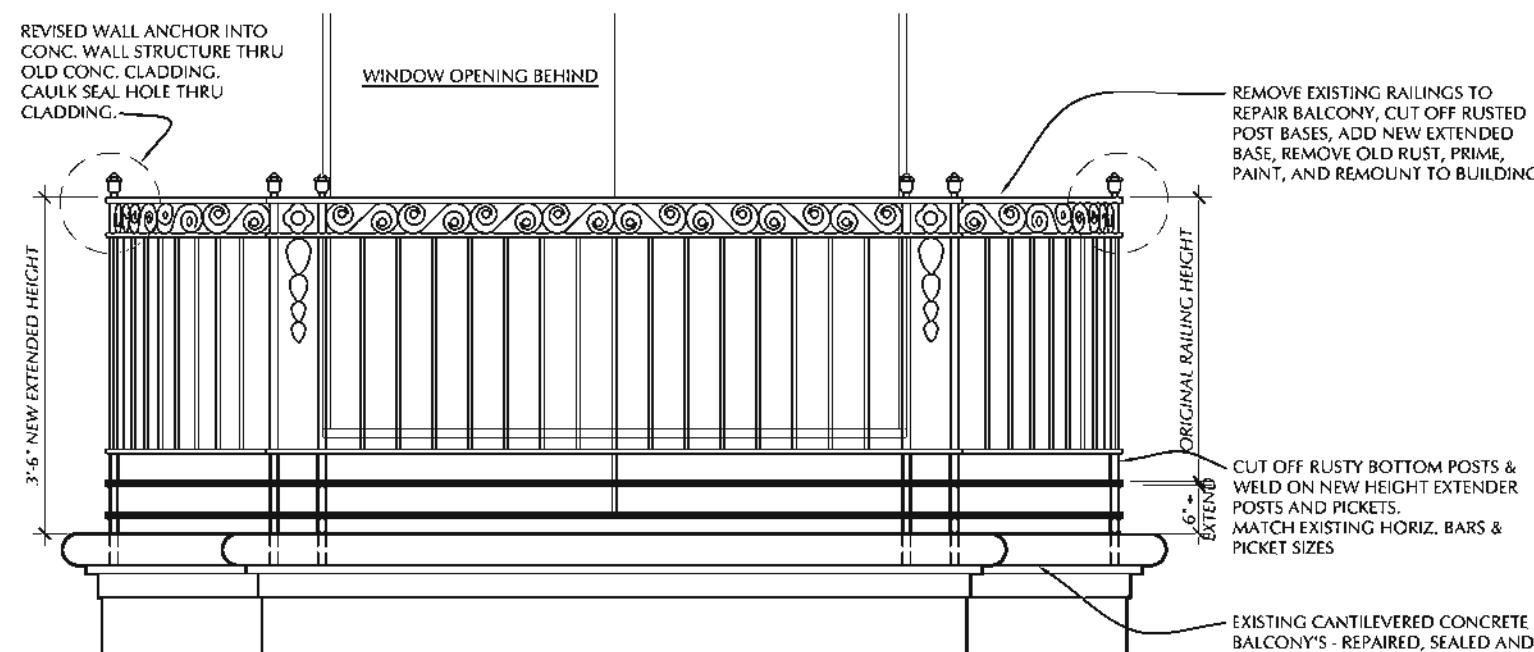
**1** **BALCONY METAL RAILINGS**  
DR7.5 1 1/2" = 1'-0"  
BALC-RAILING-METAL-01



**2** **SOUTH SIDE BALCONY CONCRETE RAILINGS**  
DR7.5 1 1/2" = 1'-0"  
BALC-RAILING-CONC-01



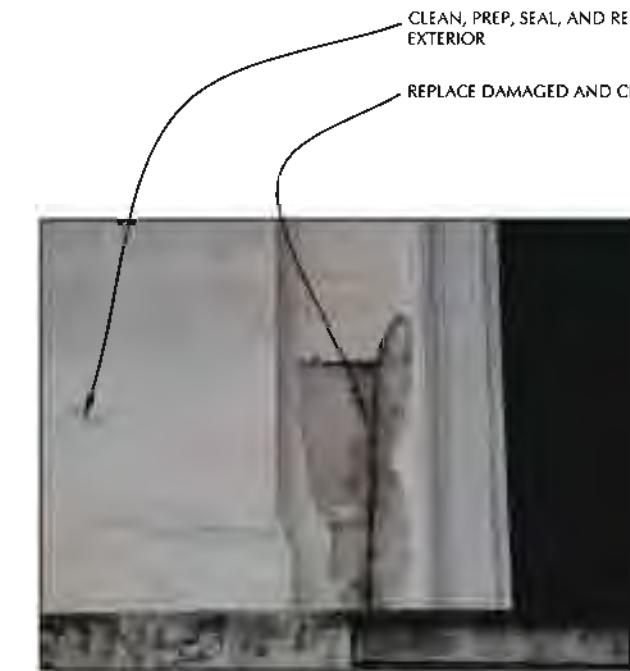
**3** **EAST SIDE BALCONY CONCRETE RAILINGS**  
DR7.5 1 1/2" = 1'-0"  
BALC-RAILING-CONC-02



**4** **EXTENDED WINDOW RAILING**  
DR7.5 3/4" = 1'-0"  
WDW-INTERIOR-RAILING-EXTE



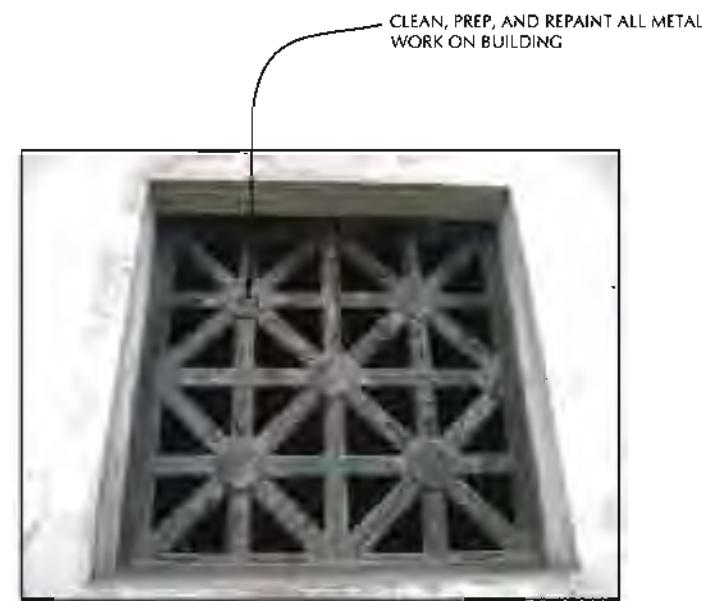
**5** **ELK HEAD**  
DR7.5 1 1/2" = 1'-0"  
BALC-RAILING-CONC-05



1 EXTERIOR STUCCO  
DR7.6 NTS



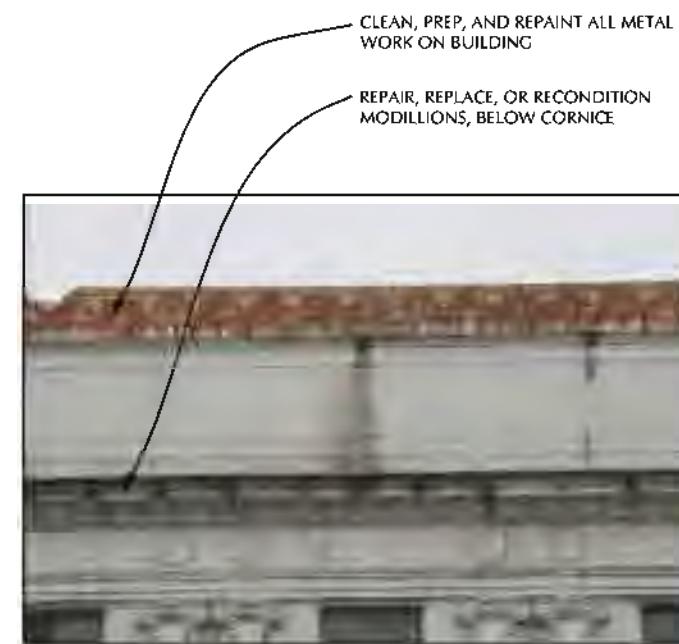
2 EXTERIOR DETAILS  
DR7.6 NTS



3 EXTERIOR DETAILS  
DR7.6 NTS



4 BUILDING PLAQUE  
DR7.6 NTS



5 EXTERIOR DETAILS  
DR7.6 NTS

6 DR7.6

DESIGN REVIEW SET

TACOMA ELKS TEMPLE CONVERSION  
McMENAMINS, INC.  
565 Broadway St.  
Tacoma WA, 98493

DATE: 08/25/10  
JOB: 091720  
FILE: DR7.6  
DRAWN: BB  
CHECKED:  
COPYRIGHT ANKROM MOISAN  
ASSOCIATED ARCHITECTS 2010

**DR 7.6**